



# Supplement to the American Housing Survey for Selected Metropolitan Areas in 1994

Issued March 1997



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\* See note at end of Contents.

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\* Chapters on Black and Hispanic householders are not shown when there are fewer than 75 sample cases.

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## Major Changes This Year

(For previous years' changes, see appendix C.)

- Data on losses published in chapter 6 of the *Supplement to the American Housing Survey for Selected Metropolitan Areas in 1990*, series H171/90, and *Supplement to the American Housing Survey for Selected Metropolitan Areas in 1991*, series H171/91, are incorrect because of an error in the weighting. The weighting errors have been corrected. Corrected data are available from the Housing and Household Economic Statistics Division (301-763-8551), Bureau of the Census, Washington, DC 20233-8500.
- The former appendix B has been divided. Appendix B now covers sample design, weighting, and telephone interview experiments. Appendix D covers errors from sampling and other causes. Appendix D also includes data on completeness of the answers: how many households gave answers to different questions on the survey.
- Data from the American Housing Survey (AHS) are now available on the Internet. All AHS reports published since January 1996 are available from the Census Bureau's Electronic Subscription Service, <http://www.census.gov/prod/www/>. Additional AHS data, including the 1993 AHS National microdata file, are available on the AHS home page, <http://www.census.gov/hhes/www/ahs.html>.

## Explanations and Cautions

### EXPLANATIONS

**Survey authority and confidentiality.** The Bureau of the Census conducts the American Housing Survey to obtain up-to-date housing statistics for the Department of Housing and Urban Development (HUD). Title 12, Section 1701Z-1 and 1701Z-2g of the U.S. Code authorize the Secretary of HUD to collect data from public and private agencies and protect the confidentiality of the data. Title 12, Section 1701Z-10 mandates the collection of the data for the American Housing Survey. The guarantee of confidentiality made to respondents is provided by the Bureau of the Census. Title 13, Section 9a, of the U.S. Code provides that all information which would permit identification of individuals will be held in strict confidence. Such information may be seen only by sworn U.S. Census Bureau employees and may be used only for statistical purposes. Section 214 of Title 13 sets penalties for disclosing confidential information. Unauthorized disclosure of individual information by a sworn Census Bureau employee is punishable by a fine of up to \$5,000 or imprisonment of up to 5 years, or both. The Bureau of the Census is authorized under Title 31, Section 686 of the U.S. Code, to perform special work or services for other Federal agencies.

**Contents of book.** This book presents supplemental statistics for occupied housing units from the 1994 American Housing Survey Metropolitan Sample (AHS-MS), conducted in 8 selected metropolitan areas. For a list of these areas, see page IX. The supplemental statistics include housing and household characteristics by family type, housing quality by family type, neighborhood quality, and characteristics of year-round housing units removed from the inventory since the last survey period.

**Scope of the survey.** The American Housing Survey (AHS) is conducted by field representatives who obtain information from occupants of homes. They get information on vacant homes from informed people such as landlords, rental agents, or knowledgeable neighbors. The 1994 metropolitan survey was conducted from April through December 1994 for all areas surveyed. Each metropolitan area had a sample of about 4,250 interviews.

**Boundaries.** The boundaries for five of the 1994 metropolitan areas are consistent with the 1993 Office of Management and Budget (OMB) definition of metropolitan areas. The exceptions are: Fort Worth, TX, which does not

include Hood and Parker Counties from the 1993 OMB definition; Dallas, TX, which does not include Henderson and Hunt Counties from the 1993 OMB definition; and Phoenix, AZ, which does not include Pinal County from the 1993 OMB definition. The definitions used for this report are not necessarily the same as was used in earlier years. See the map on page V of this report for the 1994 definition and see the maps in previous reports for the definitions used in earlier years.

For comparison purposes in this series, selected data are shown using 1970 boundaries, which may differ from 1994 boundaries. In this report, data for "1970 central cities" refer to Phoenix City and data for "1994 central cities" refer to Phoenix, Mesa, and Tempe Cities. Data for "1970 boundaries of SMSA" refer to the same county as in 1994.

### CAUTIONS

**Sampling and nonsampling errors.** The numbers in this book have errors from sampling and other causes (incomplete data, wrong answers, etc.). Appendix D gives detailed formulas to calculate sampling errors for a wide range of items. Appendix D also gives some estimates of nonsampling errors.

**Undercoverage.** All demographic surveys, including the American Housing Survey-Metropolitan Sample (AHS-MS), suffer from undercoverage. This undercoverage results from missed housing units and missed persons within sample households. Compared to the level of the 1990 decennial census, housing unit undercoverage ranges from less than 1 to 14.1 percent. This undercoverage also varies by age, ethnicity, and race of householder; however, estimates of undercoverage for these characteristics are unavailable. For some, household composition (e.g., persons per household, persons per room, square feet per person, and income characteristics) AHS-MS estimates are affected by missed persons within sample households. We do not know the effect of this within-household undercoverage on these characteristics. The weighting procedures used for AHS-MS partially correct for the bias due to housing-unit undercoverage, but not within-household undercoverage. The final impact on estimates is unknown. For details on the weighting, see appendix B.

**Income and poverty.** In all metropolitan areas, significant numbers of households who reported incomes below poverty also reported housing costs that were 70 percent or

more of their income. A review of individual records indicates that many of these households actually reported housing costs higher than their income. Such a situation can indeed happen temporarily as people use their savings or build up debt. It can also happen when people whose actual income is above poverty underreport their income because they either consider the question too personal or have some other reason. We do know that AHS income is underreported. Also, the Consumer Expenditures Survey shows that nationwide less than 10 percent of the poor devote over 70 percent of their total expenditures to housing. Therefore, the AHS data for poverty households with housing costs 70 percent or more of their income should be analyzed with caution.

Historically, the AHS underreports income and overreports poverty when compared to the Current Population Survey (CPS), and both surveys underreport income and overreport poverty when compared to tax returns and national income accounts. The AHS households mention fewer sources of income than CPS. The poverty data in the AHS are not published as an official count of households in poverty, but to show the housing characteristics of low-income households.

A detailed discussion of AHS income data is presented in the Census Bureau memorandum for the record, "Comparison of 1989 AHS and CPS Income Reporting." The memorandum for the record, "AHS Poverty Data, 1985 and 1989," presents a detailed discussion of AHS poverty data. Copies of both memoranda can be obtained by writing to the Housing and Household Economic Statistics Division, Bureau of the Census, Washington, DC 20233-3300 (call 301-763-8551).

## AMERICAN HOUSING SURVEY (AHS) QUALITY PROFILE REPORT

The *American Housing Survey: A Quality Profile*, report number H121/95-1, describes potential sources of errors in the AHS data and quality control procedures used in the operation of the survey, and describes the magnitude of errors in AHS estimates. The report is intended to provide researchers and data users with a single source for a wide range of information on the quality of AHS data.

The report is for sale by Superintendent of Documents, U.S. Government Printing Office, Washington, DC 20402.

## DATA AVAILABILITY

The AHS data are presented nationally as well as for 44 selected metropolitan areas (see table on next page). The following table shows the sources for obtaining AHS data, the product available, and the pricing for each product. Each source or organization offering AHS data sets its own charges, so prices may vary among the sources. For the data user whose needs are not met by the book tabulations (printed books or microfiche), there are tapes and CD-ROM's with copies of each respondent's answers, so these answers can be tabulated by computer programs in any way desired (microdata). To protect the confidentiality of the respondents; names, addresses, and geographic areas smaller than 100,000 people are not identified. The sample design generally will not support analysis for areas smaller than those shown in the books.

### Sources for American Housing Survey Data

Source	Telephone	Books	Microdata	Computer tapes	CD-ROM's
HUD User Box 6091 Rockville, MD 20850	800-245-2691 301-251-5154 TDD 800-877-8674	National and Metro \$5		National and Metro \$100	National and Metro \$150
Customer Services Bureau of the Census Washington, DC 20233-8500	301-457-4100 TDD 301-457-4611 FAX 301-457-3842	Metro \$10-\$20		National and Metro \$175	National and Metro \$150
Superintendent of Documents <sup>1</sup> Washington, DC 20402-9326	202-783-3238 FAX 202-512-2250	National \$20-\$40			
Housing and Household Economic Statistics Division Bureau of the Census Washington, DC 20233-8500	301-763-8551 FAX 301-763-8674	Analytical reports H121, H123 \$2-\$10			
Internet:  Electronic Subscription Service: <a href="http://www.census.gov/prod/www/">http://www.census.gov/prod/www/</a>		National, Metro, Analytical. All reports published since 1996. Free			
American Housing Survey Home Page: <a href="http://www.census.gov/hhes/www/ahs.html">http://www.census.gov/hhes/www/ahs.html</a>			1993 National Free		

<sup>1</sup> Ask for Census Bureau series H150 and H151. Depository libraries may order Superintendent of Documents prefix C3.215. Libraries often keep National books in a special catalog and section for U.S. Government documents. Metropolitan reports may be located in the general catalog, since these are not published by the Superintendent of Documents.

**Dates of AHS Metropolitan Surveys: 1974 to 1994**

(A book for each survey is published about 18 months later)

Area	1992- 1994	1988- 1991	1984- 1987	1981- 1983	1980	1977- 1979	1974- 1976
Albany-Schenectady-Troy, NY*					80	77	74
Allentown-Bethlehem-Easton, PA-NJ*					80	76	
Anaheim-Santa Ana, CA PMSA	94	90	86	81		77	74
Atlanta, GA MSA*		91	87	82		78	75
Baltimore, MD MSA*		91	87	83		79	76
Birmingham, AL MSA*	92	88	84		80		76
Boston, MA-NH CMSA*	93	89	85	81		77	74
Buffalo, NY CMSA	94	88	84			79	76
Chicago, IL PMSA's*		91	87	83		79	75
Cincinnati, OH-KY-IN PMSA		90	86	82		78	75
Cleveland, OH PMSA	92	88	84			79	76
Colorado Springs, CO*						78	75
Columbus, OH MSA*		91	87	82		78	75
Dallas, TX PMSA	94	89	85	81		77	74
Denver, CO CMSA*		90	86	83		79	76
Detroit, MI PMSA*	93	89	85	81		77	74
Fort Worth-Arlington, TX PMSA*	94	89	85	81		77	74
Grand Rapids, MI*					80		76
Hartford, CT CMSA*		91	87	83		79	75
Honolulu, HI*				83		79	76
Houston, TX (new sample in 1987) PMSA's*		91	87	83		79	76
Indianapolis, IN MSA	92	88	84		80		76
Kansas City, MO-KS CMSA*		90	86	82		78	75
Las Vegas, NV						79	76
Los Angeles-Long Beach, CA PMSA		89	85		80	77	74
Louisville, KY-IN*				83	80		76
Madison, WI*				81		77	75
Memphis, TN-AR-MS MSA*	92	88	84		80	77	74
Miami-Ft. Lauderdale, FL CMSA*		90	86	83		79	75
Milwaukee, WI PMSA	94	88	84			79	75
Minneapolis-St. Paul, MN-WI MSA*	93	89	85	81		77	74
New Orleans, LA MSA*		90	86	82		78	75
New York, NY PMSA's*		91	87	83	80		76
Newark, NJ (now covered by Northern NJ)				81		77	74
Norfolk-Virginia Beach-Newport News, VA MSA*	92	88	84			78	75
Northern NJ PMSA's*		91	87				
Oklahoma City, OK MSA*	92	88	84		80		76
Omaha, NE-IA*						79	76
Orlando, FL*				81		77	74
Paterson-Clifton-Passaic, NJ (now covered by Northern NJ)				82		78	75
Philadelphia, PA-NJ PMSA		89	85	82		78	75
Phoenix, AZ MSA	94	89	85	81		77	74
Pittsburgh, PA CMSA*		90	86	81		77	74
Portland, OR-WA CMSA*		90	86	83		79	75

### Dates of AHS Metropolitan Surveys: 1974 to 1994

(A book for each survey is published about 18 months later)

Area	1992- 1994	1988- 1991	1984- 1987	1981- 1983	1980	1977- 1979	1974- 1976
Providence-Pawtucket-Warwick, RI-MA PMSA's*	92	88	84		80		76
Raleigh, NC *						79	76
Riverside-San Bernardino-Ontario, CA PMSA	94	90	86	82		78	75
Rochester, NY MSA*		90	86	82		78	75
Sacramento, CA *				83	80		76
Saginaw, MI *					80	77	74
St. Louis, MO-IL CMSA *		91	87	83	80		76
Salt Lake City, UT MSA *	92	88	84		80	77	74
San Antonio, TX MSA*		90	86	82		78	75
San Diego, CA MSA	94	91	87	82		78	75
San Francisco-Oakland, CA PMSA	93	89	85	82		78	75
San Jose, CA PMSA*	93	88	84				
Seattle-Tacoma, WA CMSA*		91	87	83		79	76
Spokane, WA*				81		77	74
Springfield-Chicopee-Holyoke, MA-CT*						78	75
Tacoma, WA (now covered by Seattle-Tacoma)				81		77	74
Tampa-St. Petersburg, FL MSA *	93	89	85				
Washington, DC-MD-VA MSA *	93	89	85	81		77	74
Wichita, KS *				81		77	74

\* Broader areas are surveyed after 1983. Each book has a map that defines the area surveyed that year.

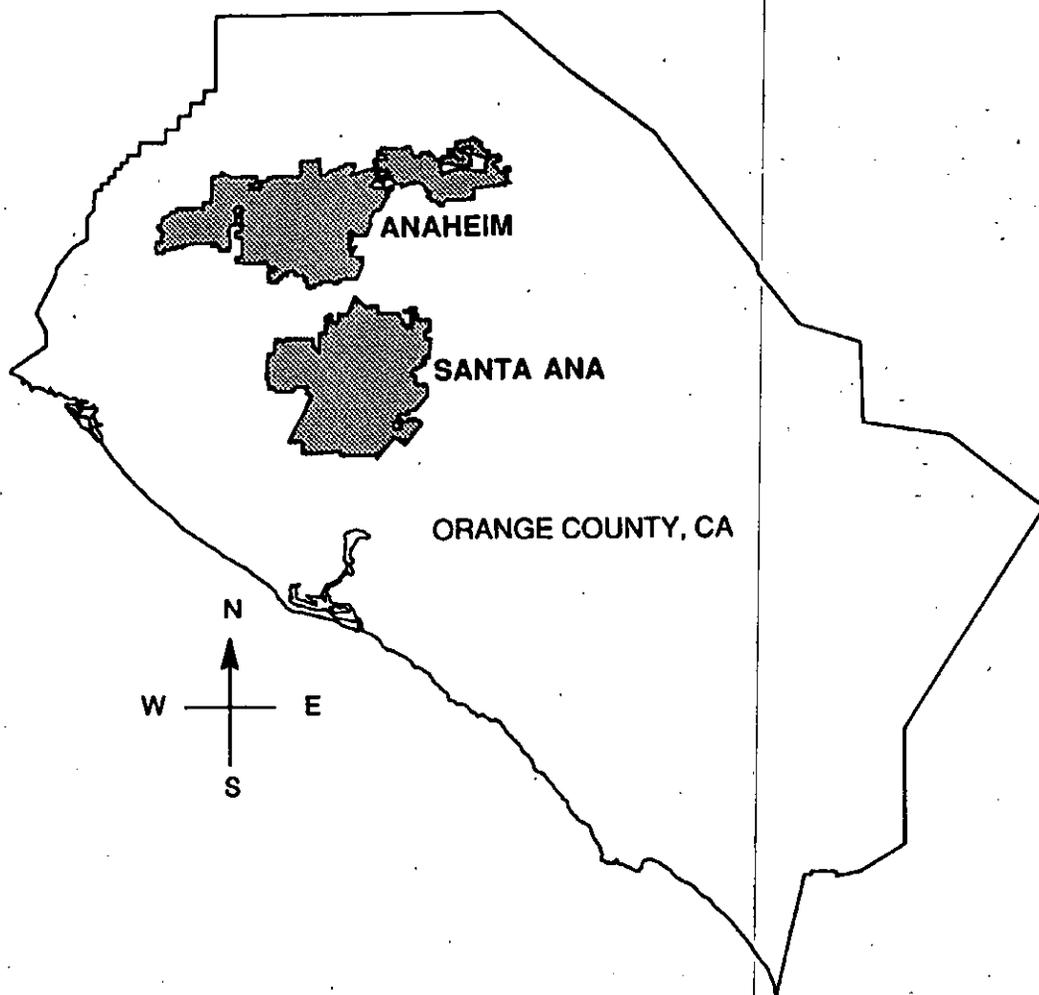
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# Primary Metropolitan Statistical Area



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## Anaheim-Santa Ana, CA



-  Central Cities of this PMSA
-  County Line



Table 1-1. General Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin
				Total	Race of householder				Total	Race of householder		
			White	Black			White	Black				
1 Total	851.5	618.1	485.7	251.5	196.8	4.5	64.3	42.6	14.7	13.3	.2	4.5
<b>Tenure</b>												
2 Owner occupied	513.7	401.0	340.3	155.9	123.3	1.5	21.7	20.4	5.7	5.7	-	1.7
3 Percent of all occupied	60.3	64.9	70.1	62.0	62.6	32.6	33.7	47.9	39.1	43.0	-	38.6
4 Renter occupied	337.7	217.1	145.4	95.6	73.5	3.0	42.6	22.2	8.9	7.6	.2	2.8
<b>Units in Structure</b>												
5 1, detached	434.8	366.3	308.6	159.9	127.6	1.1	25.4	22.8	7.3	7.1	-	1.5
6 1, attached	60.8	42.5	32.5	15.9	12.1	.9	4.0	2.4	.4	.4	-	.2
7 2 to 4	108.8	71.5	49.4	29.8	21.3	.2	14.1	5.8	2.9	2.4	-	1.1
8 5 to 9	86.2	55.2	37.1	18.8	14.5	1.4	7.7	3.6	1.1	1.1	-	.4
9 10 to 19	73.5	38.8	26.0	13.1	10.2	.4	7.1	4.1	1.3	1.1	-	.6
10 20 to 49	39.3	20.4	13.1	8.4	6.8	.2	4.9	2.0	.4	.2	.2	.2
11 50 or more	17.3	7.3	5.3	1.8	1.2	-	.9	.6	.6	.4	-	.2
12 Mobile home or trailer	31.0	18.2	13.7	3.8	3.1	.3	.3	1.4	.6	.6	-	.2
<b>Year Structure Built<sup>1</sup></b>												
13 1990 to 1994	49.4	35.7	29.5	16.6	11.9	.2	1.6	2.0	.7	.7	-	.5
14 1985 to 1989	92.5	65.9	55.7	32.1	23.9	1.2	5.1	2.8	.5	.5	-	.2
15 1980 to 1984	57.1	38.9	31.8	16.7	12.7	.5	1.8	1.3	.5	.5	-	.2
16 1975 to 1979	108.1	79.5	62.8	32.8	24.9	-	7.0	5.5	1.2	1.0	-	.2
17 1970 to 1974	147.0	97.8	73.3	38.3	27.8	1.0	9.0	8.5	3.4	2.7	.2	.2
18 1960 to 1969	260.0	197.1	158.3	78.1	62.4	1.2	22.9	9.9	3.6	3.6	-	1.4
19 1950 to 1959	96.5	72.1	54.4	28.7	23.3	.4	11.6	7.5	3.0	2.9	-	1.4
20 1940 to 1949	23.3	17.4	12.3	4.8	4.4	-	2.3	2.9	1.2	1.0	-	.4
21 1930 to 1939	11.4	8.7	5.5	2.9	2.9	-	1.5	1.5	.2	.2	-	.4
22 1920 to 1929	2.9	1.8	1.4	.7	.7	-	.7	.3	.3	.3	-	-
23 1918 or earlier	3.3	3.1	2.8	1.9	1.9	-	.8	.3	.3	.3	-	-
24 Median	1971	1970	1971	1971	1971	-	1967	1969	1967	1966	-	-
<b>Age of Householder</b>												
25 Under 25 years	38.5	21.3	12.8	5.3	4.7	-	3.2	3.6	.9	.9	-	.7
26 25 to 29	81.1	52.4	40.3	26.1	21.2	.4	13.1	6.7	1.7	1.5	.2	.6
27 30 to 34	113.3	90.4	73.0	55.3	42.3	.8	17.1	5.9	3.0	2.8	-	1.0
28 35 to 44	210.8	168.1	129.9	106.3	83.7	2.3	21.3	13.0	6.7	6.1	-	2.0
29 45 to 54	160.8	127.7	99.3	52.2	40.5	.8	8.0	6.1	1.9	1.7	-	.2
30 55 to 64	94.9	69.6	57.4	5.3	4.1	-	1.4	2.8	.4	.2	-	-
31 65 to 74	84.8	57.7	48.2	.9	.2	-	.2	2.5	-	-	-	-
32 75 years and over	67.2	30.8	24.8	.2	.2	-	-	1.9	-	-	-	-
33 Median	44	44	44	39	38	-	35	39	38	37	-	-
<b>Persons 65 Years Old and Over</b>												
34 None	678.1	509.8	400.6	243.8	193.8	4.3	61.7	34.0	14.7	13.3	.2	4.5
35 1 person	113.4	49.4	31.4	6.3	2.1	.2	1.6	5.1	-	-	-	-
36 2 persons or more	60.0	59.0	53.8	1.4	1.0	-	1.0	3.4	-	-	-	-
<b>Persons</b>												
37 1 person	172.7	-	-	-	-	-	-	-	-	-	-	-
38 2 persons	267.9	223.3	166.2	-	-	-	-	18.0	4.0	4.0	-	1.0
39 3 persons	147.4	136.9	99.9	61.8	47.7	1.2	8.9	9.6	3.6	3.2	.2	1.0
40 4 persons	139.2	135.5	117.9	99.5	77.3	2.3	18.9	7.0	3.0	2.8	-	.5
41 5 persons	69.2	68.2	57.3	52.4	42.6	-	16.4	5.5	3.0	2.3	-	1.3
42 6 persons	26.6	26.3	21.7	19.0	14.0	.3	7.7	2.1	.5	.5	-	.5
43 7 persons or more	28.5	27.9	22.6	18.8	15.2	.6	12.5	2.3	.5	.5	-	.5
44 Median	2.4	3.1	3.3	4.1	4.2	-	4.8	3.0	3.4	3.3	-	.2
<b>Rooms</b>												
45 1 room	2.2	.6	.4	.2	.2	-	.2	-	-	-	-	-
46 2 rooms	8.7	2.7	2.1	1.7	1.6	-	1.1	.2	-	-	-	-
47 3 rooms	69.5	27.2	19.5	6.3	5.2	-	5.4	2.8	.6	.2	-	.4
48 4 rooms	168.0	100.8	63.8	37.0	29.5	.6	20.8	11.3	4.1	3.7	-	1.2
49 5 rooms	170.1	113.1	83.5	41.8	31.2	1.1	14.4	7.7	2.9	2.5	.2	1.3
50 6 rooms	164.9	132.6	105.7	48.1	37.1	1.2	11.0	10.2	3.8	3.8	-	1.4
51 7 rooms	125.0	108.7	88.1	46.8	37.4	.7	6.1	6.9	2.0	1.8	-	.3
52 8 rooms	88.8	81.5	74.5	39.7	30.6	.2	3.3	2.6	.9	.9	-	.3
53 9 rooms	37.6	34.9	33.6	19.9	17.0	.5	1.4	.5	-	-	-	-
54 10 rooms or more	18.8	15.9	14.5	6.0	7.0	.2	.6	.3	.3	.3	-	-
55 Median	5.5	6.0	6.2	6.3	6.3	-	4.8	5.4	5.4	5.6	-	.4
<b>Persons Per Room</b>												
56 0.50 or less	551.2	334.5	263.7	70.3	55.8	1.5	4.9	21.1	5.9	5.9	-	1.2
57 0.51 to 1.00	245.9	230.7	179.7	143.7	111.7	2.0	33.6	17.5	7.2	6.5	.2	2.4
58 1.01 to 1.50	39.1	38.0	29.6	26.1	19.9	.7	15.7	2.9	1.1	.8	-	.6
59 1.51 or more	15.3	14.9	12.7	11.4	9.5	.2	10.1	1.0	.4	.2	-	.4

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Total	Living alone				Other nonfamily		Total	
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female		
		White	Black			Total	65 and over	Total	65 and over				
69.8	48.2	40.3	1.9	13.8	233.4	72.5	14.3	100.2	46.5	37.5	23.2	1	
40.3	13.0	10.8	.3	1.2	112.7	32.4	10.7	61.5	36.4	11.4	7.5	2	
44.9	26.9	26.3	14.9	8.4	48.3	44.6	75.0	61.4	78.4	30.3	32.3	3	
49.5	35.2	29.7	1.7	12.6	120.8	40.1	3.6	38.7	10.1	26.1	15.7	4	
34.9	15.0	12.8	.3	2.2	68.4	18.6	3.8	30.8	18.0	11.8	7.5	5	
7.6	3.8	3.4	.2	1.0	18.3	5.1	.5	8.4	2.6	2.5	2.4	6	
16.3	9.9	7.7	.7	3.4	37.3	10.1	1.7	17.2	7.1	6.0	4.0	7	
14.5	10.3	8.8	.4	2.9	31.0	9.0	.7	12.5	3.3	6.0	3.5	8	
8.7	3.5	2.9	.2	2.4	36.7	13.5	4.0	12.7	5.9	6.9	3.8	9	
5.4	4.0	3.6	.2	1.5	18.9	8.0	.4	6.9	1.8	3.1	.9	10	
1.3	1.2	.8	—	.4	10.0	6.1	.9	3.1	1.6	.8	.2	11	
3.1	.4	.4	—	—	12.8	2.3	2.3	8.6	6.1	.9	1.1	12	
4.2	3.0	2.5	—	.4	13.7	4.4	.5	4.0	.7	3.0	2.4	13	
7.5	6.3	5.4	.2	1.9	26.6	9.2	1.2	8.9	1.4	4.2	4.2	14	
5.8	2.9	1.9	.2	.3	18.2	6.4	1.3	8.4	3.5	2.1	1.4	15	
11.1	5.9	4.5	.4	1.5	28.6	9.5	.4	10.6	4.3	5.2	3.3	16	
18.0	9.8	8.7	—	3.3	49.2	14.3	2.3	20.1	8.4	9.5	5.2	17	
31.0	15.2	13.2	.7	4.4	62.8	19.9	6.3	30.1	17.2	7.8	5.0	18	
10.2	3.2	2.7	.4	1.5	24.4	5.9	2.1	13.1	9.0	4.3	1.1	19	
2.1	.9	.5	—	.4	5.9	1.6	.3	3.1	1.8	.8	.4	20	
1.7	.9	.9	—	—	2.7	.7	—	1.4	.3	.4	.2	21	
.2	—	—	—	—	1.0	.5	—	.4	—	.2	—	22	
—	—	—	—	—	.2	—	—	.2	—	—	—	23	
1970	1972	1972	—	1971	1972	1973	1968	1970	1967	1973	1975	24	
4.8	2.1	1.9	.2	1.2	17.2	3.2	—	3.8	—	6.2	4.0	25	
5.4	3.5	3.1	—	1.2	28.8	8.8	—	5.9	—	9.1	5.0	26	
11.5	10.8	8.8	.5	3.9	22.9	7.4	—	5.3	—	8.4	1.8	27	
25.2	21.3	17.1	1.3	5.1	42.6	21.0	—	10.4	—	7.4	3.8	28	
22.3	9.4	8.3	—	1.7	33.1	11.1	—	13.2	—	4.7	4.1	29	
9.4	1.4	1.1	—	.7	25.2	6.7	—	15.2	—	.5	2.8	30	
7.0	—	—	—	—	27.1	8.1	8.1	17.3	17.3	1.2	.8	31	
4.1	—	—	—	—	36.4	6.2	6.2	29.2	29.2	—	1.0	32	
44	39	39	—	38	47	43	74	63	75+	32	37	33	
75.2	47.7	39.9	1.9	13.4	168.3	58.2	—	53.7	—	35.5	20.8	34	
12.9	.4	.4	—	.4	64.1	14.3	14.3	46.5	46.5	1.4	1.9	35	
1.8	—	—	—	—	1.0	—	—	—	—	.5	.5	36	
—	—	—	—	—	172.7	72.5	14.3	100.2	46.5	—	—	37	
41.1	15.5	13.7	.8	2.0	44.8	—	—	—	—	27.9	16.7	38	
27.4	17.4	13.6	1.2	4.3	10.5	—	—	—	—	5.8	4.9	39	
10.6	8.0	6.8	.2	3.1	3.8	—	—	—	—	2.7	1.0	40	
5.3	3.2	2.6	—	1.8	1.0	—	—	—	—	.5	.5	41	
2.4	2.0	1.9	—	1.2	.4	—	—	—	—	.2	.2	42	
3.0	2.1	1.8	—	1.5	.6	—	—	—	—	.6	—	43	
2.6	3.0	3.0	—	3.7	1.5	—	—	—	—	2.2	2.2	44	
—	—	—	—	—	1.6	.6	.2	.9	.3	—	.2	45	
.4	.4	.2	—	.4	5.9	3.1	—	2.3	.8	—	—	46	
4.8	3.7	2.9	.4	2.2	42.3	20.5	3.8	18.6	5.4	2.6	.8	47	
25.6	14.8	12.3	.8	5.3	67.2	18.9	3.1	28.8	14.1	12.3	7.1	48	
21.9	12.2	10.0	.8	3.7	57.0	13.0	1.9	22.5	13.3	13.4	8.0	49	
16.7	9.1	8.4	—	1.4	32.3	10.0	3.2	15.4	8.2	4.2	2.7	50	
13.8	5.0	4.3	—	.8	16.3	4.2	1.4	6.9	2.9	3.0	2.2	51	
4.4	2.5	1.7	—	—	7.2	.8	.3	3.8	1.8	1.0	1.8	52	
.8	—	—	—	—	2.6	1.1	.3	.5	.2	.2	.8	53	
1.1	.8	.6	—	—	.9	.2	—	.5	.2	.2	—	54	
8.1	4.9	5.0	—	4.3	4.5	4.1	4.5	4.5	4.8	4.7	5.0	55	
49.8	21.1	18.7	.2	2.3	218.7	71.9	14.1	99.4	46.2	28.1	17.3	56	
33.5	22.4	17.4	1.7	7.7	15.1	.8	.2	.9	.3	8.2	5.5	57	
5.4	3.7	3.3	—	2.8	1.1	—	—	—	—	.9	.2	58	
1.2	1.0	1.0	—	1.0	.4	—	—	—	—	.2	.2	59	

Table 1-2. Financial Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple					Male householder, no wife present				
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin
				Total	Race of householder				Total	Race of householder		
			White	Black			White	Black				
1 Total.....	851.5	616.1	485.7	251.5	196.8	4.5	64.3	42.6	14.7	13.3	.2	4.5
<b>Household Income</b>												
2 Less than \$5,000.....	10.1	5.8	4.0	1.3	.9	-	.4	.2	.2	.2	-	-
3 \$5,000 to \$9,999.....	36.2	18.5	6.1	5.0	3.0	-	2.8	1.6	.7	.4	-	-
4 \$10,000 to \$14,999.....	43.2	25.0	15.6	7.9	5.9	-	5.0	2.0	.7	.7	-	-
5 \$15,000 to \$19,999.....	44.5	26.7	19.3	9.8	6.7	-	6.3	1.6	.6	.6	-	-
6 \$20,000 to \$24,999.....	50.8	33.7	21.5	9.8	7.7	.3	5.2	2.6	1.1	.5	-	-
7 \$25,000 to \$29,999.....	62.0	40.9	27.4	14.9	12.0	-	7.0	5.6	1.3	.3	-	-
8 \$30,000 to \$34,999.....	52.6	33.6	22.5	11.4	8.3	-	4.4	4.3	1.1	.9	-	-
9 \$35,000 to \$39,999.....	47.4	32.8	24.4	11.8	8.8	.8	6.5	2.3	1.1	1.1	-	-
10 \$40,000 to \$49,999.....	91.4	63.6	46.3	23.3	19.2	-	8.0	5.1	1.0	1.0	-	-
11 \$50,000 to \$59,999.....	76.9	56.8	47.4	24.2	18.8	.2	5.9	2.6	1.0	1.0	-	-
12 \$60,000 to \$79,999.....	123.3	101.5	85.7	46.3	38.4	1.5	5.8	4.6	1.7	1.7	-	-
13 \$80,000 to \$99,999.....	81.9	67.7	62.3	32.9	26.7	.4	3.9	2.6	.8	.8	-	-
14 \$100,000 to \$119,999.....	51.9	44.3	38.4	20.9	17.5	-	1.5	3.8	1.9	1.9	-	-
15 \$120,000 or more.....	79.3	69.2	62.8	31.8	24.9	.9	1.8	3.4	1.1	1.1	-	-
16 Median.....	48 632	55 370	61 457	62 674	63 928	-	36 015	41 674	42 741	49 004	-	-
As percent of poverty level:												
17 Less than 50 percent.....	14.2	10.5	7.1	4.3	2.8	.2	2.5	.4	.4	.4	-	.2
18 50 to 99.....	38.7	31.7	19.4	16.1	11.4	.3	9.9	2.9	1.7	1.3	-	.7
19 100 to 149.....	55.5	39.3	28.3	18.8	14.6	.3	10.8	2.9	.7	2.2	-	.4
20 150 to 199.....	56.9	39.8	27.6	16.7	13.2	-	8.9	5.4	1.9	1.5	-	.4
21 200 percent or more.....	686.1	496.9	403.3	195.6	154.7	3.7	32.3	30.8	9.9	9.9	-	2.3
<b>Monthly Housing Costs</b>												
22 Less than \$100.....	4.2	1.3	1.0	-	-	-	-	.3	-	-	-	-
23 \$100 to \$199.....	33.5	18.7	12.8	1.1	.8	-	.3	1.1	.2	-	-	-
24 \$200 to \$249.....	12.2	7.2	9.5	1.0	.7	-	.4	1.0	-	-	-	-
25 \$250 to \$299.....	17.0	11.3	7.6	.5	.2	-	.2	.7	.2	-	-	-
26 \$300 to \$349.....	14.8	10.6	8.6	1.1	.7	-	.7	.2	-	-	-	-
27 \$350 to \$399.....	14.8	8.5	5.6	1.4	.9	-	.8	1.4	.3	-	-	-
28 \$400 to \$449.....	16.4	9.3	8.3	2.3	1.7	-	.8	.4	.2	.3	-	-
29 \$450 to \$499.....	17.1	11.7	9.1	3.3	2.7	-	1.0	1.3	.5	.5	-	-
30 \$500 to \$599.....	49.9	29.4	22.6	7.7	6.5	-	5.4	2.2	1.0	.7	-	.4
31 \$600 to \$699.....	62.2	37.6	24.9	12.9	10.0	-	6.7	3.2	1.2	1.0	-	.2
32 \$700 to \$799.....	51.1	35.5	20.7	18.0	14.0	.7	11.5	3.9	1.7	1.7	-	1.3
33 \$800 to \$999.....	116.7	82.6	58.0	29.5	21.5	1.6	10.3	7.8	3.2	3.0	-	1.1
34 \$1,000 to \$1,249.....	100.3	74.6	58.5	34.1	27.8	.2	11.1	4.9	1.5	1.3	-	1.1
35 \$1,250 to \$1,499.....	82.1	66.7	55.0	37.3	29.7	.9	7.6	5.6	1.1	1.1	-	.2
36 \$1,500 or more.....	158.7	141.6	127.7	82.8	65.3	.7	7.0	5.1	1.9	1.9	-	2.0
37 No cash rent.....	10.6	5.2	3.6	1.6	1.6	-	.2	.8	.6	.4	-	.4
38 Mortgage payment not reported.....	57.7	45.9	37.4	14.2	11.1	.4	1.3	2.9	1.1	1.1	-	.3
39 Median (excludes no cash rent).....	913	998	1 080	1 285	1 274	-	891	898	673	689	-	1 630
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs.....	1 167	1 300	1 351	1500+	1500+	-	1 392	1 072	-	-	-	-
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	1 087	1 217	1 266	1500+	1 497	-	1 346	1 013	-	-	-	-
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>												
42 Less than 5 percent.....	20.3	16.8	13.8	3.1	2.2	-	.5	1.3	-	-	-	-
43 5 to 9 percent.....	56.0	44.9	35.6	5.9	5.0	.2	1.2	3.3	.8	.8	-	-
44 10 to 14 percent.....	70.3	57.8	48.9	17.6	13.9	.2	1.9	6.1	2.4	2.4	-	-
45 15 to 19 percent.....	105.6	79.5	67.7	32.4	27.3	1.1	4.4	2.0	2.4	2.4	-	-
46 20 to 24 percent.....	111.5	81.8	68.5	41.4	32.7	1.2	7.4	4.7	2.4	2.2	-	1.3
47 25 to 29 percent.....	95.5	70.0	57.5	34.8	27.1	-	7.7	3.5	1.1	.9	-	.2
48 30 to 34 percent.....	77.0	53.7	40.5	27.1	21.2	.4	9.6	3.8	.9	.9	-	.4
49 35 to 39 percent.....	52.0	34.5	27.3	17.2	13.4	-	4.8	2.0	.6	.6	-	.2
50 40 to 49 percent.....	68.3	47.3	33.2	22.4	17.3	.2	8.5	3.4	1.2	1.2	-	.4
51 50 to 59 percent.....	37.2	26.2	17.5	13.7	8.6	.3	6.7	3.7	1.6	1.6	-	.7
52 60 to 69 percent.....	23.6	14.1	10.3	6.3	5.5	-	4.2	1.7	.8	.8	-	.2
53 70 to 99 percent.....	32.2	19.4	11.3	7.3	5.1	-	2.6	1.5	.5	.5	-	.2
54 100 percent or more <sup>1</sup> .....	31.9	19.6	11.8	6.6	4.9	-	3.3	1.6	1.0	1.0	-	.3
55 Zero or negative income.....	1.9	1.4	1.0	-	-	-	-	-	-	-	-	.4
56 No cash rent.....	10.6	5.2	3.6	1.6	1.6	-	.2	.8	.6	.4	-	.4
57 Mortgage payment not reported.....	57.7	45.9	37.4	14.2	11.1	.4	1.3	2.9	1.1	1.1	-	.3
58 Median (excludes 3 previous lines).....	26	25	24	28	27	-	34	28	27	26	-	26
59 Median (excludes 4 lines before medians).....	26	25	24	27	27	-	33	27	25	24	-	24

Family households—Con.					Nonfamily households											
Female householder, no husband present					Living alone								Other nonfamily			
Total	With own children under 18				Total	Male			Female		Total	65 and over	Male	Female		
	Total	Race of householder		Hhldr of Hispanic origin		Total	65 and over	Total	65 and over	Total						65 and over
		White	Black													
89.8	48.2	40.3	1.9	13.8	233.4	72.5	14.3	100.2	46.5	37.5	23.2	1				
1.5	.6	.4	—	.2	4.3	.6	.2	3.3	1.8	.4	—	—	2			
6.8	5.3	4.1	.5	1.7	19.7	5.4	2.5	14.1	10.6	.2	—	—	3			
7.4	5.8	4.5	.2	3.2	18.2	4.0	2.3	12.6	9.8	.8	.9	4				
5.7	3.1	3.1	—	1.2	17.8	6.6	3.8	9.7	7.3	.8	.8	5				
9.6	4.8	4.2	.2	2.0	17.1	4.6	.7	10.4	3.9	1.0	1.2	6				
7.9	3.7	3.3	—	1.2	21.1	8.3	.7	9.4	5.0	2.1	1.3	7				
6.9	5.3	3.7	.7	1.0	19.0	4.6	.5	8.3	2.1	3.8	2.3	8				
6.1	3.5	2.6	—	1.1	14.6	5.7	.6	6.7	1.5	4.6	.5	9				
12.1	5.3	4.9	.4	1.1	27.8	9.5	1.3	10.9	2.9	1.8	2.9	10				
6.7	3.3	2.6	—	.5	20.1	6.4	—	6.3	.9	3.7	2.9	11				
11.1	4.6	4.4	—	.2	21.8	5.9	—	5.0	.5	4.4	3.2	12				
2.9	—	—	—	—	14.1	4.3	1.3	1.3	.3	7.6	4.4	13				
2.2	.8	.8	—	—	7.6	2.6	—	.8	—	4.4	4.2	14				
3.1	2.1	1.8	—	.5	10.1	4.0	.3	1.4	—	2.9	1.3	15				
34 408	30 874	30 921	—	21 696	34 852	36 888	17 747	25 034	15 751	59 120	54 944	16				
3.0	1.8	1.2	.2	.8	3.7	.6	.2	2.5	1.5	.6	—	17				
6.4	6.1	6.8	.3	4.1	7.0	1.7	—	4.6	2.8	.2	.5	18				
8.0	5.9	4.9	.2	3.4	16.2	3.9	2.5	11.4	6.7	.4	.8	19				
6.7	3.7	3.1	.2	1.0	17.2	4.3	2.3	10.0	7.4	2.4	.8	20				
62.7	26.6	24.2	1.1	4.9	169.3	62.0	9.2	71.7	26.0	34.0	21.5	21				
—	—	—	—	—	2.9	.5	.3	2.3	2.2	—	—	22				
4.9	1.3	.9	—	—	14.8	1.9	1.0	12.2	9.7	.3	.3	23				
1.7	.6	.4	—	—	4.5	2.9	1.6	1.5	1.5	—	.2	24				
2.6	.4	.2	—	—	5.8	1.0	.2	4.0	3.7	—	.8	25				
1.8	.5	.2	.3	.2	4.2	1.3	.7	2.7	1.7	—	.2	26				
1.5	.2	—	—	.2	6.3	1.6	1.1	4.2	3.7	.3	.3	27				
.6	.4	.4	—	.4	7.1	2.8	1.9	3.7	2.7	.2	.3	28				
1.3	.6	.4	—	—	5.4	1.0	.2	3.0	2.1	.3	1.0	29				
4.5	1.8	1.8	—	1.3	20.5	6.6	1.8	9.6	5.1	1.3	1.1	30				
9.4	6.2	5.7	.4	2.8	24.7	9.6	.8	9.8	2.9	4.1	1.3	31				
11.7	7.0	5.6	.2	2.9	27.7	9.2	.9	10.3	2.2	4.5	3.7	32				
17.0	10.5	8.0	.9	3.3	34.2	7.1	1.2	13.3	2.6	9.2	4.6	33				
11.2	6.1	5.9	.8	.8	25.7	6.5	.2	7.1	1.0	7.4	4.7	34				
6.0	3.8	3.6	.2	1.5	15.4	5.3	.2	5.6	.8	3.3	1.2	35				
8.9	5.8	5.1	1.0	1.0	17.0	6.4	1.0	3.2	.8	4.8	2.6	36				
.7	.2	.2	—	—	5.4	1.9	.2	3.1	2.1	.2	.2	37				
5.6	2.6	2.0	.2	.2	11.8	5.0	1.0	4.6	1.7	1.5	.7	38				
616	666	688	—	747	743	718	443	631	385	950	886	39				
953	1 388	1 438	—	—	671	933	428	521	371	1 303	878	40				
904	1 276	1 316	—	—	623	862	419	476	361	1 218	782	41				
1.8	.2	.2	—	—	3.5	2.0	.3	.7	.3	.3	.5	42				
6.1	.8	.5	—	.2	11.1	4.8	1.3	5.3	3.8	.5	.4	43				
6.9	1.8	1.6	—	.4	12.5	3.4	.7	6.4	4.1	1.6	1.0	44				
5.7	2.6	2.6	—	.3	26.1	12.3	1.5	10.6	5.2	2.9	.4	45				
8.6	2.3	2.3	.4	.4	29.7	10.1	1.9	13.0	4.2	3.6	3.1	46				
9.1	5.5	3.8	.4	1.5	25.5	8.0	1.4	13.1	4.9	2.3	2.1	47				
9.3	6.3	5.4	.5	1.4	23.3	6.0	.4	9.8	4.5	4.1	3.3	48				
5.1	3.0	1.9	.7	.8	17.5	5.1	.9	7.7	3.1	2.6	2.2	49				
10.4	7.3	6.6	—	2.8	20.9	4.9	1.0	7.9	2.4	5.5	2.8	50				
5.3	3.3	3.1	—	.7	11.0	2.3	1.5	4.5	3.0	2.8	1.4	51				
2.2	1.5	1.3	—	1.0	9.5	2.7	.7	4.3	2.8	1.8	.7	52				
6.7	5.6	4.6	.2	2.7	12.8	2.5	1.1	3.7	1.8	4.6	2.0	53				
5.9	4.9	4.2	.2	1.8	12.4	1.5	.4	5.4	2.7	2.8	2.7	54				
.5	.3	—	—	—	.4	.2	—	—	—	.2	.2	55				
.7	.2	.2	—	—	5.4	1.9	.2	3.1	2.1	.2	.2	56				
5.6	2.6	2.0	—	.2	11.8	5.0	1.0	4.6	1.7	1.5	.7	57				
32	40	41	—	48	30	25	28	29	29	40	36	58				
30	36	36	—	44	29	25	27	28	28	37	34	59				

**Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Total	With own children under 18				
				Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin
White	Black	White	Black									
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	513.7	401.0	340.3	155.9	123.3	1.5	21.7	20.4	5.7	5.7	-	1.7
Value												
2 Less than \$10,000.....	1.8	.8	.5	.5	.5	-	-	-	-	-	-	-
3 \$10,000 to \$19,999.....	5.6	3.8	2.5	.8	.8	-	-	.2	-	-	-	-
4 \$20,000 to \$29,999.....	6.4	3.5	2.9	.3	.3	-	-	.3	-	-	-	-
5 \$30,000 to \$39,999.....	8.3	4.9	3.1	1.2	.6	.3	-	.6	.8	.6	-	-
6 \$40,000 to \$49,999.....	6.9	3.8	3.6	1.6	1.6	-	.3	.2	-	-	-	-
7 \$50,000 to \$59,999.....	1.7	.2	-	-	-	-	-	-	-	-	-	-
8 \$60,000 to \$69,999.....	5.3	2.3	1.8	.3	.3	-	-	.3	-	-	-	-
9 \$70,000 to \$79,999.....	3.8	1.0	1.0	-	-	-	-	-	-	-	-	-
10 \$80,000 to \$99,999.....	9.5	5.0	3.2	1.3	1.0	-	.4	.2	.2	.2	-	-
11 \$100,000 to \$119,999.....	15.1	8.4	6.9	2.9	2.3	-	.4	.5	.3	.3	-	-
12 \$120,000 to \$149,999.....	32.2	19.7	14.7	6.1	5.1	-	1.2	1.5	.8	.8	-	.3
13 \$150,000 to \$199,999.....	121.4	93.9	72.7	33.6	25.7	.2	10.9	7.8	1.7	1.7	-	1.5
14 \$200,000 to \$249,999.....	114.9	96.2	85.5	44.0	34.7	-	4.5	4.2	.7	.7	-	-
15 \$250,000 to \$299,999.....	66.5	58.0	51.7	21.8	17.7	.2	3.0	1.8	1.1	1.1	-	-
16 \$300,000 or more.....	112.4	97.5	90.3	41.5	32.7	.7	1.0	2.8	.3	.3	-	-
17 Median.....	216 962	227 073	233 503	233 370	233 854	-	189 178	190 758	-	-	-	-

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		Total
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
40.3	13.0	10.6	.3	1.2	112.7	32.4	10.7	61.5	36.4	11.4	7.5	1
1.3	--	--	--	--	1.0	.2	.2	.8	.5	--	--	2
1.1	--	--	--	--	1.7	.4	.4	.5	.5	.8	--	3
1.2	--	--	--	--	2.9	1.2	1.3	1.1	.7	.6	--	4
1.2	.4	.4	--	--	3.4	.9	1.3	2.1	1.4	--	.3	5
1.3	--	--	--	--	3.1	1.0	.8	1.8	1.0	--	.3	6
1.3	--	--	--	--	1.5	.2	.2	1.0	1.0	--	.2	7
1.3	--	--	--	--	3.0	.6	.6	1.9	1.8	--	.5	8
1.6	.7	.4	.3	.2	2.8	.6	.6	2.2	1.7	--	--	9
1.1	.4	.4	--	--	4.5	.6	.2	3.8	2.4	.3	--	10
3.5	1.4	1.1	--	--	6.6	1.9	2.3	4.5	1.9	--	.2	11
13.4	2.4	2.2	--	.4	12.5	5.1	2.4	8.1	3.7	.9	.4	12
8.5	3.2	2.5	--	--	27.6	7.8	1.2	15.5	9.2	3.2	1.2	13
4.5	2.3	1.7	--	.3	16.8	5.5	1.0	6.4	3.4	3.3	1.6	14
4.5	2.2	1.9	--	--	10.5	2.4	.8	6.4	3.0	1.3	.5	15
189 881	218 353	216 123	--	--	174 295	171 380	138 739	166 602	159 338	198 988	218 869	17

Table 1-3. Housing Quality by Family Type—Occupied Units

[Numbers in thousands. Consistent with 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin	
			Total	Race of householder				Total	Race of householder			
White	Black			White	Black							
1 Total	851.5	618.1	485.7	251.5	196.8	4.5	64.3	42.6	14.7	13.3	.2	4.5
<b>Water Supply Stoppage</b>												
2 With hot and cold piped water	851.5	618.1	485.7	251.5	196.8	4.5	64.3	42.6	14.7	13.3	.2	4.5
3 No stoppage in last 3 months	808.0	585.4	462.6	238.4	188.2	4.5	60.8	40.6	13.9	12.6	.2	4.1
4 With stoppage in last 3 months	37.3	27.5	19.6	11.0	8.8	-.3	3.3	1.5	.4	.4	-.1	.4
5 No stoppage lasting 6 hours or more	21.2	16.5	11.9	7.0	5.4	-.1	1.9	1.0	.4	.4	-.1	.4
6 1 time lasting 6 hours or more	10.9	7.7	5.2	2.9	2.3	-.1	.9	.6	-.1	-.1	-.1	-.1
7 2 times	2.6	1.5	1.1	.9	.9	-.1	.4	-.1	-.1	-.1	-.1	-.1
8 3 times	.4	.2	.2	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
9 4 times or more	.9	.9	.6	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
10 Number of times not reported	1.3	.7	.7	.2	.2	-.1	.2	-.1	-.1	-.1	-.1	-.1
11 Stoppage not reported	6.2	5.2	3.5	2.1	1.8	-.1	.2	.4	.4	.4	-.1	-.1
<b>Flush Toilet Breakdowns</b>												
12 With one or more flush toilets	851.5	618.1	485.7	251.5	196.8	4.5	64.3	42.6	14.7	13.3	.2	4.5
13 With at least one working toilet at all times in last 3 months	806.9	585.2	462.4	238.8	184.8	4.3	59.1	39.9	14.0	12.9	-.1	4.3
14 None working some time in last 3 months	42.6	31.9	22.3	14.4	11.7	.2	5.2	2.7	.7	.5	.2	.2
15 No breakdowns lasting 6 hours or more	16.7	10.9	7.5	4.1	2.5	.2	1.2	1.1	.2	.2	-.1	.2
16 1 time lasting 6 hours or more	16.3	13.1	9.5	7.4	7.2	-.1	2.8	1.0	.5	.5	-.1	.2
17 2 times	4.5	3.8	2.4	1.3	.8	-.1	.2	.2	-.1	-.1	-.1	-.1
18 3 times	.4	.2	.2	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
19 4 times or more	.8	.8	.6	.4	.4	-.1	-.1	-.1	-.1	-.1	-.1	-.1
20 Number of times not reported	3.9	3.1	2.1	1.2	.9	-.1	1.0	.2	-.1	-.1	-.1	-.1
21 Breakdowns not reported	1.9	1.0	1.0	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1
<b>Sewage Disposal Breakdowns</b>												
22 With public sewer	848.4	615.3	483.5	250.1	195.4	4.5	63.9	42.0	14.4	13.0	.2	4.5
23 No breakdowns in last 3 months	833.9	604.4	476.7	245.8	191.5	4.5	63.0	40.7	14.2	12.8	.2	4.5
24 With breakdowns in last 3 months	14.5	10.8	6.7	4.3	3.9	-.1	.9	1.3	.2	.2	-.1	-.1
25 No breakdowns lasting 6 hours or more	6.0	4.2	2.5	1.6	1.5	-.1	.6	.5	.2	.2	-.1	-.1
26 1 time lasting 6 hours or more	5.6	4.2	3.1	2.0	1.8	-.1	.5	.5	-.1	-.1	-.1	-.1
27 2 times	1.3	.8	.5	.5	.5	-.1	.2	.3	-.1	-.1	-.1	-.1
28 3 times	1.5	1.5	.4	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
29 4 times or more	.2	.2	.2	.2	.2	-.1	.2	-.1	-.1	-.1	-.1	-.1
30 With septic tank or cesspool	3.1	2.9	2.3	1.4	1.4	-.1	.4	.6	.3	.3	-.1	-.1
31 No breakdowns in last 3 months	3.1	2.9	2.3	1.4	1.4	-.1	.4	.6	.3	.3	-.1	-.1
32 With breakdowns in last 3 months	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
33 No breakdowns lasting 6 hours or more	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
34 1 time lasting 6 hours or more	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
35 2 times	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
36 3 times	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
37 4 times or more	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
<b>Heating Problems</b>												
38 With heating equipment and occupied last winter	782.7	575.0	454.1	230.3	180.8	3.8	56.7	39.3	14.2	12.9	.2	4.3
39 Not uncomfortably cold for 24 hours or more last winter	756.7	554.5	440.0	222.0	175.4	3.8	54.3	38.7	14.0	12.7	.2	4.3
40 Uncomfortably cold for 24 hours or more last winter <sup>1</sup>	25.3	20.2	13.8	8.3	5.4	.2	2.5	.6	.2	.2	-.1	-.1
41 Equipment breakdowns	12.7	10.5	6.5	4.7	3.5	.2	1.7	.2	.2	.2	-.1	-.1
42 No breakdowns lasting 6 hours or more	.3	.3	.3	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1
43 1 time lasting 6 hours or more	8.7	7.5	4.3	3.1	2.2	.2	1.1	-.1	-.1	-.1	-.1	-.1
44 2 times	1.4	1.4	1.0	.7	.4	-.1	.2	-.1	-.1	-.1	-.1	-.1
45 3 times	.5	.5	.3	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1
46 4 times or more	.6	.4	.2	.2	.2	-.1	.2	.2	.2	.2	-.1	-.1
47 Number of times not reported	1.4	.4	.4	.2	.2	-.1	.2	-.1	-.1	-.1	-.1	-.1
48 Other causes	14.0	11.2	6.6	4.6	2.7	-.1	1.4	.4	-.1	-.1	-.1	-.1
49 Utility interruption	.4	.4	-.1	-.1	-.1	-.1	-.1	.4	-.1	-.1	-.1	-.1
50 Inadequate heating capacity	3.4	2.1	1.2	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
51 Inadequate insulation	1.8	1.8	1.4	.6	.4	-.1	.4	-.1	-.1	-.1	-.1	-.1
52 Other	8.0	6.5	4.6	2.6	1.9	-.1	.8	-.1	-.1	-.1	-.1	-.1
53 Not reported	.4	.4	.4	.2	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
54 Reason for discomfort not reported	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
55 Discomfort not reported	.8	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
<b>Selected Deficiencies<sup>1</sup></b>												
56 Signs of rats in last 3 months	36.2	31.2	23.8	16.8	13.1	.2	6.1	2.5	-.1	-.1	-.1	-.1
57 Holes in floors	11.4	8.5	6.3	5.3	4.9	-.1	3.4	.7	.3	.3	-.1	-.1
58 Open cracks or holes (interior)	39.0	30.1	20.6	15.0	13.2	.4	7.4	3.2	.8	.8	-.1	-.1
59 Broken plaster or peeling paint (interior)	21.8	17.4	12.1	7.0	6.5	.2	3.3	1.6	.6	.6	-.1	-.1
60 No electrical wiring	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
61 Exposed wiring	11.0	7.9	6.5	3.2	2.1	-.1	1.4	.8	.2	.2	-.1	-.1
62 Rooms without electric outlets	10.4	6.4	4.4	2.1	1.9	-.1	1.1	.7	.3	.3	-.1	-.1
<b>Selected Amenities<sup>1</sup></b>												
63 Porch, deck, balcony, or patio	759.1	548.8	437.5	221.8	174.9	4.3	49.0	34.2	12.3	11.4	-.1	3.3
64 Not reported	.5	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
65 Telephone available	800.9	583.8	460.2	237.1	184.0	4.2	58.6	40.8	14.0	12.7	.2	4.3
66 Usable fireplace	488.5	389.8	328.2	160.8	127.2	2.3	21.6	20.8	6.3	6.3	-.1	.8
67 Separate dining room	432.4	341.6	280.8	139.5	109.6	3.3	24.6	20.0	7.0	6.7	.2	2.5
68 With 2 or more living rooms or recreation rooms, etc.	316.9	269.2	235.5	117.4	94.4	1.3	10.9	11.5	3.9	3.8	-.1	.3
69 Garage or carport included with home	807.0	589.2	465.0	238.1	185.8	4.3	55.4	39.0	13.3	12.2	.2	4.1
70 Garage or carport not included	43.3	27.9	19.9	13.0	10.5	.2	8.6	3.6	1.3	1.1	-.1	.4
71 Offstreet parking included	30.0	20.2	14.5	9.5	7.7	.2	5.9	2.5	1.3	1.1	-.1	.4
72 Offstreet parking not reported	2.8	1.6	1.0	.6	.4	-.1	.4	.2	-.1	-.1	-.1	-.1
73 Garage or carport not reported	1.2	1.0	.8	.5	.5	-.1	.3	-.1	-.1	-.1	-.1	-.1



Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18				Total	With own children under 18				
			Total	Race of householder		Hhldr of Hispanic origin		Total	Race of householder		Hhldr of Hispanic origin	
White	Black			White	Black							
<b>Overall Opinion of Structure</b>												
1 (worst).....	3.4	3.0	2.3	1.7	1.4	-	.8	-	-	-	-	-
2.....	2.5	2.3	1.2	.8	.8	-	.4	.7	.2	-	-	-
3.....	6.3	5.0	3.6	2.9	2.5	.5	.5	.7	.3	.3	-	-
4.....	8.4	5.8	3.2	2.7	2.3	.2	.8	1.1	.6	.6	-	-
5.....	48.3	33.9	23.2	15.4	9.6	.5	4.4	2.3	.9	.7	-	.3
6.....	40.6	28.0	20.0	12.6	8.3	-	3.4	3.2	1.5	1.5	-	.4
7.....	103.9	69.5	49.4	29.0	22.3	.6	8.6	6.2	1.4	1.2	-	.5
8.....	219.5	158.5	124.2	64.0	50.1	1.2	15.8	12.6	4.3	4.1	-	.7
9.....	143.7	105.1	87.7	43.4	35.3	1.3	8.7	5.2	2.0	2.0	-	.6
10 (best).....	274.9	205.8	169.8	78.6	64.1	.6	21.0	10.6	3.5	2.9	.2	1.9
11 Not reported.....	2.1	1.2	1.2	.7	.2	-	-	-	-	-	-	-
<b>Neighborhood Conditions</b>												
12 With neighborhood.....	848.8	618.3	484.1	250.9	196.4	4.5	64.3	42.6	14.7	13.3	.2	4.5
13 No problems.....	495.6	361.2	290.1	148.9	109.9	2.9	44.3	27.3	9.0	8.1	-	2.9
14 With problems <sup>1</sup> .....	352.4	254.3	193.1	101.5	85.9	1.6	19.9	15.2	5.6	5.2	.2	1.6
15 Crime.....	78.0	57.6	40.7	23.7	19.3	.4	7.1	4.1	1.4	1.4	-	.5
16 Noise.....	82.7	55.8	43.9	21.6	17.1	-	5.7	3.1	.7	.7	-	.2
17 Traffic.....	51.0	35.2	27.9	15.5	14.1	.2	3.5	1.6	.6	.6	-	.2
18 Litter or housing deterioration.....	28.6	21.1	16.6	9.6	9.3	-	2.5	.9	.5	.5	-	.5
19 Poor city or county services.....	8.0	8.0	4.9	3.0	2.8	-	.4	.5	-	-	-	.5
20 Undesirable commercial, institutional, industrial.....	11.2	8.2	7.4	3.1	2.9	-	.2	.2	-	-	-	-
21 People.....	158.2	117.1	88.3	49.8	41.5	1.0	10.9	6.1	2.0	2.0	-	1.1
22 Other.....	99.5	68.9	51.6	22.3	19.5	.4	2.8	5.3	2.6	2.2	.2	.7
23 Type of problem not reported.....	.7	.7	.7	.5	.5	-	-	-	-	-	-	-
24 Presence of problems not reported.....	.8	.8	.8	.5	.5	-	-	-	-	-	-	-
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst).....	7.7	5.9	4.2	2.7	1.6	-	.7	1.1	.5	.5	-	.3
26.....	10.0	8.4	5.5	3.4	3.1	-	1.5	.4	-	-	-	-
27.....	11.2	7.7	4.8	1.8	1.3	-	.9	1.0	.8	.8	-	-
28.....	18.8	11.4	7.8	4.3	3.9	-	1.1	.5	-	-	-	-
29.....	56.1	43.2	28.1	15.5	11.9	.9	4.7	3.9	.7	.7	-	.2
30.....	49.1	33.0	23.7	15.8	12.7	.2	4.2	1.3	.2	.2	-	.2
31.....	103.8	73.0	57.8	32.5	25.1	.4	8.2	6.9	2.1	2.0	-	1.0
32.....	189.0	136.1	106.8	58.3	45.7	.6	15.4	10.7	4.6	3.9	.2	1.0
33.....	140.3	101.3	82.4	42.0	35.2	1.1	7.7	6.2	2.3	2.1	-	.5
34 10 (best).....	262.9	196.3	162.9	74.5	55.9	1.3	20.1	10.6	3.4	3.2	-	1.3
35 No neighborhood.....	-	-	-	-	-	-	-	-	-	-	-	-
36 Not reported.....	2.7	1.9	1.7	.6	.5	-	-	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18			Hhldr of Hispanic origin	Total	Living alone			Other nonfamily			
	Total	Race of householder				Total	Male		Female		Male	Female
		White	Black				Total	65 and over	Total	65 and over		
.8	.8	.8	—	.8	.4	—	—	—	—	.2	.2	1
.4	.4	.4	—	—	.2	—	—	.2	—	—	—	2
.7	.6	.6	—	.2	1.3	.4	—	.5	.5	.2	.2	3
1.4	1.2	1.0	—	.8	2.6	1.0	.2	.9	.3	.5	.2	4
8.5	4.6	3.1	.4	.9	12.4	3.7	1.1	4.6	2.2	3.0	1.1	5
4.7	2.9	2.5	.4	1.0	12.6	5.9	.2	4.6	1.3	1.5	.7	6
14.0	8.5	6.5	.8	1.4	34.4	12.9	1.5	10.1	3.2	7.3	4.2	7
21.7	13.4	11.8	.2	3.6	61.0	17.3	2.2	24.9	12.3	11.6	7.3	8
12.2	6.7	6.2	—	1.8	38.6	13.0	3.8	15.1	6.2	7.1	3.3	9
25.4	9.1	7.6	.2	3.8	69.1	17.7	4.9	39.4	20.5	6.2	5.8	10
—	—	—	—	—	.8	.6	.3	—	—	—	.2	11
89.6	48.0	40.1	1.9	13.6	232.6	71.9	14.3	100.0	46.3	37.5	23.2	12
43.7	23.9	19.7	.8	6.9	134.5	44.2	9.1	60.8	32.5	20.0	9.5	13
45.9	24.1	20.4	1.3	6.7	98.1	27.7	5.2	39.2	13.8	17.5	13.7	14
12.8	6.6	5.5	—	2.3	20.4	6.0	.6	7.4	1.7	4.3	2.6	15
8.9	3.0	2.4	.2	1.4	26.8	6.7	.9	11.2	3.0	5.9	3.1	16
5.8	3.0	2.6	.2	.9	15.8	4.2	.3	6.7	1.9	2.6	2.3	17
3.7	2.2	2.2	—	.4	7.5	2.2	.2	3.4	1.7	.9	.9	18
2.7	1.2	1.2	—	.6	—	—	—	—	—	—	—	19
.8	—	—	—	—	3.0	.8	.2	1.1	.5	.8	.3	20
22.8	11.6	10.0	.3	3.0	41.1	11.6	2.7	17.9	6.9	4.4	7.2	21
12.0	6.9	6.0	.7	1.6	30.6	8.7	1.7	10.9	3.4	6.6	4.5	22
—	—	—	—	—	—	—	—	—	—	—	—	23
—	—	—	—	—	—	—	—	—	—	—	—	24
.7	.5	.4	.2	.4	1.7	.4	.2	.7	.5	.3	.2	25
2.4	1.6	1.6	—	.6	1.6	.4	.2	1.2	.8	—	—	26
1.9	1.1	1.1	—	.8	3.5	1.1	.2	1.2	.4	.4	.9	27
3.0	1.6	1.3	—	.5	7.4	2.3	.2	3.0	.5	1.0	1.2	28
11.1	7.3	5.8	.7	2.1	13.0	3.2	.7	6.0	2.8	2.7	1.1	29
8.1	4.1	3.4	.4	1.4	16.0	6.1	.2	5.8	2.0	3.2	1.0	30
8.3	5.1	3.7	.3	1.4	30.9	11.4	1.5	10.4	2.1	3.7	5.4	31
18.6	9.8	9.3	—	1.8	52.9	15.7	1.8	23.2	9.7	9.1	4.9	32
12.7	7.7	6.4	.2	1.6	39.0	14.6	4.1	12.7	6.0	8.1	3.5	33
22.7	9.0	7.2	.2	3.2	66.6	16.7	5.1	35.9	21.4	9.1	5.0	34
—	—	—	—	—	—	—	—	—	—	—	—	35
.2	.2	.2	—	.2	.8	.6	—	.2	.2	—	—	36

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	<b>851.5</b>	<b>513.7</b>	<b>337.7</b>	<b>44.0</b>	<b>31.0</b>	<b>5.9</b>	<b>23.1</b>	<b>15.7</b>	<b>146.6</b>	<b>152.0</b>	<b>184.8</b>	<b>52.9</b>	<b>65.0</b>	<b>69.6</b>	<b>53.7</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	27.87	23.19	35.00	19.52	29.27	46.53	44.45	29.38	32.72	24.94	29.32	26.22	40.73	31.56	26.69
Neighborhood crime .....	25.18	21.81	30.30	17.13	28.12	37.98	38.08	26.09	24.95	18.85	23.24	27.65	38.17	32.69	31.20
Any condition(s) .....	40.13	35.39	47.34	27.23	42.67	58.09	54.52	45.76	43.06	34.04	38.90	42.66	53.72	49.24	46.54
Both conditions present .....	12.92	9.60	17.96	9.42	14.72	26.40	28.01	9.71	14.59	9.75	13.65	13.40	25.17	15.00	11.55
No conditions present .....	59.62	64.36	52.40	72.77	57.33	41.91	45.48	54.24	56.92	65.68	61.00	57.32	45.79	50.76	53.46
Not reported .....	.25	.24	.26	-	-	-	-	-	-	.29	.10	-	.48	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	15.28	13.79	17.55	6.44	11.81	33.96	26.81	10.48	18.45	11.68	12.39	14.27	26.37	15.38	10.95
Neighborhood crime .....	18.69	16.17	22.52	13.45	15.71	31.63	31.97	12.47	19.57	12.01	16.61	19.53	31.90	25.22	26.99
Unsatisfactory neighborhood shopping .....	2.98	2.51	3.70	4.86	2.74	6.55	6.10	-	5.21	2.21	4.30	4.67	2.24	6.78	3.40
Unsatisfactory public elementary school .....	2.65	2.57	2.79	1.02	1.25	1.69	1.69	1.40	1.88	.39	2.62	2.52	4.51	1.95	1.64
Unsatisfactory public transportation .....	3.10	3.37	2.69	2.12	2.37	6.30	3.66	4.66	2.43	2.80	2.38	3.91	2.90	2.34	4.28
Any condition(s) .....	32.40	29.78	36.38	25.67	25.78	53.84	42.89	23.71	35.64	22.61	30.97	33.94	47.33	39.42	40.19
Two or more conditions .....	6.98	7.41	11.37	4.22	6.85	23.33	23.17	5.30	10.16	5.07	6.70	6.77	16.97	10.24	6.37
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	6.49	5.99	7.24	4.19	6.73	22.56	14.94	5.21	9.40	4.78	4.78	9.86	13.64	5.64	3.95
Neighborhood crime .....	8.73	6.26	12.48	3.67	6.75	21.65	18.45	3.84	11.72	4.58	7.05	11.93	19.98	14.62	10.72
Unsatisfactory public elementary school .....	1.14	.86	1.55	-	1.25	-	.84	1.40	1.04	.39	1.37	1.82	2.56	1.41	.88
Any condition(s) .....	12.34	10.01	15.88	5.77	13.13	30.66	21.69	6.61	15.83	7.72	10.19	16.36	25.66	16.34	13.61
Two or more conditions .....	3.77	3.00	4.95	2.09	3.60	13.55	12.55	3.84	6.07	1.83	2.70	6.16	9.46	5.27	1.93
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	.25	.24	.26	-	-	-	-	-	-	.29	.10	-	.48	-	-
Neighborhood crime .....	.55	.42	.75	1.94	-	-	-	-	-	.29	.78	-	.75	-	.55
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16 .....	39.34	36.14	44.20	41.87	14.33	60.06	58.17	40.24	64.31	3.84	44.32	61.81	48.02	55.45	38.21
Satisfactory public elementary school .....	29.53	27.96	31.91	33.13	10.20	57.18	48.84	31.67	48.93	2.74	30.72	48.96	30.78	41.60	29.88
Unsatisfactory public elementary school .....	2.65	2.57	2.79	1.02	1.25	-	1.69	1.40	1.88	.39	2.62	2.52	4.51	1.95	1.64
So bothered they want to move .....	1.14	.86	1.55	-	1.25	-	.84	1.40	1.04	.39	1.37	1.82	2.56	1.41	.88
Not reported .....	.28	.29	.26	1.02	-	-	.84	-	.14	-	.24	-	.24	-	-
Not reported or don't know .....	7.16	5.61	9.50	7.72	2.88	2.89	9.63	7.17	13.50	.71	10.78	10.11	12.73	11.89	6.68
Public elementary school less than 1 mile .....	28.78	25.73	33.41	21.40	11.32	45.06	52.83	25.73	52.48	3.10	30.54	49.86	37.27	48.07	27.30
Public elementary school 1 mile or more .....	8.99	9.10	6.83	18.34	3.01	15.00	4.35	9.69	9.84	.74	11.82	10.21	9.07	8.08	8.61
Not reported .....	1.57	1.31	1.96	2.14	-	-	.99	4.62	1.99	-	1.96	1.54	1.67	1.29	2.30
Households without children aged 0-16 .....	60.66	63.86	55.80	58.13	85.67	39.94	41.83	59.76	35.69	96.16	55.68	38.39	51.98	44.55	61.79
Households with children aged 4-16 .....	31.77	30.25	34.07	29.90	11.43	53.94	48.85	35.30	52.89	3.22	31.78	55.18	37.43	47.28	32.80
Attend public school (K-12) .....	25.62	23.28	29.17	25.33	9.48	48.01	42.42	31.34	44.16	2.69	26.27	49.93	31.47	40.90	26.03
Attend private school (K-12) .....	4.66	6.12	2.45	3.54	-	4.67	2.97	1.24	4.69	.53	3.52	1.62	3.88	4.53	7.22
Attend ungraded school, preschool, etc .....	1.04	1.23	.75	1.05	-	-	-	-	1.45	-	.62	.36	1.10	.27	-
Does not attend school .....	1.10	.81	1.55	1.96	1.95	3.28	.84	1.52	2.60	-	1.72	3.24	1.06	1.93	-
Not reported .....	.58	.43	.77	-	-	-	1.36	2.71	1.28	-	.86	1.09	.64	.78	.43
<b>Public Transportation as a Percent of Total</b>															
With public transportation .....	82.86	79.58	67.85	60.00	84.63	69.57	66.17	91.82	86.17	81.85	82.23	82.18	85.93	85.91	86.85
Household uses it at least weekly .....	9.71	4.64	17.41	4.79	4.21	34.89	30.68	18.28	29.99	8.81	14.67	30.68	18.21	26.19	6.74
Satisfactory public transportation .....	8.93	4.08	16.32	4.26	4.21	34.89	30.68	15.51	28.53	8.08	13.57	28.69	17.75	25.20	5.86
Unsatisfactory public transportation .....	.77	.56	1.09	.52	-	-	-	2.76	1.47	.73	1.10	1.99	.47	1.00	.67
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly .....	23.62	23.20	24.26	8.90	23.53	35.72	21.66	24.40	23.43	24.02	20.72	22.93	31.04	18.63	30.76
Satisfactory public transportation .....	21.11	20.25	22.42	7.31	21.18	27.42	15.71	22.50	22.31	21.78	18.84	21.01	26.61	17.49	27.35
Unsatisfactory public transportation .....	2.29	2.74	1.59	1.59	2.37	8.30	3.66	1.90	.87	2.07	1.28	1.82	2.44	1.35	3.41
Not reported .....	.22	.20	.24	-	-	-	2.10	-	.16	.19	.61	-	-	-	-
Household does not use .....	49.30	61.44	46.03	46.31	56.89	18.96	33.62	49.14	32.34	48.77	46.54	28.57	36.43	40.33	49.36
Not reported .....	.24	.30	.15	-	-	-	-	-	.40	.25	.30	-	.24	.55	-
No public transportation .....	16.50	19.75	11.55	39.48	15.37	10.43	13.63	8.18	13.68	17.73	17.03	17.33	12.82	14.09	12.72
Not reported .....	.64	.68	.59	.54	-	-	-	-	.18	.42	.74	.49	1.25	-	.43
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping .....	96.66	97.07	96.05	95.14	97.26	93.45	93.90	100.00	94.79	97.31	95.48	95.33	97.27	92.96	96.17
Less than 1 mile .....	88.88	84.97	89.79	71.22	83.80	87.95	82.03	94.54	89.38	84.71	86.40	86.97	91.89	86.90	88.62
1 mile or more .....	9.15	11.39	5.73	23.92	12.60	-	1.87	5.46	5.13	11.79	8.58	7.92	5.00	6.06	7.55
Not reported .....	.84	.71	.52	-	1.06	5.50	-	-	.29	.81	.50	.45	.38	-	-
Unsatisfactory neighborhood shopping .....	2.98	2.51	3.70	4.86	2.74	6.55	6.10	-	5.21	2.21	4.30	4.67	2.24	6.76	3.40
Not reported or don't know .....	.38	.42	.28	-	-	-	-	-	-	.48	.22	-	.48	.28	.43

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 2-4. Neighborhood Quality—Owner Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	513.7	28.0	27.9	1.8	5.0	6.3	50.4	130.8	40.7	12.1	41.1	32.3	36.5
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	23.19	8.31	31.47	26.59	42.36	16.63	26.43	24.70	14.68	19.65	34.60	30.03	24.91
Neighborhood crime.....	21.81	11.36	29.42	10.58	35.42	26.53	18.23	18.12	14.74	26.91	31.48	36.66	28.93
Any condition(s).....	35.39	17.25	45.56	26.59	46.03	38.57	36.20	33.31	21.88	38.51	45.19	52.75	43.59
Both conditions present.....	9.60	2.43	15.33	10.58	31.75	4.60	8.47	9.51	7.53	8.05	20.90	13.94	10.26
No conditions present.....	64.36	82.75	54.44	73.41	53.97	61.43	63.80	66.36	78.12	61.49	54.81	47.25	56.41
Not reported.....	.24	-	-	-	-	-	-	.33	-	-	-	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	13.78	4.01	13.10	26.59	22.74	3.01	20.08	12.11	6.18	14.54	24.55	17.70	9.04
Neighborhood crime.....	16.17	8.92	17.43	10.58	22.50	8.86	13.61	11.82	12.13	15.74	26.08	26.87	25.87
Unsatisfactory neighborhood shopping.....	2.51	4.03	3.04	-	-	-	3.11	2.42	5.50	2.72	1.54	5.11	2.43
Unsatisfactory public elementary school.....	2.57	1.60	1.39	-	-	-	1.93	.45	2.04	1.64	4.31	1.79	1.85
Unsatisfactory public transportation.....	3.37	1.62	2.63	16.28	5.78	4.71	3.28	3.08	1.60	-	3.98	3.24	5.27
Any condition(s).....	29.78	18.58	28.59	42.87	33.68	16.59	33.01	22.92	25.19	27.29	43.08	40.97	38.70
Two or more conditions.....	7.41	1.60	7.60	10.58	17.34	-	7.80	5.32	2.26	5.71	14.17	10.64	5.76
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	5.99	2.40	7.46	10.58	5.78	-	10.17	4.80	3.18	10.49	12.52	6.22	4.78
Neighborhood crime.....	6.26	.80	9.71	10.58	5.78	-	8.33	4.14	1.13	9.80	15.96	15.90	9.67
Unsatisfactory public elementary school.....	.86	-	1.39	-	-	-	.38	.45	-	1.64	1.67	1.20	1.29
Any condition(s).....	10.01	2.40	14.57	10.58	5.78	-	13.61	7.18	3.62	14.57	20.83	16.85	13.42
Two or more conditions.....	3.00	.80	4.00	10.58	5.78	-	5.27	1.98	.67	5.71	8.11	6.48	2.33
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.24	-	-	-	-	-	-	.33	-	-	-	-	-
Neighborhood crime.....	.42	-	-	-	-	-	-	.33	-	-	-	-	.81
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-18.....	36.14	45.40	15.90	43.91	40.49	22.57	56.49	3.73	46.58	31.25	40.07	44.46	30.78
Satisfactory public elementary school.....	27.96	38.95	11.31	43.91	30.16	17.97	42.68	2.45	35.03	26.12	27.04	34.65	22.50
Unsatisfactory public elementary school.....	2.57	1.80	1.39	-	-	-	1.93	.45	2.04	1.64	4.31	1.79	1.85
So bothered they want to move.....	.86	-	1.39	-	-	-	.38	.45	-	1.64	1.67	1.20	1.29
Not reported.....	.29	1.80	-	-	-	-	.41	-	1.10	-	.50	-	-
Does not attend school.....	5.81	4.85	3.20	-	10.33	4.60	11.89	.83	9.52	3.49	8.72	8.02	6.43
Public elementary school less than 1 mile.....	25.73	24.02	12.58	27.63	40.49	17.97	45.55	2.87	27.73	27.72	30.50	33.76	18.36
Public elementary school 1 mile or more.....	9.10	21.38	3.34	16.28	-	-	9.31	.86	16.99	3.53	9.12	9.52	9.03
Not reported.....	1.31	-	-	-	-	-	4.60	1.64	1.68	-	.46	1.18	3.39
Households without children aged 0-18.....	63.88	54.60	84.10	56.09	59.51	77.43	43.51	96.27	53.42	68.75	59.93	55.54	69.22
Households with children aged 4-16.....	30.25	31.48	12.68	43.91	30.00	22.57	50.74	3.01	34.04	31.25	32.57	40.99	25.80
Attend public school (K-12).....	23.28	24.98	10.51	43.91	19.80	18.82	38.17	2.40	27.52	27.75	26.19	35.05	18.69
Attend private school (K-12).....	6.12	4.87	-	-	10.21	-	9.65	.62	6.21	1.90	5.69	7.79	7.30
Attend ungraded school, preschool, etc.....	1.23	1.65	-	-	-	-	2.14	-	2.17	-	1.40	-	-
Does not attend school.....	.81	2.40	2.17	-	-	-	1.41	-	1.10	-	.74	.59	-
Not reported.....	.43	-	-	-	-	3.65	.74	-	1.60	1.60	-	-	.63
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	79.58	53.18	87.20	66.12	94.34	93.29	85.29	80.53	70.27	70.20	82.90	87.23	86.95
Household uses it at least weekly.....	4.64	2.79	3.00	10.42	9.27	3.00	19.07	8.08	6.68	3.21	8.20	17.91	4.44
Satisfactory public transportation.....	4.08	1.97	3.00	10.42	9.27	3.00	17.03	5.23	6.22	3.21	8.20	16.94	3.66
Unsatisfactory public transportation.....	.56	.82	-	-	-	-	2.04	.85	.46	-	-	.97	.78
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	23.20	4.85	25.10	27.91	45.47	44.24	23.02	24.07	14.21	31.91	36.40	24.65	29.37
Satisfactory public transportation.....	20.25	4.05	22.47	11.62	33.94	39.53	21.32	21.62	12.34	31.91	32.42	22.38	24.87
Unsatisfactory public transportation.....	2.74	.80	2.63	16.28	5.78	4.71	1.24	2.23	1.13	-	3.98	2.27	4.49
Not reported.....	.20	-	-	-	5.78	-	.46	.22	.73	-	-	-	-
Household does not use.....	51.44	45.54	59.09	27.80	39.59	46.05	42.43	50.08	48.74	35.08	38.30	43.47	53.14
Not reported.....	.30	-	-	-	-	-	.77	.30	.64	-	-	1.19	-
No public transportation.....	19.75	46.82	12.80	33.88	5.66	6.71	14.20	18.99	29.17	27.65	15.51	12.77	12.42
Not reported.....	.66	-	-	-	-	-	.52	.48	.56	2.15	1.59	-	.63
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	97.07	95.97	96.96	100.00	100.00	100.00	96.89	97.03	93.93	97.28	98.46	94.30	96.94
Less than 1 mile.....	84.97	64.15	82.77	82.13	100.00	86.43	89.98	63.81	76.16	82.94	92.41	84.62	89.02
1 mile or more.....	11.39	31.83	13.02	-	-	13.57	6.45	12.26	17.77	14.34	5.28	9.68	7.92
Not reported.....	.71	-	1.17	17.87	-	-	.46	.95	-	-	.79	-	-
Unsatisfactory neighborhood shopping.....	2.51	4.03	3.04	-	-	-	3.11	2.42	5.50	2.72	1.54	5.11	2.43
Not reported or don't know.....	.42	-	-	-	-	-	-	.56	.56	-	-	.59	.63

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 3-4. Neighborhood Quality—Renter Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	337.7	18.0	3.1	4.1	18.0	9.4	96.2	21.5	144.0	40.8	43.9	37.3	17.2
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	35.00	39.08	9.14	55.40	45.04	37.97	36.01	26.41	33.46	30.76	46.47	32.88	31.05
Neighborhood crime .....	30.30	27.21	18.19	50.13	38.82	25.79	28.47	23.27	25.64	28.13	44.44	29.24	38.01
Any condition(s) .....	47.34	44.67	16.19	72.09	56.89	50.61	46.68	38.47	43.72	43.92	61.72	46.21	52.78
Both conditions present .....	17.96	21.62	9.14	33.44	26.97	13.15	17.80	11.21	15.38	14.98	29.18	15.91	14.28
No conditions present .....	52.40	55.33	83.81	27.91	43.11	49.39	53.32	61.53	56.16	56.06	37.34	53.79	47.22
Not reported .....	.26	-	-	-	-	-	-	-	.13	-	.94	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	17.55	16.19	-	37.27	27.95	15.51	17.61	9.08	14.15	14.20	28.07	13.36	14.99
Neighborhood crime .....	22.52	21.36	-	40.99	34.62	14.89	22.69	13.14	17.87	20.65	37.35	23.79	29.37
Unsatisfactory neighborhood shopping .....	3.70	6.31	-	9.48	7.81	-	6.30	.94	3.95	5.24	2.90	8.19	5.46
Unsatisfactory public elementary school .....	2.79	-	-	-	2.16	2.35	1.86	-	3.05	2.78	4.70	2.10	1.21
Unsatisfactory public transportation .....	2.69	2.97	-	4.75	3.33	4.63	1.99	1.11	2.60	5.07	1.89	1.56	2.19
Any condition(s) .....	36.38	38.04	-	58.71	45.47	28.50	37.02	20.70	32.60	35.91	51.31	38.08	43.34
Two or more conditions .....	11.37	8.78	-	29.00	24.80	8.88	11.39	3.56	7.96	9.68	19.60	9.88	7.65
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	7.24	7.32	-	27.88	17.50	8.72	8.99	4.65	5.24	8.67	15.07	5.51	2.20
Neighborhood crime .....	12.48	8.68	-	26.57	21.98	6.43	13.49	7.26	8.73	12.56	23.74	13.50	12.92
Unsatisfactory public elementary school .....	1.55	-	-	-	1.08	2.35	1.38	-	1.76	1.88	3.40	1.59	-
Any condition(s) .....	15.68	11.65	-	39.58	26.13	11.07	16.99	11.00	12.05	16.90	30.20	15.89	14.01
Two or more conditions .....	4.95	4.35	-	14.87	14.44	6.43	6.48	.91	3.28	6.29	10.72	4.22	1.11
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.26	-	-	-	-	-	-	-	.13	-	.94	-	-
Neighborhood crime .....	.75	5.33	-	-	-	-	-	-	1.00	-	1.46	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	44.20	35.71	-	67.24	63.10	52.15	68.40	4.50	43.69	70.60	55.47	64.98	53.91
Satisfactory public elementary school .....	31.91	22.97	-	63.08	51.50	40.90	52.20	4.50	29.50	55.75	34.29	47.63	45.49
Unsatisfactory public elementary school .....	2.79	-	-	-	2.18	2.35	1.86	-	3.05	2.78	4.70	2.10	1.21
So bothered they want to move .....	1.55	-	-	-	1.08	2.35	1.38	-	1.78	1.88	3.40	1.59	-
Not reported .....	.26	-	-	-	1.08	-	-	-	-	-	-	-	-
Not reported or don't know .....	9.50	12.73	-	4.17	9.44	8.90	14.34	-	11.14	12.07	16.49	15.25	7.21
Public elementary school less than 1 mile .....	33.41	16.82	-	52.82	58.27	30.96	56.10	4.50	31.33	56.42	43.62	56.75	46.20
Public elementary school 1 mile or more .....	8.83	13.03	-	14.43	5.56	16.56	10.12	-	10.36	12.19	9.04	6.84	7.71
Not reported .....	1.96	5.86	-	-	1.27	4.63	2.17	-	1.99	2.00	2.81	1.39	-
Households without children aged 0-16 .....	55.80	64.29	100.00	32.76	36.90	47.85	31.80	95.50	56.31	29.40	44.53	35.02	46.09
Households with children aged 4-16 .....	34.07	27.14	-	58.40	51.55	43.88	54.02	4.50	31.12	62.26	41.06	52.74	47.61
Attend public school (K-12) .....	29.17	25.85	-	48.94	48.73	39.71	47.29	4.50	25.91	56.50	36.41	45.67	41.55
Attend private school (K-12) .....	2.45	1.22	-	6.75	.95	2.08	2.10	-	2.76	1.53	2.18	1.70	7.05
Attend ungraded school, preschool, etc .....	.75	-	-	-	-	-	-	-	.57	.47	.83	.51	-
Does not attend school .....	1.55	1.19	-	4.70	1.08	2.54	3.23	-	1.89	4.19	1.39	3.09	-
Not reported .....	.77	-	-	-	1.73	2.08	1.57	-	.64	.94	1.62	1.45	-
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	87.85	71.91	61.19	100.00	83.89	90.82	86.63	89.92	85.62	85.73	88.77	84.78	86.63
Household uses it at least weekly .....	17.41	8.27	15.27	45.77	36.65	28.57	35.71	25.40	16.92	38.81	27.60	33.37	11.58
Satisfactory public transportation .....	16.32	8.27	15.27	45.77	36.65	23.94	34.54	25.40	15.65	36.24	26.70	32.36	10.52
Unsatisfactory public transportation .....	1.09	-	-	-	-	4.63	1.17	-	1.28	2.58	.90	1.02	1.06
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly .....	24.26	15.97	9.14	39.19	15.04	11.03	23.85	23.74	22.57	20.27	26.03	13.79	33.70
Satisfactory public transportation .....	22.42	12.99	9.14	34.44	10.63	11.03	22.83	22.63	20.67	17.78	25.04	13.25	32.57
Unsatisfactory public transportation .....	1.59	2.97	-	4.75	3.33	-	.82	1.11	1.32	2.49	.99	.54	1.13
Not reported .....	.24	-	-	-	1.08	-	-	-	.57	-	-	-	-
Household does not use .....	46.03	47.67	36.77	15.04	32.21	51.23	27.06	40.79	45.92	26.84	34.68	37.61	41.35
Not reported .....	.15	-	-	-	-	-	.21	-	.21	-	.47	-	-
No public transportation .....	11.55	26.60	38.81	-	16.11	9.18	13.37	10.08	13.60	14.27	10.29	15.22	13.37
Not reported .....	.59	1.49	-	-	-	-	-	-	.79	-	.94	-	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	98.05	93.69	100.00	90.54	92.19	100.00	93.70	99.06	95.92	94.78	96.18	91.81	94.54
Less than 1 mile .....	89.79	83.57	91.18	80.54	88.81	100.00	89.07	90.18	89.30	88.18	91.41	88.88	87.78
1 mile or more .....	5.73	10.12	8.82	-	2.39	-	4.43	8.87	5.98	6.02	4.75	2.93	6.77
Not reported .....	.52	-	-	-	-	-	.20	-	.64	.58	-	-	-
Unsatisfactory neighborhood shopping .....	3.70	6.31	-	9.46	7.81	-	6.30	.94	3.95	5.24	2.90	8.19	5.46
Not reported or don't know .....	.26	-	-	-	-	-	-	-	.13	-	.94	-	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>			
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three	
						Severe	Moderate							
<b>Total</b> .....	146.6	50.4	96.2	4.6	1.5	1.9	6.9	9.5	45.7	21.3	22.3	36.8	7.9	
<b>Condition Present as a Percent of Total<sup>2</sup></b>														
Street noise or traffic.....	32.72	26.43	36.01	29.49	-	-	68.35	41.20	40.94	31.58	26.65	40.12	34.69	30.68
Neighborhood crime.....	24.95	18.23	28.47	23.35	21.68	-	50.84	26.63	18.79	22.32	26.76	37.69	22.01	26.76
Any condition(s).....	43.06	36.20	46.68	33.60	21.68	-	79.17	47.48	45.95	39.58	43.19	55.80	43.98	50.24
Both conditions present.....	14.59	8.47	17.80	19.24	-	-	40.03	22.36	13.78	14.30	12.22	22.01	12.71	7.20
No conditions present.....	56.92	63.80	53.32	66.40	78.32	-	20.83	52.52	54.05	60.42	56.81	44.20	56.02	49.76
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>														
Street noise or traffic.....	18.45	20.08	17.61	-	-	-	38.13	22.32	21.45	12.99	11.13	25.98	15.24	15.85
Neighborhood crime.....	19.57	13.61	22.69	13.43	21.68	-	41.19	26.45	11.21	17.39	22.63	31.13	18.24	26.76
Unsatisfactory neighborhood shopping.....	5.21	3.11	6.30	16.40	-	-	10.28	13.50	5.24	6.78	7.38	4.38	6.84	10.63
Unsatisfactory public elementary school.....	1.88	1.93	1.86	-	-	-	-	-	-	.80	.91	4.35	.97	-
Unsatisfactory public transportation.....	2.43	3.28	1.99	4.95	-	-	10.28	2.30	-	1.67	3.63	2.69	1.78	2.31
Any condition(s).....	35.64	33.01	37.02	34.78	21.68	-	59.23	35.45	26.58	31.83	34.71	47.34	35.27	49.49
Two or more conditions.....	10.16	7.80	11.39	-	-	-	30.38	22.23	8.22	6.56	10.06	15.03	7.80	6.06
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>														
Street noise or traffic.....	9.40	10.17	8.99	-	-	-	38.13	17.90	10.08	4.52	7.41	11.39	4.55	3.75
Neighborhood crime.....	11.72	8.33	13.49	-	21.68	-	20.09	15.77	8.22	7.65	12.94	18.51	10.69	7.41
Unsatisfactory public elementary school.....	1.04	.38	1.38	-	-	-	-	-	-	.41	.91	1.70	.48	-
Any condition(s).....	15.83	13.81	16.99	-	21.68	-	38.13	17.90	12.20	9.16	14.78	21.67	12.40	11.16
Two or more conditions.....	6.07	5.27	6.48	-	-	-	20.09	15.77	6.10	3.01	6.48	9.08	3.32	-
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>														
Street noise or traffic.....	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Neighborhood crime.....	-	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>Public Elementary School as a Percent of Total</b>														
Household with any children aged 0-16.....	64.31	56.49	68.40	39.15	21.68	-	90.06	78.04	16.48	67.40	66.38	69.00	74.80	58.66
Satisfactory public elementary school.....	48.93	42.68	52.20	30.22	21.68	-	71.04	63.67	13.18	46.07	70.51	44.20	57.70	52.54
Unsatisfactory public elementary school.....	1.88	1.93	1.86	-	-	-	-	-	-	.80	.91	4.35	.97	-
So bothered they want to move.....	1.04	.38	1.38	-	-	-	-	-	-	.41	.91	1.70	.48	-
Not reported.....	.14	.41	-	-	-	-	-	-	-	-	.92	-	-	-
Not reported or don't know.....	13.50	11.89	14.34	8.93	-	-	9.02	14.38	3.29	20.53	14.96	20.45	16.12	6.13
Public elementary school less than 1 mile.....	52.48	45.55	56.10	17.99	-	-	69.78	73.28	10.09	53.36	70.95	58.80	64.62	45.53
Public elementary school 1 mile or more.....	9.84	9.31	10.12	21.16	21.68	-	10.28	4.76	6.38	11.76	15.43	9.17	8.84	9.38
Not reported.....	1.99	1.64	2.17	-	-	-	-	-	-	2.27	-	1.03	1.34	3.75
Households without children aged 0-16.....	35.69	43.51	31.60	60.65	78.32	-	19.94	21.96	83.54	32.60	13.62	31.00	25.20	41.34
Households with children aged 4-16.....	52.89	50.74	54.02	34.33	21.68	-	71.04	68.73	13.18	46.01	78.38	52.06	63.08	53.79
Attend public school(K-12).....	44.18	38.17	47.29	25.27	21.68	-	60.86	63.04	13.18	36.83	70.26	39.91	56.75	41.94
Attend private school (K-12).....	4.69	9.65	2.10	4.20	-	-	-	1.91	-	2.61	.91	6.87	3.73	14.01
Attend ungraded school, preschool, etc.....	1.45	2.14	1.10	4.95	-	-	-	-	-	.86	-	3.35	-	-
Does not attend school.....	2.60	1.41	3.23	4.11	-	-	10.18	2.18	-	3.78	6.28	1.87	2.48	-
Not reported.....	1.28	.74	1.57	-	-	-	-	3.50	-	2.03	2.71	.93	1.40	-
<b>Public Transportation as a Percent of Total</b>														
With public transportation.....	86.17	85.29	86.63	69.54	85.37	100.00	83.06	83.06	91.31	85.38	82.76	85.71	87.58	79.66
Household uses it at least weekly.....	29.99	19.07	35.71	35.41	21.68	-	79.43	63.14	27.26	36.82	49.21	34.02	42.63	10.52
Satisfactory public transportation.....	28.53	17.03	34.54	30.46	21.68	-	79.43	63.14	27.26	34.95	48.33	33.16	40.85	8.21
Unsatisfactory public transportation.....	1.47	2.04	1.17	4.95	-	-	-	-	-	1.67	.88	.86	1.78	2.31
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	23.43	23.02	23.85	9.32	18.22	10.28	9.72	14.42	14.42	22.17	18.50	26.35	11.35	34.76
Satisfactory public transportation.....	22.31	21.32	22.83	9.32	18.22	10.28	7.42	14.42	14.42	22.17	15.76	24.52	11.35	34.76
Unsatisfactory public transportation.....	.97	1.24	.82	-	-	-	10.28	2.30	-	-	2.74	1.83	-	-
Not reported.....	.16	.46	-	-	-	-	-	-	-	-	-	-	-	-
Household does not use.....	32.34	42.43	27.06	24.82	45.48	10.28	10.20	45.58	26.59	15.05	-	24.43	32.61	34.40
Not reported.....	.40	.77	.21	-	-	-	-	4.04	-	-	-	.92	.99	-
No public transportation.....	13.66	14.20	13.37	30.46	14.63	-	-	-	-	-	16.02	14.29	12.42	20.32
Not reported.....	.18	.52	-	-	-	-	-	16.94	6.69	14.62	1.22	-	-	-
<b>Neighborhood Shopping as a Percent of Total</b>														
Satisfactory neighborhood shopping.....	94.79	96.89	93.70	83.60	100.00	89.72	86.50	94.78	93.22	92.62	95.62	93.16	89.37	
Less than 1 mile.....	89.38	89.98	89.07	62.61	66.49	89.72	86.50	89.83	87.65	87.77	89.38	90.78	82.15	
1 mile or more.....	5.13	6.45	4.43	20.99	33.51	-	-	5.13	4.84	4.85	6.24	2.38	7.21	
Not reported.....	.29	.46	.20	-	-	-	-	-	.42	-	-	-	-	
Unsatisfactory neighborhood shopping.....	5.21	3.11	6.30	16.40	-	10.28	13.50	5.24	6.78	7.38	4.38	6.84	10.63	
Not reported or don't know.....	-	-	-	-	-	-	-	-	-	-	-	-	-	

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 6-1. General Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>883.6</b>	<b>834.4</b>	<b>501.7</b>	<b>332.6</b>	<b>59.2</b>	<b>8.2</b>	<b>7.3</b>	<b>2.9</b>	<b>4.4</b>	<b>.9</b>
<b>Units in Structure</b>										
1, detached .....	442.9	427.1	362.2	64.9	15.8	2.8	2.8	1.7	1.1	-
1, attached .....	71.0	64.7	48.6	16.1	6.3	-	-	-	-	-
2 to 4 .....	119.6	110.4	26.3	84.1	9.2	1.0	1.0	-	1.0	-
5 to 9 .....	87.3	79.5	22.2	57.3	7.8	2.1	1.6	-	1.6	.5
10 to 19 .....	76.2	67.3	10.9	56.4	8.9	.3	.3	-	.3	-
20 to 49 .....	44.9	37.8	2.5	35.3	7.2	.4	-	-	-	.4
50 or more .....	19.9	17.7	1.1	16.7	2.2	.3	.3	-	.3	-
Mobile home or trailer .....	31.9	29.9	28.1	1.8	2.0	1.5	1.5	1.2	.2	-
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994 .....	17.8	12.0	5.2	6.8	5.7	-	-	-	-	-
1985 to 1989 .....	106.0	99.7	56.6	43.1	6.3	.8	.8	-	.8	-
1980 to 1984 .....	61.4	58.3	41.7	16.5	3.1	-	-	-	-	-
1975 to 1979 .....	118.1	110.8	66.1	44.8	7.3	-	-	-	-	-
1970 to 1974 .....	156.5	144.6	71.8	72.7	11.9	1.4	1.4	.7	.8	-
1960 to 1969 .....	291.5	274.3	177.1	97.3	17.2	2.1	1.6	.6	1.0	.5
1950 to 1959 .....	98.0	93.4	61.1	32.3	4.6	2.7	2.4	1.7	.7	.4
1940 to 1949 .....	24.5	22.6	12.7	9.9	1.9	.5	.5	-	.5	-
1930 to 1939 .....	11.6	11.0	5.4	5.8	.6	.2	.2	-	.2	-
1920 to 1929 .....	4.7	4.3	2.5	1.8	.4	-	-	-	.4	-
1919 or earlier .....	3.5	3.4	1.6	1.8	.2	.4	.4	-	.4	-
Median .....	1970	1970	1969	1971	1971	1961	1961	-	-	-
<b>Rooms</b>										
1 room .....	2.9	1.5	-	1.5	1.4	-	-	-	-	-
2 rooms .....	10.0	7.9	.8	7.3	2.1	.2	.2	-	.2	-
3 rooms .....	90.9	82.6	11.7	70.9	8.4	2.0	2.0	.2	1.8	-
4 rooms .....	176.9	161.1	44.0	117.1	15.8	2.7	1.8	.3	1.5	.9
5 rooms .....	179.5	167.0	92.8	74.2	12.4	1.8	1.8	1.3	.5	-
6 rooms .....	160.5	153.6	116.2	37.4	6.9	1.1	1.1	1.1	-	-
7 rooms .....	124.3	117.2	104.4	12.9	7.0	.4	.4	-	.4	-
8 rooms .....	94.8	91.8	83.6	8.2	3.0	-	-	-	-	-
9 rooms .....	35.6	34.3	32.0	2.3	1.3	-	-	-	-	-
10 rooms or more .....	18.3	17.5	16.5	.9	.8	-	-	-	-	-
Median .....	5.4	5.5	6.4	4.2	4.7	4.2	4.3	-	-	-
<b>Bedrooms</b>										
None .....	10.2	7.5	.6	6.9	2.7	.2	.2	-	.2	-
1 .....	124.6	112.9	19.2	93.7	11.7	2.7	2.3	.5	1.8	.4
2 .....	289.6	266.3	114.0	152.2	23.4	3.2	2.7	.9	1.8	.5
3 .....	275.7	260.8	198.7	62.1	14.9	1.7	1.7	1.5	.2	-
4 or more .....	193.5	186.8	169.2	17.7	8.7	.4	.4	-	.4	-
Median .....	2.6	2.6	3.1	1.9	2.2	1.9	1.9	-	-	-
<b>Complete Bathrooms</b>										
None .....	1.3	.9	.5	.4	.5	-	-	-	-	-
1 .....	257.0	232.6	82.3	170.3	24.4	4.3	3.4	.5	2.9	.9
1 and one-half .....	100.5	95.4	55.5	39.8	5.1	.9	.9	.4	.5	-
2 or more .....	534.8	505.6	383.4	122.1	29.2	3.0	3.0	2.0	1.0	-
<b>Air Conditioning</b>										
No air conditioning .....	387.1	359.4	213.3	146.1	27.7	4.1	4.1	1.3	2.8	-
With air conditioning .....	506.5	475.0	288.5	186.5	31.6	4.1	3.2	1.6	1.6	.9
Central .....	339.3	319.5	221.3	98.2	19.8	1.7	1.2	.4	.8	.5
1 room unit .....	148.3	136.7	52.6	84.2	11.6	1.8	1.4	.9	.5	.4
2 room units .....	14.9	14.8	11.3	3.5	.1	.6	.6	.4	.2	-
3 room units or more .....	4.0	4.0	3.2	.7	-	-	-	-	-	-
<b>Main Heating Equipment</b>										
Warm-air furnace .....	580.1	529.6	387.5	142.1	30.5	3.3	2.8	2.1	.8	.5
Steam or hot water system .....	2.2	1.8	.9	.9	.5	-	-	-	-	-
Electric heat pump .....	45.1	41.3	19.7	21.6	3.8	-	-	-	-	-
Built-in electric units .....	89.0	80.6	29.1	51.6	8.4	.7	.7	.2	.5	-
Floor, wall, or other built-in hot air units without ducts .....	149.1	137.4	43.9	93.4	11.7	3.2	2.8	.7	2.2	.4
Room heaters with flue .....	20.4	19.2	6.3	12.9	1.1	.7	.7	-	.7	-
Room heaters without flue .....	2.2	2.2	-	2.2	.7	-	-	-	-	-
Portable electric heaters .....	1.2	1.2	.5	.7	-	-	-	-	-	-
Stoves .....	.2	.2	-	.2	-	-	-	-	-	-
Fireplaces with inserts .....	1.9	1.9	1.7	.2	-	-	-	-	-	-
Fireplaces without inserts .....	16.3	14.6	10.6	4.0	1.7	-	-	-	-	-
Other .....	2.6	1.7	.5	1.2	.9	-	-	-	-	-
None .....	3.3	2.6	1.2	1.4	.7	.2	.2	-	.2	-
<b>Main House Heating Fuel</b>										
Housing units with heating fuel .....	890.3	831.8	500.6	331.2	58.5	7.9	7.1	2.9	4.1	.9
Electricity .....	173.8	158.7	63.4	95.3	15.0	1.2	1.2	.2	1.0	-
Piped gas .....	678.4	639.5	418.6	221.0	38.8	6.0	5.5	2.4	3.1	.5
Bottled gas .....	3.6	3.6	2.9	.7	-	.3	.3	.3	-	-
Fuel oil .....	13.2	11.5	3.2	8.3	1.7	.4	.4	-	.4	.4
Kerosene or other liquid fuel .....	.2	.2	.2	-	-	-	-	-	-	-
Coal or coke .....	-	-	-	-	-	-	-	-	-	-
Wood .....	18.5	18.8	12.3	4.5	1.7	-	-	-	-	-
Solar energy .....	.5	.5	-	.5	-	-	-	-	-	-
Other .....	2.1	.9	-	.9	1.2	-	-	-	-	-

**Table 6-1. General Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994—Con.**

(Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.)

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	...	634.4	501.7	332.6	...	...	7.3	2.9	4.4	...
<b>Race and Origin</b>										
White .....	...	731.3	443.6	287.7	...	...	6.6	2.5	4.1	...
Non-Hispanic .....	...	624.1	402.4	221.7	...	...	3.0	1.8	1.2	...
Hispanic .....	...	107.2	41.2	66.1	...	...	3.6	.8	2.9	...
Black .....	...	13.3	5.5	7.8	...	...	-	-	-	...
Other .....	...	89.7	52.6	37.1	...	...	.7	.4	.3	...
Total Hispanic .....	...	121.9	48.3	75.7	...	...	4.0	1.1	2.9	...
<b>Persons Per Room</b>										
0.50 or less .....	...	542.7	371.9	170.8	...	...	3.5	2.0	1.5	...
0.51 to 1.00 .....	...	247.9	116.4	126.5	...	...	1.1	.2	.9	...
1.01 to 1.50 .....	...	29.8	8.7	21.1	...	...	1.7	.8	.9	...
1.51 or more .....	...	14.0	1.7	12.2	...	...	1.0	-	1.0	...
<b>Selected Subareas<sup>2</sup></b>										
Area one .....	...	84.1	42.6	41.5	...	...	1.9	1.0	.9	...
Area two .....	...	79.0	35.0	44.0	...	...	1.8	.3	1.5	...
Area three .....	...	55.0	38.2	16.8	...	...	.4	.4	-	...

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.  
<sup>2</sup>See inside back cover for details.

**Table 6-2. Quality Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>893.6</b>	<b>634.4</b>	<b>501.7</b>	<b>332.6</b>	<b>59.2</b>	<b>8.2</b>	<b>7.3</b>	<b>2.9</b>	<b>4.4</b>	<b>.9</b>
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	.2	.2	-	.2	-	-	-	-	-	-
Missing roofing material .....	2.2	2.2	1.1	1.1	-	-	-	-	-	-
Hole in roof .....	1.4	1.4	.5	1.0	-	-	-	-	-	-
Could not see roof .....	15.6	13.4	1.8	11.6	2.2	.2	.2	.2	.2	-
Missing bricks, siding, other outside wall material ..	2.6	2.4	1.3	1.1	-	-	-	-	-	-
Sloping outside walls .....	1.1	.9	-	.9	-	-	-	-	-	-
Boarded up windows .....	.7	.5	-	.5	-	-	-	-	-	-
Broken windows .....	3.8	3.6	1.3	2.3	-	-	-	-	-	-
Bars on windows .....	2.8	2.8	1.4	1.4	-	.2	.2	.2	.2	-
Foundation crumbling or has open crack or hole ..	4.3	4.1	2.1	2.0	.2	-	-	-	-	-
Could not see foundation .....	7.6	7.6	3.7	3.9	-	-	-	-	-	-
None of the above .....	850.2	785.3	487.3	308.0	54.9	7.7	6.8	2.9	3.9	.9
Could not observe or not reported.....	9.3	7.6	3.5	4.1	1.8	-	-	-	-	-
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	785.3	746.2	474.8	271.4	49.2	5.9	5.4	2.2	3.2	.5
Not reported .....	1.5	.5	.2	.3	1.0	.4	-	-	-	.4
Usable fireplace .....	486.1	459.8	368.9	90.9	26.2	1.4	1.4	1.1	.3	-
Separate dining room .....	437.3	414.1	305.9	108.2	23.1	2.3	2.3	1.7	.8	-
With 2 or more living rooms or recreation rooms, etc. ....	309.2	295.5	260.9	34.6	13.7	.4	-	-	-	.4
Garage or carport included with home .....	833.7	787.1	491.3	285.8	46.6	5.9	5.4	2.5	2.9	.5
Garage or carport not included .....	47.2	43.3	9.2	34.0	4.0	1.9	1.9	.4	1.5	-
Offstreet parking included .....	33.7	30.4	7.4	23.0	3.4	1.2	1.2	.2	1.0	-
Offstreet parking not reported .....	4.6	4.4	.6	3.8	.2	.3	.3	-	.3	-
Garage or carport not reported .....	6.2	4.1	1.2	2.8	2.1	.4	-	-	-	.4
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	22.6	13.6	8.9	...	...	.8	.4	.3	...
Holes in floors .....	6.3	5.5	1.7	3.7	.9	.2	.2	-	.2	-
Open cracks or holes (interior).....	34.6	32.3	12.3	20.0	2.4	1.9	1.9	-	1.9	-
Broken plaster or peeling paint (interior) .....	16.4	15.2	6.2	9.0	1.2	.3	.3	-	.3	-
No electrical wiring .....	-	-	-	-	-	-	-	-	-	-
Exposed wiring .....	9.4	9.2	4.4	4.8	.2	.6	.6	.4	.2	-
Rooms without electric outlets .....	11.2	11.0	4.6	6.4	.2	-	-	-	-	-
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	16.6	14.9	3.4	11.5	1.6	-	-	-	-	-
About the same .....	750.7	704.4	447.8	256.6	46.3	6.7	5.8	2.5	3.4	.9
Newer .....	13.1	12.0	6.1	6.0	1.0	-	-	-	-	-
Very mixed.....	105.6	96.8	41.5	55.2	8.9	.7	.7	.4	.3	-
No other residential buildings .....	3.4	3.2	1.3	1.9	.2	.7	.7	-	.7	-
Not reported .....	4.3	3.0	1.6	1.4	1.3	-	-	-	-	-
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	875.8	818.7	493.9	324.8	57.0	7.7	6.8	2.9	3.9	.9
1 Building .....	2.8	2.6	.8	1.8	.2	-	-	-	-	-
More than 1 building .....	4.5	4.3	.9	3.5	.2	.5	.5	-	.5	-
No buildings within 300 feet .....	1.5	1.5	1.1	.4	-	-	-	-	-	-
Not reported .....	9.1	7.2	5.0	2.2	1.9	-	-	-	-	-
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet.....	883.1	825.7	495.6	330.0	57.4	8.2	7.3	2.9	4.4	.9
No bars on windows .....	841.3	784.6	473.6	311.0	56.7	7.1	6.2	2.5	3.6	.9
1 building with bars .....	17.8	17.5	9.9	7.5	.3	.4	.4	.4	.4	-
2 or more buildings with bars .....	20.7	20.4	10.5	9.9	.3	.7	.7	-	.7	-
Not reported .....	3.2	3.2	1.6	1.6	-	-	-	-	-	-
<b>Conditions of Streets</b>										
No repairs needed .....	818.0	765.6	468.9	296.7	52.4	7.0	6.1	2.3	3.8	.9
Minor repairs needed .....	53.0	48.5	22.0	28.5	4.5	1.2	1.2	.6	.6	-
Major repairs needed .....	3.8	3.3	1.3	2.0	.5	-	-	-	-	-
No streets within 300 feet .....	14.8	14.3	7.8	6.7	.6	-	-	-	-	-
Not reported .....	4.0	2.7	2.0	.7	1.3	-	-	-	-	-
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	806.0	753.5	471.5	282.0	52.5	5.9	5.0	2.4	2.6	.9
Minor accumulation .....	74.9	69.9	26.6	43.3	5.0	1.8	1.8	.6	1.2	-
Major accumulation .....	7.6	7.0	1.1	5.9	.6	.5	.5	-	.5	-
Not reported .....	5.1	4.0	2.5	1.5	1.1	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	---	<b>834.4</b>	<b>501.7</b>	<b>332.6</b>	---	---	<b>7.3</b>	<b>2.9</b>	<b>4.4</b>	---
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100.....	---	8.8	8.0	.8	---	---	---	---	---	---
\$100 to \$199.....	---	31.8	27.7	4.1	---	---	---	---	---	---
\$200 to \$249.....	---	15.8	13.4	2.4	---	---	---	---	---	---
\$250 to \$299.....	---	20.5	18.2	2.3	---	---	---	---	---	---
\$300 to \$349.....	---	18.0	16.5	1.5	---	---	---	---	---	---
\$350 to \$399.....	---	16.7	14.3	2.4	---	---	---	---	---	---
\$400 to \$449.....	---	17.2	13.3	3.9	---	---	---	---	---	---
\$450 to \$499.....	---	20.7	15.6	5.2	---	---	---	---	---	---
\$500 to \$599.....	---	42.7	17.3	25.4	---	---	---	---	---	---
\$600 to \$699.....	---	68.7	14.8	54.1	---	---	---	---	---	---
\$700 to \$799.....	---	78.4	17.5	61.0	---	---	---	---	---	---
\$800 to \$999.....	---	123.5	33.3	90.2	---	---	---	---	---	---
\$1000 to \$1249.....	---	84.0	43.5	40.4	---	---	---	---	---	---
\$1250 to \$1499.....	---	68.5	47.8	20.6	---	---	---	---	---	---
\$1500 or more.....	---	145.5	134.3	11.2	---	---	---	---	---	---
No cash rent.....	---	7.1	---	7.1	---	---	---	---	---	---
Mortgage payment not reported.....	---	66.8	66.6	---	---	---	---	---	---	---
Median (excludes no cash rent).....	---	687	1 046	800	---	---	647	---	---	---
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs.....	---	---	1 080	---	---	---	---	---	---	---
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	---	---	838	---	---	---	---	---	---	---
<b>Rent Reductions</b>										
No subsidy or income reporting.....	---	---	---	312.2	---	---	---	---	---	---
Rent control.....	---	---	---	---	---	---	---	---	---	---
No rent control.....	---	---	---	312.1	---	---	---	---	---	---
Reduced by owner.....	---	---	---	8.8	---	---	---	---	---	---
Not reduced by owner.....	---	---	---	300.0	---	---	---	---	---	---
Owner reduction not reported.....	---	---	---	2.2	---	---	---	---	---	---
Rent control not reported.....	---	---	---	.2	---	---	---	---	---	---
Owned by public housing authority.....	---	---	---	2.6	---	---	---	---	---	---
Other, Federal subsidy.....	---	---	---	7.7	---	---	---	---	---	---
Other, State or local subsidy.....	---	---	---	3.1	---	---	---	---	---	---
Other, income verification.....	---	---	---	.8	---	---	---	---	---	---
Subsidy or income verification not reported.....	---	---	---	6.2	---	---	---	---	---	---
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	<b>834.4</b>	<b>501.7</b>	<b>332.6</b>	---	---	<b>7.3</b>	<b>2.9</b>	<b>4.4</b>	---
<b>Household Income</b>										
Less than \$5,000.....	---	25.1	12.8	12.3	---	---	---	---	---	---
\$5,000 to \$9,999.....	---	37.4	18.5	18.9	---	---	---	---	---	---
\$10,000 to \$14,999.....	---	38.4	18.3	20.0	---	---	---	---	---	---
\$15,000 to \$19,999.....	---	42.2	15.8	26.5	---	---	---	---	---	---
\$20,000 to \$24,999.....	---	51.8	21.2	30.5	---	---	---	---	---	---
\$25,000 to \$29,999.....	---	71.8	35.0	36.8	---	---	---	---	---	---
\$30,000 to \$34,999.....	---	58.7	28.9	31.9	---	---	---	---	---	---
\$35,000 to \$39,999.....	---	53.1	26.5	26.6	---	---	---	---	---	---
\$40,000 to \$49,999.....	---	81.1	45.8	45.3	---	---	---	---	---	---
\$50,000 to \$59,999.....	---	81.5	52.2	29.3	---	---	---	---	---	---
\$60,000 to \$79,999.....	---	119.5	88.6	31.0	---	---	---	---	---	---
\$80,000 to \$99,999.....	---	63.0	49.3	13.7	---	---	---	---	---	---
\$100,000 to \$119,999.....	---	34.7	29.9	4.8	---	---	---	---	---	---
\$120,000 or more.....	---	66.1	61.0	5.1	---	---	---	---	---	---
Median.....	---	44 248	55 758	33 335	---	---	31 059	---	---	---
<b>As percent of poverty level:</b>										
Less than 50 percent.....	---	25.6	12.8	12.8	---	---	---	---	---	---
50 to 99.....	---	28.1	8.6	19.5	---	---	1.1	.4	.7	---
100 to 149.....	---	49.0	18.8	30.2	---	---	.5	---	.5	---
150 to 199.....	---	49.2	23.2	26.0	---	---	1.5	.9	.8	---
200 percent or more.....	---	682.6	438.4	244.1	---	---	4.1	1.6	2.5	---
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000.....	---	30.0	13.5	16.5	---	---	---	---	---	---
\$5,000 to \$9,999.....	---	42.0	18.5	23.5	---	---	---	---	---	---
\$10,000 to \$14,999.....	---	47.8	18.4	28.4	---	---	---	---	---	---
\$15,000 to \$19,999.....	---	48.1	16.7	29.4	---	---	---	---	---	---
\$20,000 to \$24,999.....	---	55.4	22.4	32.9	---	---	---	---	---	---
\$25,000 to \$29,999.....	---	81.6	37.4	44.2	---	---	---	---	---	---
\$30,000 to \$34,999.....	---	58.4	28.2	30.2	---	---	---	---	---	---
\$35,000 to \$39,999.....	---	49.2	26.7	22.5	---	---	---	---	---	---
\$40,000 to \$49,999.....	---	88.6	47.9	40.7	---	---	---	---	---	---
\$50,000 to \$59,999.....	---	75.8	52.5	23.4	---	---	---	---	---	---
\$60,000 to \$79,999.....	---	106.2	83.3	22.9	---	---	---	---	---	---
\$80,000 to \$99,999.....	---	57.5	46.4	11.0	---	---	---	---	---	---
\$100,000 to \$119,999.....	---	33.3	28.7	3.6	---	---	---	---	---	---
\$120,000 or more.....	---	62.6	59.1	3.6	---	---	---	---	---	---
Median.....	---	40 768	53 627	29 037	---	---	28 083	---	---	---

**Table 6-3. Financial Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	---	---	501.7	---	---	---	---	2.9	---	---
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	---	---	1.6	---	---	---	---	-	---	---
\$10,000 to \$19,999 .....	---	---	2.0	---	---	---	---	.2	---	---
\$20,000 to \$29,999 .....	---	---	4.1	---	---	---	---	.7	---	---
\$30,000 to \$39,999 .....	---	---	8.9	---	---	---	---	-	---	---
\$40,000 to \$49,999 .....	---	---	6.1	---	---	---	---	-	---	---
\$50,000 to \$59,999 .....	---	---	5.7	---	---	---	---	-	---	---
\$60,000 to \$69,999 .....	---	---	7.6	---	---	---	---	-	---	---
\$70,000 to \$79,999 .....	---	---	6.8	---	---	---	---	-	---	---
\$80,000 to \$99,999 .....	---	---	11.1	---	---	---	---	.7	---	---
\$100,000 to \$119,999 .....	---	---	11.3	---	---	---	---	-	---	---
\$120,000 to \$149,999 .....	---	---	25.2	---	---	---	---	-	---	---
\$150,000 to \$199,999 .....	---	---	73.7	---	---	---	---	.7	---	---
\$200,000 to \$249,999 .....	---	---	103.0	---	---	---	---	-	---	---
\$250,000 to \$299,999 .....	---	---	75.5	---	---	---	---	.6	---	---
\$300,000 or more .....	---	---	159.2	---	---	---	---	-	---	---
Time shared units .....	---	---	-	---	---	---	---	-	---	---
Median .....	---	---	242 144	---	---	---	---	-	---	---

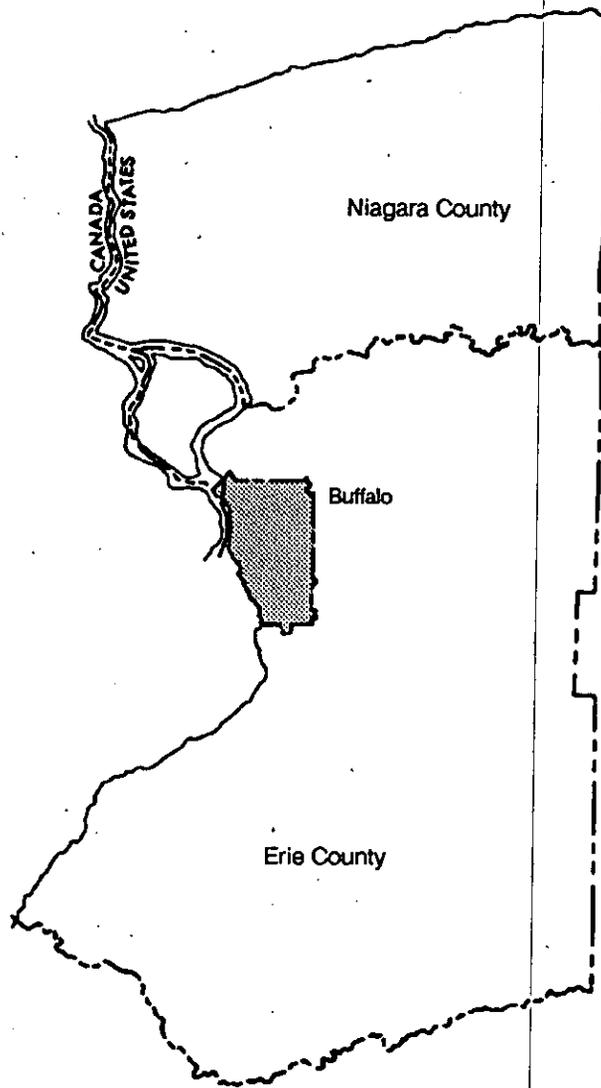
<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

# Consolidated Metropolitan Statistical Area



## Buffalo, NY



- International line
- County line
- City limits
- ▨ Central city of this CMSA

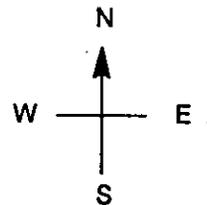


Table 1-1. General Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		Hhldr of Hispanic origin
			Total	White	Black		Total	Total	White	Black		
1 Total	456.8	306.2	233.4	105.5	97.9	5.1	1.6	13.2	4.9	3.9	.8	.2
<b>Tenure</b>												
2 Owner occupied	306.5	234.3	199.5	87.4	83.6	2.6	.6	8.3	2.0	1.9	-	-
3 Percent of all occupied	66.8	75.8	85.5	82.8	85.3	51.3	35.7	62.4	41.3	48.5	-	-
4 Renter occupied	152.2	74.9	33.9	18.2	14.3	2.5	1.0	5.0	2.9	2.0	.6	.2
<b>Units In Structure</b>												
5 1, detached	275.5	218.0	183.8	84.1	80.9	2.2	.4	7.8	2.4	2.1	-	-
6 1, attached	11.1	7.1	4.1	1.7	1.1	.3	.1	.2	-	-	-	-
7 2 to 4	127.9	68.6	38.0	17.8	14.2	2.6	.9	4.1	1.8	1.0	.6	.1
8 5 to 9	19.3	6.7	2.7	.7	.5	-	-	.5	.4	.4	-	-
9 10 to 19	8.6	2.9	1.4	.2	.2	-	-	.3	.3	.3	-	.1
10 20 to 49	5.1	.9	.6	-	-	-	-	-	-	-	-	-
11 50 or more	5.0	1.3	.5	-	-	-	-	.1	-	-	-	-
12 Mobile home or trailer	8.4	3.6	2.3	1.0	1.0	-	-	2	-	-	-	-
<b>Year Structure Built<sup>1</sup></b>												
13 1990 to 1994	15.7	12.6	10.9	5.8	5.4	.3	-	.4	.3	.1	.1	-
14 1985 to 1989	18.2	12.4	11.6	6.7	6.6	-	.1	.1	.1	.1	-	-
15 1980 to 1984	8.4	6.3	5.5	3.5	3.3	-	-	.1	-	-	-	-
16 1975 to 1979	14.7	11.4	10.7	6.4	6.1	.2	-	.1	-	-	-	-
17 1970 to 1974	29.7	20.1	16.5	7.5	7.0	.3	-	1.0	.8	.6	-	-
18 1960 to 1969	60.5	44.1	37.2	13.0	12.7	-	.2	1.0	.3	.3	-	-
19 1950 to 1959	72.7	51.5	42.3	15.1	14.5	.4	-	1.5	.3	.3	-	-
20 1940 to 1949	40.2	26.3	20.1	8.4	8.1	.2	-	1.8	.8	.5	.2	-
21 1930 to 1939	54.8	31.8	20.8	10.1	9.2	.4	.1	2.2	.8	.4	-	.1
22 1920 to 1929	50.9	32.2	18.2	8.9	7.4	.3	.2	1.2	-	-	-	-
23 1919 or earlier	95.1	60.4	39.7	20.2	17.7	2.0	.8	4.0	2.0	1.6	.3	.1
24 Median	1947	1951	1954	1953	1955	1924	-	1937	1936	1938	-	-
<b>Age of Householder</b>												
25 Under 25 years	19.7	8.6	2.8	1.3	1.1	-	.2	1.1	.9	.4	.3	.1
26 25 to 29	36.9	24.0	16.6	11.2	10.3	.5	.4	1.1	.7	.6	.1	-
27 30 to 34	49.4	36.7	27.8	21.7	20.3	1.0	.7	1.8	1.3	1.0	-	-
28 35 to 44	101.9	78.6	57.5	45.9	42.5	2.2	.7	2.7	1.5	1.4	.1	.1
29 45 to 54	79.6	60.7	47.5	22.1	20.7	1.2	.1	1.8	.3	.3	-	-
30 55 to 64	58.8	42.6	35.3	3.3	3.1	.2	.1	1.1	.2	.2	-	-
31 65 to 74	65.4	39.9	32.1	-	-	-	-	1.8	-	-	-	-
32 75 years and over	47.1	19.9	14.0	-	-	-	-	1.8	-	-	-	-
33 Median	48	46	48	39	39	40	-	44	33	35	-	-
<b>Persons 65 Years Old and Over</b>												
34 None	337.0	240.4	180.9	103.8	96.2	5.0	1.8	8.7	4.9	3.9	.8	.2
35 1 person	83.2	31.0	17.5	1.8	1.4	.1	-	3.3	-	-	-	-
36 2 persons or more	38.6	37.8	35.0	.3	.3	-	-	1.2	-	-	-	-
<b>Persons</b>												
37 1 person	126.0	...	...	...	...	...	...	...	...	...	...	...
38 2 persons	143.0	124.9	90.2	...	...	...	...	7.2	1.0	.6	.1	-
39 3 persons	78.8	73.3	47.8	23.4	21.9	1.1	.1	3.1	1.6	1.3	.3	.1
40 4 persons	69.1	67.7	58.6	47.8	44.4	2.6	.9	1.7	1.6	1.2	.1	.1
41 5 persons	30.2	29.8	25.8	23.7	21.9	.9	.4	.7	.4	.4	-	-
42 6 persons	8.8	8.7	7.5	7.0	6.5	.3	.1	.3	.3	.3	-	-
43 7 persons or more	4.8	4.8	3.7	3.6	3.2	.2	-	.3	.1	.1	-	-
44 Median	2.2	2.9	3.1	4.1	4.1	4.1	-	2.4	3.5	3.6	-	-
<b>Rooms</b>												
45 1 room	1.8	-	-	-	-	-	-	-	-	-	-	-
46 2 rooms	.8	-	-	-	-	-	-	-	-	-	-	-
47 3 rooms	27.2	3.1	2.1	.5	.3	-	-	.3	.1	.1	-	-
48 4 rooms	66.7	33.5	18.8	6.3	5.5	.5	.1	2.4	1.7	1.4	.2	-
49 5 rooms	103.5	66.9	48.4	18.0	16.9	.5	.4	4.1	1.9	1.4	.3	.2
50 6 rooms	120.6	88.1	65.4	29.5	26.5	2.3	.2	3.1	.7	.5	-	-
51 7 rooms	73.9	59.5	48.1	23.5	22.2	1.1	.9	2.0	.3	.3	-	-
52 8 rooms	36.6	31.8	27.5	15.8	15.0	.8	-	.7	.2	.2	-	-
53 9 rooms	18.9	17.9	15.6	7.4	7.3	-	-	.6	.1	.1	-	-
54 10 rooms or more	8.8	8.4	7.6	4.4	4.1	.1	-	-	-	-	-	-
55 Median	5.7	6.1	6.2	6.4	6.5	6.2	-	5.4	4.9	4.9	-	-
<b>Persons Per Room</b>												
56 0.50 or less	332.4	189.3	138.7	26.4	25.1	1.0	.1	8.2	1.0	.8	.1	-
57 0.51 to 1.00	120.5	114.0	90.5	75.0	69.3	3.8	1.4	4.6	3.6	2.8	.4	.2
58 1.01 to 1.50	5.7	5.7	4.0	4.0	3.5	.3	-	.5	.3	.3	-	-
59 1.51 or more	.2	.2	.2	.2	-	-	-	-	-	-	-	-

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.



**Table 1-2. Financial Characteristics by Family Type—Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple					Male householder, no wife present				
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		
		Total	White	Black		Total	White	Black	Hhldr of Hispanic origin			
<b>1 Total</b>	<b>458.8</b>	<b>309.2</b>	<b>233.4</b>	<b>105.5</b>	<b>97.9</b>	<b>5.1</b>	<b>1.8</b>	<b>13.2</b>	<b>4.9</b>	<b>3.9</b>	<b>.8</b>	<b>.2</b>
<b>Household Income</b>												
2 Less than \$5,000	18.5	7.2	2.1	1.0	.4	.3	—	.3	.1	—	—	—
3 \$5,000 to \$9,999	49.5	16.5	5.2	1.8	1.0	.4	.2	.1	.1	—	—	—
4 \$10,000 to \$14,999	37.5	18.6	10.4	2.1	1.6	.3	—	1.8	.8	.4	.3	—
5 \$15,000 to \$19,999	38.4	21.0	14.4	4.1	3.4	.5	.3	1.0	.2	.2	—	.1
6 \$20,000 to \$24,999	38.8	23.8	15.1	4.4	4.0	.5	—	1.3	.6	.6	—	—
7 \$25,000 to \$29,999	41.8	29.5	22.4	7.6	7.0	.4	.2	.6	.4	.2	.1	—
8 \$30,000 to \$34,999	31.6	22.2	16.5	7.2	6.8	.3	.2	1.6	.7	.6	—	—
9 \$35,000 to \$39,999	30.7	22.8	18.7	10.4	10.3	.1	—	1.2	.6	.6	—	—
10 \$40,000 to \$49,999	48.7	39.6	31.9	16.0	15.2	.8	.1	2.2	.8	.5	—	.1
11 \$50,000 to \$59,999	39.6	33.7	28.5	16.8	16.2	.1	.3	.9	.2	.2	—	—
12 \$60,000 to \$79,999	41.9	37.1	33.5	17.0	15.9	.5	—	1.3	.1	.1	—	—
13 \$80,000 to \$99,999	21.9	18.5	17.6	7.8	7.5	.3	.1	.5	.3	.3	—	—
14 \$100,000 to \$119,999	8.2	7.5	6.9	3.4	3.3	.1	—	.1	—	—	—	—
15 \$120,000 or more	11.6	10.9	10.5	5.9	5.3	.5	—	.2	—	—	—	—
16 <b>Median</b>	<b>30 771</b>	<b>38 447</b>	<b>43 747</b>	<b>48 887</b>	<b>49 529</b>	<b>32 043</b>	<b>—</b>	<b>34 150</b>	<b>31 962</b>	<b>33 457</b>	<b>—</b>	<b>—</b>
<b>As percent of poverty level:</b>												
17 Less than 50 percent	19.4	11.8	3.0	1.9	1.0	.5	.1	.4	.2	.1	—	—
18 50 to 99	37.2	16.8	6.1	3.0	2.3	.4	.2	.3	.2	—	.1	—
19 100 to 149	43.9	21.9	14.1	7.3	5.8	1.1	.2	1.8	.9	.8	.2	.1
20 150 to 199	42.3	26.0	17.5	8.7	8.4	.4	.3	1.9	.8	.8	—	—
21 200 percent or more	315.9	232.8	192.7	84.5	80.5	2.7	.7	8.8	2.7	2.1	.3	.1
<b>Monthly Housing Costs</b>												
22 Less than \$100	1.0	.4	.1	—	—	—	—	—	—	—	—	—
23 \$100 to \$199	12.3	4.2	2.2	.7	.7	—	—	.3	—	—	—	—
24 \$200 to \$249	18.9	8.6	4.1	.8	.4	.4	—	.7	.2	.1	.1	—
25 \$250 to \$299	30.4	15.0	9.8	1.5	1.2	—	—	1.5	.4	.4	—	—
26 \$300 to \$349	38.8	21.1	14.7	3.0	2.4	.4	.2	.7	.2	.2	.2	—
27 \$350 to \$399	38.5	21.5	15.2	3.0	2.5	.3	—	.9	—	—	—	—
28 \$400 to \$449	40.5	24.5	15.6	4.2	3.4	.6	.1	2.0	.5	.1	—	—
29 \$450 to \$499	33.2	21.8	12.3	3.5	3.0	.4	—	.6	.2	.2	—	—
30 \$500 to \$599	52.5	36.0	25.2	10.4	9.6	.9	.3	2.1	.8	.8	—	.1
31 \$600 to \$699	37.1	27.4	21.7	10.4	9.4	.7	.5	1.5	1.1	.8	.2	.1
32 \$700 to \$799	29.3	24.5	20.2	11.6	10.9	.4	.2	.9	.5	.4	.1	—
33 \$800 to \$999	43.4	35.9	33.2	21.6	21.0	.3	.1	.5	.5	.5	—	—
34 \$1,000 to \$1,249	25.6	22.8	20.7	13.5	12.8	.3	.1	.6	.2	.2	—	—
35 \$1,250 to \$1,499	12.3	10.8	10.2	6.5	6.3	.1	—	.3	.2	.2	—	—
36 \$1,500 or more	13.4	12.5	11.6	7.3	7.0	.1	—	.3	.2	.2	—	—
37 No cash rent	11.7	5.8	1.6	.5	.3	.1	—	.2	—	—	—	—
38 Mortgage payment not reported	19.8	16.9	15.1	7.1	7.0	—	—	.4	.1	.1	—	—
39 <b>Median (excludes no cash rent)</b>	<b>500</b>	<b>573</b>	<b>642</b>	<b>800</b>	<b>817</b>	<b>551</b>	<b>—</b>	<b>482</b>	<b>618</b>	<b>638</b>	<b>—</b>	<b>—</b>
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs	615	690	729	901	904	—	—	514	—	—	—	—
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs	571	632	669	839	841	—	—	477	—	—	—	—
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>												
42 Less than 5 percent	5.6	4.7	3.6	1.3	.8	.5	—	.3	—	—	—	—
43 5 to 9 percent	32.0	26.8	20.5	5.9	5.8	.3	—	1.6	—	—	—	—
44 10 to 14 percent	60.3	49.7	41.7	15.3	14.2	.9	.2	2.1	.7	.4	.2	—
45 15 to 19 percent	70.4	52.5	43.7	19.4	17.8	1.0	.5	1.6	.4	.4	—	—
46 20 to 24 percent	68.1	49.2	39.7	21.0	20.4	—	—	2.5	.8	.8	—	—
47 25 to 29 percent	51.1	31.9	25.0	14.0	13.0	.9	.2	.9	.3	.2	—	—
48 30 to 34 percent	35.5	21.3	16.3	8.2	7.9	.3	—	1.2	1.1	.9	.1	—
49 35 to 39 percent	19.2	10.2	7.2	3.5	3.2	.2	—	.1	.1	.1	—	—
50 40 to 49 percent	29.5	15.6	9.1	4.5	4.2	.4	.1	.4	.3	.2	.1	—
51 50 to 59 percent	14.2	7.0	3.7	1.9	1.2	.5	—	.6	.4	.2	.2	.1
52 60 to 69 percent	8.5	3.9	1.4	1.0	.9	—	—	.4	.1	.1	—	—
53 70 to 99 percent	17.4	7.4	2.9	1.0	.7	—	.1	.3	.2	.2	—	—
54 100 percent or more	14.4	6.5	1.9	.8	.8	—	—	.7	.4	.3	—	—
55 Zero or negative income	1.0	—	—	—	—	—	—	—	—	—	—	—
56 No cash rent	11.7	5.8	1.6	.5	.3	.1	—	.2	—	—	—	—
57 Mortgage payment not reported	19.8	16.9	15.1	7.1	7.0	—	—	.4	.1	.1	—	—
58 <b>Median (excludes 3 previous lines)</b>	<b>23</b>	<b>21</b>	<b>20</b>	<b>22</b>	<b>22</b>	<b>19</b>	<b>—</b>	<b>21</b>	<b>31</b>	<b>30</b>	<b>—</b>	<b>—</b>
59 <b>Median (excludes 4 lines before medians)</b>	<b>23</b>	<b>21</b>	<b>20</b>	<b>22</b>	<b>22</b>	<b>19</b>	<b>—</b>	<b>21</b>	<b>29</b>	<b>28</b>	<b>—</b>	<b>—</b>

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
62.5	35.5	22.6	11.7	1.6	149.6	51.4	11.8	74.6	39.6	14.0	9.6	1
4.9	4.7	1.4	3.0	.3	11.2	3.5	—	7.0	2.4	.4	.4	2
11.1	8.7	4.9	3.4	.8	33.0	7.6	2.8	24.5	17.8	.4	.6	3
6.5	4.4	2.8	1.8	.1	18.9	5.2	3.1	12.4	8.8	.8	.5	4
5.5	3.2	2.6	.8	—	17.4	7.1	2.8	8.3	4.3	.9	1.1	5
7.3	3.4	2.2	1.2	.1	15.0	5.4	1.7	7.1	2.0	1.5	1.1	6
6.5	3.1	2.6	.4	—	12.3	5.4	.4	5.8	2.5	.3	1.0	7
4.1	2.4	1.6	.8	—	9.4	3.6	.2	3.8	.9	1.2	1.0	8
3.0	1.0	1.0	—	—	7.9	4.2	—	1.7	.2	1.5	.4	9
5.5	2.2	2.0	.1	—	9.1	3.4	.2	2.5	.6	2.0	1.1	10
4.3	1.4	1.1	.3	—	5.9	2.5	.3	1.1	.3	1.3	.9	11
2.6	.8	.6	—	.3	4.7	1.9	.3	.5	—	1.9	.4	12
.5	—	—	—	—	3.4	1.2	.4	.1	—	1.3	.8	13
.5	.2	—	—	—	.7	.1	—	—	—	.2	.4	14
.3	.2	—	.2	—	.7	.3	—	.1	—	.2	—	15
22 225	15 032	19 599	9 128	—	18 357	22 297	15 509	12 331	9 920	39 808	30 991	16
8.4	8.1	2.6	5.0	.6	7.6	2.6	—	4.3	1.2	.4	.4	17
10.4	7.6	5.5	2.2	.5	20.4	4.8	.5	14.6	7.7	.4	.6	18
5.9	3.9	2.4	1.8	.2	22.0	4.9	2.8	15.5	12.8	1.1	.5	19
6.6	3.7	3.3	.4	—	16.3	4.3	2.5	9.3	6.4	1.2	1.4	20
31.2	12.0	8.9	2.5	.3	83.3	34.8	6.2	30.8	11.5	10.9	6.7	21
.3	.2	—	.2	—	.6	.1	—	.1	.1	.1	.2	22
1.7	.6	.6	.1	.1	8.1	2.9	1.5	5.2	3.8	—	—	23
3.9	1.4	.2	1.0	.2	10.3	3.3	2.1	6.8	5.3	.2	.1	24
3.8	1.3	.6	.4	.2	15.4	5.4	2.4	9.5	6.7	.1	.4	25
5.8	2.5	1.3	1.2	.3	17.7	6.6	1.8	10.1	6.1	.5	.6	26
5.4	3.8	2.3	1.3	.1	17.0	5.4	.8	9.9	3.8	.9	.8	27
6.9	4.4	3.0	1.3	.4	16.0	6.4	1.0	7.5	3.3	1.2	.8	28
8.7	5.1	3.4	1.8	.1	11.6	3.7	.8	8.2	2.3	.9	.9	29
8.7	4.4	3.4	1.0	—	16.6	5.2	.5	6.4	3.1	2.4	2.5	30
4.2	2.1	1.5	.4	—	9.7	2.8	.3	2.7	1.3	2.8	1.3	31
3.4	2.1	1.5	.6	.1	4.8	1.8	—	1.6	.4	1.0	.3	32
2.3	1.6	1.7	.1	.1	7.5	2.4	.7	2.7	.8	1.6	.7	33
1.4	.8	.7	—	—	3.0	1.4	—	.7	.2	.6	.4	34
.3	.1	.1	—	—	1.5	.5	—	.4	.3	.5	.2	35
.6	.3	.1	—	—	.9	.5	—	.2	.2	.1	.2	36
3.8	3.8	1.9	2.2	—	6.2	2.0	.6	3.3	1.5	.6	.2	37
1.3	.9	.6	.3	—	2.9	.9	.2	1.5	.4	.5	.5	38
455	462	482	416	—	404	404	269	367	324	607	537	39
481	759	777	—	—	413	458	290	384	326	767	—	40
464	736	744	—	—	391	434	280	341	311	720	—	41
.8	.2	—	.2	—	1.0	.7	—	.1	.1	.1	—	42
4.7	.7	.5	—	.2	5.2	3.7	1.0	.6	.2	.6	.3	43
5.9	1.4	1.0	.3	.1	10.6	5.6	.9	4.3	1.2	.5	.2	44
7.2	2.5	1.6	.9	.1	17.8	8.4	1.8	7.8	2.8	1.2	.6	45
7.0	3.5	3.1	.4	.1	18.9	8.3	2.3	7.8	3.2	1.5	1.3	46
6.1	3.1	2.2	.8	—	19.2	7.0	1.6	9.1	5.0	2.0	1.0	47
3.8	2.8	2.2	.6	—	14.2	2.7	.8	9.2	5.9	1.8	.5	48
2.8	1.7	1.4	.3	—	9.1	2.4	.7	4.4	2.7	1.2	1.1	49
6.1	4.3	2.9	1.0	.3	13.8	3.3	1.2	7.5	5.8	1.5	1.6	50
2.7	2.0	.7	1.3	—	7.2	1.6	.6	5.0	3.6	.3	.4	51
2.1	1.9	.8	.8	.1	4.6	.9	—	2.7	1.3	.7	.4	52
4.2	3.5	2.0	1.4	.2	10.1	1.9	.1	6.5	4.0	.4	1.2	53
3.9	3.1	1.8	1.2	.6	7.9	1.4	—	4.7	1.6	1.1	.8	54
—	—	—	—	—	1.0	.7	—	.2	.1	.1	—	55
3.8	3.8	1.8	2.2	—	6.2	2.0	.8	3.3	1.5	.6	.2	56
1.3	.9	.8	.3	—	2.9	.9	.2	1.5	.4	.5	—	57
28	39	34	51	—	29	23	24	33	35	31	36	58
26	34	32	46	—	28	23	24	32	35	30	37	59

Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin	
		White	Black			White		Black				
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	308.5	234.3	199.5	87.4	83.6	2.6	.6	8.3	2.0	1.9	-	-
Value												
2 Less than \$10,000.....	4.2	2.3	1.5	.3	.3	-	-	.4	-	-	-	-
3 \$10,000 to \$19,999.....	9.4	5.4	4.4	1.6	1.4	.2	-	-	-	-	-	-
4 \$20,000 to \$29,999.....	10.1	5.5	3.7	1.2	1.0	.2	-	.4	-	-	-	-
5 \$30,000 to \$39,999.....	15.6	10.1	6.3	2.3	1.9	.4	-	.8	-	.3	-	-
6 \$40,000 to \$49,999.....	15.1	9.3	6.8	3.0	2.3	.7	.1	1.2	-	.3	-	-
7 \$50,000 to \$59,999.....	19.7	13.7	10.6	4.6	4.2	.3	-	.6	-	.3	-	-
8 \$60,000 to \$69,999.....	26.9	19.5	15.3	6.7	6.3	-	.2	.7	-	.3	-	-
9 \$70,000 to \$79,999.....	30.5	22.3	20.3	8.7	8.3	.4	.1	1.0	-	.2	-	-
10 \$80,000 to \$99,999.....	61.1	65.5	56.9	23.5	23.4	-	-	1.8	-	.3	-	-
11 \$100,000 to \$119,999.....	31.6	26.0	23.3	9.8	9.5	.3	-	.5	-	.2	-	-
12 \$120,000 to \$149,999.....	29.0	24.8	22.2	11.2	10.8	-	.1	.6	-	.3	-	-
13 \$150,000 to \$199,999.....	19.3	17.7	16.4	7.9	7.8	-	-	.3	-	.3	-	-
14 \$200,000 to \$249,999.....	7.8	6.4	6.1	3.7	3.6	.1	-	.1	-	-	-	-
15 \$250,000 to \$299,999.....	3.1	2.8	2.8	1.3	1.3	-	-	-	-	-	-	-
16 \$300,000 or more.....	3.3	3.3	2.9	1.6	1.5	-	-	-	-	-	-	-
17 Median.....	85 378	88 885	90 845	63 047	63 727	-	-	70 611	-	-	-	-

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
28.5	7.7	6.2	1.1	.4	72.3	22.5	7.5	40.5	25.9	6.1	3.2	1
.5	.2	.2	—	—	1.9	1.0	.5	.9	.9	—	—	2
1.0	.3	.3	—	—	4.0	1.6	.2	1.8	1.3	.4	—	3
1.4	.6	.1	—	—	4.6	1.6	.6	2.7	1.4	.1	—	4
3.0	.8	.5	—	—	5.5	.9	.8	4.0	2.8	.3	—	5
1.3	—	—	—	—	5.8	1.2	.8	3.8	2.5	.3	—	6
2.5	.3	.3	—	—	6.1	1.3	.5	3.7	2.4	.7	—	7
3.4	1.3	1.1	—	—	7.4	2.2	.3	4.4	3.4	.8	—	8
1.0	.2	.2	—	—	8.2	2.9	.8	4.8	3.4	.8	—	9
6.9	2.2	1.9	—	—	15.5	5.8	1.8	7.9	4.7	1.0	—	10
2.2	.6	.6	—	—	5.6	1.1	.4	3.5	2.5	—	—	11
1.8	.7	.6	—	—	4.4	1.3	.3	1.7	1.1	—	—	12
1.1	.3	.3	—	—	1.5	.8	—	.7	—	—	—	13
.1	.1	.1	—	—	1.4	.8	—	.5	.3	—	—	14
.3	.2	—	—	—	.3	.1	—	—	—	—	—	15
71 859	82 110	84 318	—	—	71 065	75 153	71 893	67 551	67 868	69 227	—	17



Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
62.5	35.5	22.6	11.7	1.6	149.6	51.4	11.8	74.6	39.6	14.0	9.6	1
62.5	35.5	22.6	11.7	1.6	149.3	51.2	11.7	74.6	39.6	14.0	9.6	2
80.0	33.4	21.0	11.3	1.6	145.3	49.1	11.3	73.1	39.0	13.6	9.5	3
2.3	2.0	1.4	.4	—	3.8	2.1	.4	1.4	.5	.3	.1	4
.5	.5	.5	—	—	1.3	.8	.2	.2	.2	.1	.1	5
1.5	1.1	.8	.4	—	2.2	.9	.2	1.1	.2	.2	.6	6
.4	.4	.4	—	—	.2	.2	—	—	—	—	—	7
—	—	—	—	—	—	—	—	—	—	—	—	8
—	—	—	—	—	.1	.1	—	—	—	—	—	9
—	—	—	—	—	—	—	—	—	—	—	—	10
.2	.2	.2	—	—	.3	—	—	.1	.1	.1	—	11
62.5	35.5	22.6	11.7	1.6	148.9	50.7	11.7	74.6	39.6	14.0	9.6	12
58.5	32.3	20.7	10.5	1.6	144.0	49.1	11.5	71.8	38.3	13.6	9.5	13
3.8	3.1	1.8	1.2	—	4.6	1.7	.3	2.8	1.2	.2	.1	14
1.9	1.3	1.0	.4	—	1.1	.3	.2	.8	.2	.2	—	15
1.2	1.0	.4	.4	—	2.8	1.1	.1	1.6	.9	—	.1	16
.5	.5	.4	.1	—	.2	.2	—	.2	.2	—	—	17
.1	.1	—	.1	—	.2	.1	—	.1	.1	—	—	18
.2	.2	—	.2	—	.3	—	—	.3	.2	—	—	19
.2	.2	.2	—	—	.1	—	—	—	—	.1	—	20
—	—	—	—	—	—	—	—	—	—	—	—	21
58.5	33.7	20.8	11.7	1.6	142.3	49.0	11.3	71.4	37.6	12.9	9.1	22
57.3	33.1	20.5	11.5	1.5	140.5	48.3	11.0	70.5	37.2	12.6	9.1	23
1.2	.6	.4	.2	.1	1.8	.7	.3	.9	.3	.2	—	24
.3	.1	.1	—	—	1.1	.5	.3	.6	.3	—	—	25
.8	.4	.3	.1	—	.4	.1	—	.1	—	.2	—	26
—	—	—	—	—	.2	.1	—	.1	—	—	—	27
.1	.1	—	.1	.1	—	—	—	—	—	—	—	28
—	—	—	—	—	—	—	—	—	—	—	—	29
4.0	1.8	1.8	—	—	7.2	2.3	.5	3.2	2.0	1.1	.6	30
3.3	1.4	1.4	—	—	7.2	2.3	.5	3.2	2.0	1.1	.6	31
.7	.4	.4	—	—	—	—	—	—	—	—	—	32
.1	.1	.1	—	—	—	—	—	—	—	—	—	33
.8	.3	.3	—	—	—	—	—	—	—	—	—	34
—	—	—	—	—	—	—	—	—	—	—	—	35
—	—	—	—	—	—	—	—	—	—	—	—	36
—	—	—	—	—	—	—	—	—	—	—	—	37
57.4	30.9	19.6	10.5	1.3	141.2	48.7	11.7	72.1	39.3	12.2	8.2	38
51.8	27.5	17.1	9.7	1.1	127.4	44.2	10.9	64.9	35.8	11.1	7.2	39
5.6	3.4	2.5	.8	.2	13.9	4.5	.8	7.2	3.5	1.2	1.0	40
2.1	1.5	1.0	.5	—	6.1	2.6	.7	2.8	1.4	.6	.1	41
.2	.2	.2	—	—	.5	.2	—	.2	—	—	—	42
1.4	1.0	.8	.2	—	4.5	2.0	.7	2.2	1.3	.3	—	43
—	—	—	—	—	.7	.3	—	.2	—	.1	—	44
.4	.2	—	.2	—	.2	—	—	.2	—	—	—	45
.1	.1	—	.1	—	.2	—	—	.2	.1	—	—	46
—	—	—	—	—	—	—	—	—	—	—	—	47
3.8	2.0	1.7	.3	.2	8.2	2.0	.1	4.7	2.0	.6	.9	48
.3	—	—	—	—	2.0	.1	.1	1.3	.4	.3	.3	49
1.4	.8	.7	.1	.2	2.3	.3	—	1.8	.7	—	.2	50
1.2	.7	.6	.1	—	1.1	.4	—	.5	.4	—	.2	51
.8	.6	.5	.1	—	2.7	1.2	—	1.0	.5	.2	.2	52
—	—	—	—	—	.1	—	—	—	—	.1	—	53
—	—	—	—	—	.1	.1	—	—	—	—	—	54
—	—	—	—	—	—	—	—	—	—	—	—	55
2.6	2.1	.5	1.4	.4	1.9	.6	—	.9	.3	.1	.3	56
1.0	.9	.2	.5	—	.7	.3	—	.3	.2	.1	—	57
4.7	3.4	1.6	1.7	.1	6.7	2.0	.4	2.8	1.1	.8	1.1	58
4.6	3.5	1.6	1.8	.1	5.1	1.2	.3	2.6	.8	.8	.5	59
—	—	—	—	—	—	—	—	—	—	—	—	60
1.0	.9	.2	.4	.1	2.1	.7	.3	1.0	.3	.1	.3	61
1.6	1.4	1.0	.4	—	3.0	.6	.2	1.7	.6	.3	.4	62
43.1	23.3	15.2	7.0	1.4	92.9	30.5	7.8	47.2	26.4	9.4	5.8	63
—	—	—	—	—	.2	—	—	.2	.2	—	—	64
57.3	31.0	21.3	9.0	1.2	136.5	45.7	10.8	69.6	38.4	12.4	8.8	65
8.8	4.1	3.2	.8	.1	17.5	6.6	1.9	7.3	3.4	2.2	1.5	66
37.9	20.0	11.5	7.8	1.2	70.6	22.2	5.9	36.3	20.8	6.9	5.2	67
—	—	—	—	—	—	—	—	—	—	—	—	68
12.7	6.3	4.2	1.6	.3	24.4	7.8	2.4	12.3	6.3	2.2	2.2	69
26.7	11.4	8.1	2.9	.1	69.8	21.8	6.8	37.8	24.6	6.4	3.9	70
35.6	23.9	14.4	8.7	1.5	79.7	29.5	4.9	36.8	15.0	7.6	5.8	71
24.0	15.7	10.3	5.2	.8	54.0	20.8	3.5	23.7	10.2	5.6	3.9	72
—	—	—	—	—	.4	.1	—	.2	.1	—	—	73
.2	.2	.1	.1	—	.1	.1	.1	—	—	—	—	74

Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin	
White	Black	White		Black								
<b>Overall Opinion of Structure</b>												
1 1 (worst).....	3.0	1.8	.7	.3	.2	.1	—	.2	.1	.1	—	—
2 2.....	2.3	1.8	.5	.4	.4	—	—	.3	.1	—	—	.1
3 3.....	3.2	2.2	1.6	1.1	1.1	—	—	—	—	—	—	—
4 4.....	4.5	2.8	1.2	.8	.7	.2	—	.3	.3	.3	—	—
5 5.....	25.9	17.5	9.9	5.7	4.9	.7	—	1.9	1.0	.8	.2	.1
6 6.....	18.2	11.0	6.8	3.7	3.1	.4	—	.8	.4	.4	—	—
7 7.....	54.7	35.2	24.4	13.8	12.9	.4	.4	1.6	.4	.4	—	—
8 8.....	108.7	73.5	55.4	28.5	25.2	.8	.6	2.9	1.4	1.3	—	—
9 9.....	72.1	50.8	41.9	20.1	18.9	.9	.1	1.1	.4	.4	—	—
10 10 (best).....	184.0	112.1	90.0	32.8	30.2	1.8	.5	4.3	.9	.5	.4	—
11 Not reported.....	2.1	.9	.9	.3	.3	—	—	—	—	—	—	—
<b>Neighborhood Conditions</b>												
12 With neighborhood.....	455.5	307.8	232.2	105.2	97.8	5.1	1.8	13.2	4.9	3.9	.6	.2
13 No problems.....	290.0	191.9	147.6	59.5	55.3	2.6	1.0	8.4	2.6	2.2	.3	.1
14 With problems <sup>1</sup> .....	165.1	115.4	84.0	45.5	42.1	2.4	.4	4.8	2.3	1.8	.3	.1
15 Crime.....	35.3	21.4	12.3	6.4	4.8	1.3	.2	1.0	.8	.5	.2	—
16 Noise.....	41.0	27.3	18.1	9.8	8.8	.8	.4	1.4	.8	.2	.1	—
17 Traffic.....	39.1	26.5	22.2	13.0	12.7	.2	.1	1.3	.5	.4	—	—
18 Litter or housing deterioration.....	18.2	13.1	8.0	4.3	3.8	.4	.1	.4	.4	—	—	—
19 Poor city or county services.....	9.5	6.4	4.9	2.8	2.8	—	—	.1	—	—	—	—
20 Undesirable commercial, institutional, industrial.....	8.3	6.8	5.5	3.2	3.1	—	—	.3	—	—	—	—
21 People.....	59.3	42.5	30.1	17.3	15.0	1.5	.4	2.2	.9	.8	.1	.1
22 Other.....	27.2	18.6	15.8	8.6	8.3	.2	.1	.4	.2	.1	—	—
23 Type of problem not reported.....	—	—	—	—	—	—	—	—	—	—	—	—
24 Presence of problems not reported.....	.4	.4	.4	.2	.1	.1	.1	—	—	—	—	—
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst).....	6.8	4.6	2.3	1.0	.7	.2	.1	.2	.2	.2	—	—
26 2.....	5.9	3.6	1.5	1.3	1.2	.1	.1	.4	.2	.2	—	—
27 3.....	5.2	3.8	1.9	1.1	1.0	.1	—	.4	.3	.1	.2	.1
28 4.....	8.2	5.3	4.2	1.8	1.3	.2	—	—	—	—	—	—
29 5.....	32.2	18.7	10.4	5.5	4.1	1.0	.1	2.0	.8	.8	—	—
30 6.....	22.0	13.4	8.9	5.2	4.2	.5	—	.4	—	—	—	—
31 7.....	49.2	32.3	23.0	12.8	11.7	.7	—	1.2	.4	.4	—	—
32 8.....	98.8	67.5	52.4	25.2	24.3	.8	.2	2.8	.8	.5	.2	—
33 9.....	65.4	47.1	37.8	18.8	18.1	.3	.2	1.8	.5	.4	.1	—
34 10 (best).....	161.9	111.3	90.0	35.0	32.9	1.3	.8	4.1	1.8	1.4	.1	.1
35 No neighborhood.....	.7	.4	.3	.1	.1	—	—	—	—	—	—	—
36 Not reported.....	2.6	1.0	1.0	.2	.2	—	—	—	—	—	—	—

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
.7	.7	.5	.2	.1	1.3	.7	—	.7	.3	—	—	1
.9	.7	.5	.2	—	.7	.4	.1	.2	.1	—	—	2
.5	.4	.3	.1	—	1.1	.4	—	.4	.3	—	—	3
1.3	1.0	.8	.2	—	1.7	.8	.1	.3	—	.4	—	4
5.7	3.7	2.5	1.0	—	8.4	2.9	.5	4.2	2.0	.7	.6	5
3.6	2.2	1.4	.8	—	7.3	2.9	.2	2.7	1.4	1.3	.4	6
9.1	5.9	2.8	3.2	.4	19.6	7.2	.8	7.0	2.9	3.7	1.7	7
15.2	8.8	5.4	3.0	.2	35.2	12.5	2.1	18.2	7.5	3.9	2.7	8
7.7	4.1	3.2	.7	.3	21.4	6.9	1.9	10.7	5.1	2.2	1.6	9
17.8	8.0	5.3	2.3	.8	51.9	18.9	6.1	31.1	18.8	1.8	2.2	10
—	—	—	—	—	1.2	—	—	1.2	1.2	—	—	11
62.3	35.3	22.8	11.5	1.8	147.7	51.3	11.8	73.0	38.1	14.0	9.5	12
35.7	17.6	11.7	5.3	.7	96.1	34.0	9.1	50.3	28.4	8.6	5.2	13
28.7	17.7	11.0	6.3	.9	49.6	17.3	2.7	22.7	9.7	5.4	4.3	14
8.1	5.7	2.0	3.6	.4	13.9	4.9	1.0	6.4	2.3	1.1	1.4	15
7.8	5.5	3.7	1.5	.5	13.7	4.3	.9	6.0	2.3	1.8	1.8	16
5.0	3.9	2.5	1.2	.2	10.7	4.3	.5	3.5	.9	1.8	1.0	17
4.7	2.5	1.4	1.2	.1	5.1	1.9	.3	1.5	.8	1.4	.3	18
1.4	.9	.8	.3	—	3.1	1.2	.1	.8	.6	1.0	.2	19
1.0	.5	.4	.1	—	1.5	.8	.4	.8	.3	.2	.1	20
10.1	7.2	4.8	2.4	.3	16.8	5.5	.9	8.0	3.5	1.3	2.0	21
2.4	1.2	.8	.4	—	8.8	2.7	.4	4.0	2.1	1.2	.7	22
—	—	—	—	—	—	—	—	—	—	—	—	23
—	—	—	—	—	—	—	—	—	—	—	—	24
2.0	1.8	.4	1.2	.3	2.2	.7	.3	.7	.4	.4	.5	25
1.7	1.1	.8	.3	—	2.3	.7	.2	1.0	.5	.4	.2	26
1.5	1.3	.8	.7	.2	1.4	.7	.2	.5	.2	—	.3	27
1.2	.8	.5	.3	—	2.8	1.4	—	1.0	.5	.4	.1	28
6.4	3.9	2.9	1.0	.3	13.4	5.4	1.2	6.1	2.5	.9	1.0	29
4.1	2.8	1.7	.8	.1	8.8	2.7	.5	3.9	1.8	1.4	.5	30
8.1	4.3	2.1	2.1	.1	18.9	5.5	.6	6.9	2.9	3.2	1.3	31
12.3	7.0	5.3	1.4	.4	31.3	10.9	1.5	15.3	7.0	3.3	1.8	32
7.8	4.4	2.2	1.9	—	18.3	6.6	2.0	8.5	3.8	1.8	1.4	33
17.2	8.1	6.0	1.8	.3	50.5	18.8	5.4	29.1	18.6	2.3	2.3	34
.2	.2	—	.2	—	.3	.1	—	.2	—	—	—	35
—	—	—	—	—	1.6	—	—	1.5	1.5	—	.2	38

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	458.8	306.5	152.2	14.1	8.4	3.7	13.7	48.8	7.3	112.5	64.4	56.7	130.2	243.3	26.1
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	37.65	33.76	45.48	25.78	17.52	60.76	55.91	43.95	40.92	33.55	40.50	50.31	49.11	30.13	47.35
Neighborhood crime.....	22.45	18.33	30.75	11.48	10.00	40.19	40.57	46.37	34.48	16.44	23.70	37.57	45.42	12.07	25.70
Any condition(s).....	46.18	41.30	56.00	29.61	25.57	66.19	67.07	62.19	52.92	40.70	49.76	64.69	64.25	36.31	55.48
Both conditions present.....	13.93	10.79	20.23	7.65	1.95	34.76	29.42	28.13	22.48	9.28	14.44	23.19	30.28	5.90	17.58
No conditions present.....	53.60	58.46	43.83	70.39	74.43	33.81	31.91	37.17	47.08	59.16	50.02	35.06	35.51	63.40	44.52
Not reported.....	.22	.25	.18	-	-	-	1.03	.64	-	.14	.22	.25	.24	.29	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	18.57	17.52	20.68	8.81	8.28	29.96	33.91	21.07	30.48	12.27	19.60	23.12	24.13	14.86	21.03
Neighborhood crime.....	15.22	12.68	20.31	7.72	5.39	29.74	31.00	29.20	23.93	10.24	15.94	24.77	32.22	7.46	15.83
Unsatisfactory neighborhood shopping.....	11.01	9.99	13.05	10.31	8.45	26.30	20.69	29.02	3.13	11.46	12.28	16.59	17.24	8.69	7.36
Unsatisfactory public elementary school.....	2.40	1.82	3.57	.93	-	-	3.98	2.90	5.56	-	3.77	4.02	4.63	1.23	3.41
Unsatisfactory public transportation.....	2.55	2.73	2.18	-	2.81	2.96	1.44	2.08	-	2.64	2.93	3.07	2.47	3.13	.43
Any condition(s).....	36.69	33.97	42.17	21.11	22.12	53.51	58.41	54.34	41.83	29.58	39.16	48.64	51.48	29.14	37.76
Two or more conditions.....	10.52	8.83	13.93	4.78	2.61	27.06	22.80	21.54	19.75	6.08	11.56	17.26	22.16	5.69	8.16
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	6.75	5.72	8.82	3.09	-	18.86	20.67	11.35	7.28	3.38	6.74	9.37	10.89	4.18	8.79
Neighborhood crime.....	6.08	3.98	10.31	.95	-	26.73	16.86	14.91	7.33	2.81	6.46	10.20	16.29	1.45	6.27
Unsatisfactory public elementary school.....	1.23	.74	2.21	.93	-	-	3.98	1.98	5.56	-	1.92	2.98	3.12	.40	1.76
Any condition(s).....	10.39	7.78	15.66	4.02	-	29.61	30.18	19.04	14.36	4.59	11.57	17.11	20.65	5.11	11.90
Two or more conditions.....	3.36	2.50	5.07	.95	-	15.96	10.28	8.45	4.29	1.61	3.02	4.42	8.62	.91	4.50
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	.31	.30	.34	-	-	-	1.03	.64	-	.28	.44	.25	.24	.46	-
Neighborhood crime.....	.22	.25	.18	-	-	-	1.03	.64	-	.14	.22	.25	.24	.29	-
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16.....	32.26	31.94	32.88	41.82	20.46	34.74	45.22	38.83	45.88	1.28	41.44	38.26	28.72	32.85	27.00
Satisfactory public elementary school.....	26.44	27.17	24.97	33.22	20.46	29.96	32.94	31.84	35.59	1.14	28.41	29.64	19.90	28.58	20.82
Unsatisfactory public elementary school.....	2.40	1.82	3.57	.93	-	-	3.98	2.90	5.56	-	3.77	4.02	4.63	1.23	3.41
So bothered they want to move.....	1.23	.74	2.21	.93	-	-	3.98	1.98	5.56	-	1.92	2.98	3.12	.40	1.76
Not reported.....	.02	-	.07	-	-	-	-	-	-	-	-	-	.08	-	-
Not reported or don't know.....	3.42	2.95	4.34	7.66	-	4.78	8.30	4.09	4.73	.15	9.26	4.59	4.20	3.04	2.67
Public elementary school less than 1 mile.....	16.74	15.42	19.39	16.26	5.67	11.83	29.25	23.97	31.49	.53	22.65	25.16	18.35	16.02	19.64
Public elementary school 1 mile or more.....	14.87	15.99	12.60	23.66	14.78	22.90	15.25	13.29	14.39	.75	16.23	12.12	9.52	16.12	6.74
Not reported.....	.65	.54	.89	1.91	-	-	.72	1.57	-	-	2.56	.97	.86	.71	.62
Households without children aged 0-16.....	67.74	68.06	67.12	58.18	79.54	65.26	54.78	61.17	54.12	98.72	58.56	61.74	71.28	67.15	73.00
Households with children aged 4-16.....	26.96	27.39	26.09	30.35	20.46	29.96	40.44	34.17	39.58	1.19	29.63	30.97	23.72	27.41	20.71
Attend public school (K-12).....	21.45	21.41	21.51	27.40	20.46	25.02	33.48	28.45	34.99	.90	22.33	25.71	17.80	22.06	15.90
Attend private school (K-12).....	3.94	4.82	1.97	1.85	-	-	2.99	2.16	1.48	.26	3.29	1.84	4.72	3.49	3.55
Attend ungraded school, preschool, etc.....	1.05	.86	1.42	1.00	-	4.94	1.48	1.92	3.12	-	2.19	1.61	1.16	1.11	-
Does not attend school.....	1.09	.96	1.35	-	-	-	2.50	1.00	1.56	-	2.18	2.06	.47	1.37	1.91
Not reported.....	.34	.31	.41	.95	-	-	-	1.25	-	-	.55	.72	.56	.29	-
<b>Public Transportation as a Percent of Total</b>															
With public transportation.....	73.23	67.76	84.25	42.85	33.75	85.40	79.04	97.17	84.99	72.60	78.35	86.72	98.83	65.88	87.13
Household uses it at least weekly.....	11.90	6.09	23.61	4.71	2.92	36.96	29.31	43.41	44.91	8.29	21.45	35.26	31.80	3.26	16.06
Satisfactory public transportation.....	11.41	5.66	22.99	4.71	2.92	36.96	29.31	41.58	44.91	8.01	20.09	34.39	30.73	2.90	16.06
Unsatisfactory public transportation.....	.46	.43	.52	-	-	-	-	1.51	-	.28	1.12	.88	.95	.36	-
Not reported.....	.03	-	.10	-	-	-	-	.32	-	-	.24	-	.12	-	-
Household uses it less than weekly.....	25.12	23.20	29.00	7.45	19.98	29.91	16.21	30.36	20.31	24.67	24.22	30.04	40.44	20.61	26.73
Satisfactory public transportation.....	22.85	20.75	27.07	7.45	17.17	26.95	14.77	29.47	20.31	22.04	22.15	27.67	38.79	17.55	26.30
Unsatisfactory public transportation.....	2.09	2.30	1.66	-	2.81	2.96	1.44	.57	-	2.36	1.81	2.20	1.52	2.77	.43
Not reported.....	.19	.15	.27	-	-	-	-	.33	-	.28	.25	.17	.12	.29	-
Household does not use.....	36.02	38.32	31.38	30.69	10.85	18.53	33.52	22.67	19.78	39.54	32.34	21.42	26.12	41.90	44.35
Not reported.....	.18	.15	.25	-	-	-	-	.72	-	.10	.34	-	.48	.09	-
No public transportation.....	26.50	32.00	15.42	56.22	66.25	14.60	19.94	2.54	15.01	27.26	21.18	13.03	1.06	33.68	12.87
Not reported.....	.27	.24	.33	.93	-	-	1.03	.29	-	.14	.46	.25	.11	.46	-
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping.....	88.42	89.58	86.08	86.90	91.55	73.70	77.32	70.01	96.87	87.70	86.45	82.70	81.58	90.85	92.64
Less than 1 mile.....	70.89	67.57	77.56	39.12	45.83	70.83	65.01	63.43	84.99	70.83	73.53	73.21	77.83	68.13	86.40
1 mile or more.....	17.34	21.79	8.38	47.78	45.71	2.88	12.31	6.58	11.88	16.87	12.41	9.49	3.76	22.43	6.24
Not reported.....	.19	.21	.14	-	-	-	-	-	-	-	.50	-	-	.29	-
Unsatisfactory neighborhood shopping.....	11.01	9.99	13.05	10.31	8.45	26.30	20.69	29.02	3.13	11.46	12.28	16.59	17.24	8.69	7.36
Not reported or don't know.....	.58	.43	.87	2.79	-	-	1.98	.97	-	.85	1.27	.71	1.18	.46	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 2-4. Neighborhood Quality—Owner Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	306.5	11.0	7.5	1.0	4.5	16.5	1.7	88.4	17.5	12.9	55.6	169.8	16.0
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	33.78	19.45	16.35	54.27	54.17	45.04	40.65	31.73	22.13	46.50	49.52	27.74	40.02
Neighborhood crime.....	18.33	8.61	11.24	35.92	29.08	49.03	37.24	15.51	9.76	27.56	46.97	11.88	20.03
Any condition(s).....	41.30	20.72	25.39	54.27	57.14	64.29	53.37	38.95	27.49	61.93	65.15	34.22	46.02
Both conditions present.....	10.79	7.33	2.20	35.92	28.11	29.78	24.52	8.29	4.40	12.13	31.33	5.41	14.04
No conditions present.....	58.48	79.28	74.61	45.73	42.68	34.69	46.83	60.87	72.51	38.07	34.54	65.48	53.96
Not reported.....	.25	-	-	-	-	1.02	-	.17	-	-	.30	.31	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	17.52	7.40	9.31	34.56	32.41	27.07	34.66	12.34	11.48	18.57	26.37	14.13	19.36
Neighborhood crime.....	12.68	6.18	6.05	16.21	18.07	30.60	24.52	9.83	7.32	13.03	34.23	7.84	12.15
Unsatisfactory neighborhood shopping.....	9.99	10.78	6.16	34.56	12.42	33.89	-	11.04	8.95	11.61	16.60	8.91	5.95
Unsatisfactory public elementary school.....	1.62	-	-	-	3.22	2.40	-	-	1.47	1.23	4.08	1.00	1.94
Unsatisfactory public transportation.....	2.73	-	3.16	-	-	2.64	-	2.61	2.03	2.01	2.97	3.21	-
Any condition(s).....	33.97	18.25	21.52	34.56	44.81	60.19	40.65	28.92	25.21	38.38	51.86	29.21	31.71
Two or more conditions.....	8.83	4.91	3.16	34.56	11.66	24.93	18.53	6.05	4.92	8.06	24.63	5.42	5.62
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	5.72	2.48	-	16.21	12.80	13.47	-	3.16	-	7.27	11.75	3.77	6.38
Neighborhood crime.....	3.98	1.21	-	16.21	8.78	12.85	-	2.22	.81	-	15.42	1.23	3.28
Unsatisfactory public elementary school.....	.74	-	-	-	3.22	.87	-	-	-	-	3.00	.24	-
Any condition(s).....	7.78	2.48	-	16.21	16.02	17.44	-	3.90	.61	7.27	20.14	4.32	7.04
Two or more conditions.....	2.50	1.21	-	16.21	5.56	8.88	-	1.47	-	-	9.13	.92	2.61
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.30	-	-	-	-	1.02	-	.35	-	-	.30	.39	-
Neighborhood crime.....	.25	-	-	-	-	1.02	-	.17	-	-	.30	.31	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	31.84	47.60	16.73	42.04	44.72	27.63	45.16	1.63	53.02	18.25	23.28	33.10	20.01
Satisfactory public elementary school.....	27.17	37.82	16.73	42.04	34.42	20.71	38.48	1.44	41.32	14.43	16.27	29.39	15.29
Unsatisfactory public elementary school.....	1.82	-	-	-	3.22	2.40	-	-	1.47	1.23	4.08	1.00	1.94
So bothered they want to move.....	.74	-	-	-	3.22	.87	-	-	-	-	3.00	.24	-
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Not reported or don't know.....	2.95	9.79	-	-	7.06	4.52	6.69	.19	10.23	2.59	2.93	2.71	2.78
Public elementary school less than 1 mile.....	15.42	19.57	3.04	31.75	25.69	13.65	29.27	.87	30.41	10.44	12.87	16.30	14.05
Public elementary school 1 mile or more.....	15.99	25.80	13.69	10.29	19.03	10.96	15.89	.96	20.19	5.22	9.30	16.34	4.95
Not reported.....	.54	2.43	-	-	-	3.02	-	-	2.42	2.59	1.10	.46	1.02
Households without children aged 0-16.....	68.06	62.40	83.27	57.96	55.28	72.37	54.84	98.37	46.98	81.75	76.72	66.90	79.99
Households with children aged 4-16.....	27.39	32.95	16.73	42.04	41.08	25.28	45.16	1.51	42.71	17.06	21.63	27.82	15.37
Attend public school(K-12).....	21.41	29.19	16.73	42.04	34.20	19.93	38.48	1.15	29.89	12.33	14.57	22.00	11.34
Attend private school (K-12).....	4.82	2.49	-	-	3.44	3.34	-	.36	5.75	3.32	6.82	4.20	5.07
Attend ungraded school, preschool, etc.....	.86	1.27	-	-	-	-	6.89	-	5.32	-	.88	1.07	-
Does not attend school.....	.96	-	-	-	3.44	-	-	-	1.86	-	-	1.31	-
Not reported.....	.31	1.22	-	-	-	3.02	-	-	.77	1.40	.90	.24	-
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	67.78	34.15	34.93	57.96	71.95	96.14	76.30	69.88	57.62	70.65	99.10	63.86	85.94
Household uses it at least weekly.....	6.09	1.21	3.28	9.42	15.99	26.70	18.36	6.55	6.84	11.89	21.69	2.31	11.82
Satisfactory public transportation.....	5.66	1.21	3.28	9.42	15.99	25.74	18.36	6.19	5.93	10.69	20.51	1.96	11.82
Unsatisfactory public transportation.....	.43	-	-	-	-	.97	-	.36	.82	1.21	1.19	.35	-
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	23.20	7.33	19.46	18.35	10.52	33.17	9.91	22.59	17.55	25.00	45.76	20.23	22.25
Satisfactory public transportation.....	20.75	7.33	16.30	18.35	10.52	31.51	9.91	19.99	16.44	24.20	43.98	17.14	22.25
Unsatisfactory public transportation.....	2.30	-	3.16	-	-	1.67	-	2.25	1.11	.80	1.78	2.66	-
Not reported.....	.15	-	-	-	-	-	-	.36	-	-	-	.24	-
Household does not use.....	38.32	25.61	12.19	30.19	45.43	34.14	48.04	40.60	33.23	33.75	31.01	41.26	51.87
Not reported.....	.15	-	-	-	-	2.12	-	.12	-	-	.63	.06	-
No public transportation.....	32.00	65.85	65.07	42.04	28.05	3.86	23.70	29.96	41.48	29.35	.90	35.75	14.06
Not reported.....	.24	-	-	-	-	-	-	.17	.90	-	-	.39	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	89.58	89.22	93.84	65.44	87.58	65.09	100.00	88.45	90.04	88.39	82.79	90.57	94.05
Less than 1 mile.....	67.57	34.43	45.40	55.15	60.75	55.39	80.29	69.78	65.31	65.92	78.44	65.44	87.25
1 mile or more.....	21.79	54.78	48.44	10.29	26.83	9.70	19.71	18.67	22.88	22.46	4.35	24.87	6.79
Not reported.....	.21	-	-	-	-	-	-	-	1.86	-	-	.26	-
Unsatisfactory neighborhood shopping.....	9.99	10.78	6.16	34.56	12.42	33.89	-	11.04	8.95	11.61	16.60	8.91	5.95
Not reported or don't know.....	.43	-	-	-	-	1.02	-	.51	1.00	-	.82	.52	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 3-4. Neighborhood Quality—Renter Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Mod-erate								
<b>Total</b> .....	152.2	3.1	.9	2.7	9.3	32.0	5.6	24.1	47.0	43.7	74.6	53.5	10.1
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	45.48	48.62	27.01	63.28	56.76	43.38	41.00	40.22	47.32	51.43	48.81	38.63	58.97
Neighborhood crime.....	30.75	21.85	-	41.85	46.14	45.00	33.64	19.82	28.89	40.52	44.27	12.75	34.70
Any condition(s).....	56.00	61.70	27.01	70.81	71.87	61.11	52.78	47.10	58.04	65.50	63.58	43.74	70.48
Both conditions present.....	20.23	8.78	-	34.31	31.02	27.27	21.86	12.94	18.17	26.45	29.50	7.65	23.18
No conditions present.....	43.83	38.30	72.99	29.19	28.60	38.45	47.22	52.90	41.66	34.18	36.23	56.02	29.52
Not reported.....	.18	-	-	-	1.52	.44	-	-	.30	.32	.19	.24	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	20.68	13.89	-	28.17	34.63	17.97	29.21	12.01	22.62	24.47	22.46	17.45	23.67
Neighborhood crime.....	20.31	13.27	-	34.99	37.25	28.47	23.75	11.74	19.15	28.24	30.72	6.12	21.67
Unsatisfactory neighborhood shopping.....	13.05	8.58	27.01	23.09	24.70	26.51	4.08	12.99	13.52	18.08	17.72	7.88	9.58
Unsatisfactory public elementary school.....	3.57	4.29	-	-	4.35	3.16	7.25	-	4.63	4.85	5.04	2.05	5.75
Unsatisfactory public transportation.....	2.18	-	-	4.11	2.13	1.79	-	2.77	3.27	3.39	2.10	2.86	1.11
Any condition(s).....	42.17	31.45	27.01	60.87	64.99	51.32	42.20	32.03	44.35	51.67	51.20	28.89	47.37
Two or more conditions.....	13.93	4.29	-	24.18	28.19	19.79	20.12	6.16	14.03	19.98	20.33	6.64	12.23
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	8.62	5.31	-	19.89	24.48	10.25	9.50	4.19	9.25	9.98	10.25	5.64	12.61
Neighborhood crime.....	10.31	-	-	30.81	20.77	15.98	9.55	5.00	8.63	13.21	16.94	2.22	11.01
Unsatisfactory public elementary school.....	2.21	4.29	-	-	4.35	2.55	7.25	-	2.63	3.86	3.21	.97	4.56
Any condition(s).....	15.68	9.60	-	34.80	37.03	19.67	18.73	7.09	15.64	20.02	21.03	7.94	19.61
Two or more conditions.....	5.07	-	-	15.89	12.56	8.23	5.60	2.10	4.14	5.72	8.24	.89	7.49
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.34	-	-	-	1.52	.44	-	-	.61	.32	.19	.71	-
Neighborhood crime.....	.18	-	-	-	1.52	.44	-	-	.30	.32	.19	.24	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-18.....	32.88	20.94	50.65	31.90	45.47	44.61	46.10	-	37.13	44.17	32.78	31.97	38.06
Satisfactory public elementary school.....	24.97	16.64	50.65	25.27	32.22	37.59	34.71	-	23.62	34.13	22.60	25.72	29.84
Unsatisfactory public elementary school.....	3.57	4.29	-	-	4.35	3.16	7.25	-	4.63	4.85	5.04	2.05	5.75
So bothered they want to move.....	2.21	4.29	-	-	4.35	2.55	7.25	-	2.63	3.86	3.21	.97	4.56
Not reported.....	.07	-	-	-	-	-	-	-	-	-	.14	-	-
Not reported or don't know.....	4.34	-	-	6.63	8.90	3.67	4.13	-	8.89	5.19	5.15	4.20	2.49
Public elementary school less than 1 mile.....	19.39	4.29	27.01	4.11	30.98	29.30	32.16	-	19.77	29.51	22.43	15.02	28.50
Public elementary school 1 mile or more.....	12.60	16.64	23.64	27.80	13.41	14.50	13.93	-	14.75	14.18	9.68	15.34	9.58
Not reported.....	.89	-	-	-	1.07	.82	-	-	2.61	.50	.67	1.60	-
Households without children aged 0-18.....	67.12	79.06	49.35	68.10	54.53	55.39	53.90	100.00	62.87	55.83	67.22	68.03	61.92
Households with children aged 4-18.....	26.09	20.94	50.65	25.27	40.14	38.75	37.88	-	24.77	35.08	25.27	25.92	29.18
Attend public school (K-12).....	21.51	20.94	50.65	18.42	33.13	32.84	33.83	-	19.52	29.66	20.21	22.26	23.12
Attend private school (K-12).....	1.97	-	-	-	2.77	1.55	1.62	-	2.37	1.40	3.15	1.00	1.14
Attend ungraded school, preschool, etc.....	1.42	-	-	6.85	2.19	2.91	2.03	-	1.02	2.08	1.52	1.25	-
Does not attend school.....	1.35	-	-	-	2.04	1.51	2.03	-	2.30	2.87	.82	1.57	4.93
Not reported.....	.41	-	-	-	-	.34	-	-	.47	.52	.30	.44	-
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	84.25	74.25	24.19	96.05	82.47	97.70	87.63	82.65	86.06	91.47	98.63	72.97	89.02
Household uses it at least weekly.....	23.61	17.37	-	47.65	35.76	52.04	52.98	14.68	26.89	42.16	39.33	6.64	22.78
Satisfactory public transportation.....	22.99	17.37	-	47.65	35.76	49.76	52.98	14.68	25.36	41.38	38.35	6.24	22.78
Unsatisfactory public transportation.....	.52	-	-	-	-	1.79	-	-	1.19	.78	.77	.40	-
Not reported.....	.10	-	-	-	-	.49	-	-	.33	-	.21	-	-
Household uses it less than weekly.....	29.00	7.88	24.19	34.39	18.96	28.91	23.47	32.32	26.70	31.53	36.47	21.96	33.83
Satisfactory public transportation.....	27.07	7.98	24.19	30.28	16.83	26.42	23.47	29.55	24.27	28.70	34.93	19.02	32.72
Unsatisfactory public transportation.....	1.68	-	-	4.11	2.13	-	-	2.77	2.08	2.61	1.33	2.46	1.11
Not reported.....	.27	-	-	-	-	.49	-	-	.35	.22	.21	.48	-
Household does not use.....	31.38	49.02	-	14.01	27.75	16.75	11.19	35.65	32.01	17.78	22.48	44.17	32.41
Not reported.....	.25	-	-	-	-	-	-	-	.47	-	.36	.20	-
No public transportation.....	15.42	21.46	75.81	3.95	16.01	1.88	12.37	17.35	13.64	6.21	1.18	26.35	10.98
Not reported.....	.33	4.29	-	-	1.52	.44	-	-	.30	.32	.19	.68	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	86.08	78.54	72.99	78.91	72.38	72.54	95.82	84.94	85.11	81.02	80.69	91.87	90.42
Less than 1 mile.....	77.56	58.06	49.35	76.91	67.07	67.58	86.42	74.69	76.59	75.37	77.37	77.70	85.04
1 mile or more.....	8.38	22.48	23.64	-	5.29	4.97	9.50	10.25	8.62	5.65	3.32	13.78	5.37
Not reported.....	.14	-	-	-	-	-	-	-	-	-	-	.39	-
Unsatisfactory neighborhood shopping.....	13.05	8.58	27.01	23.09	24.70	26.51	4.08	12.99	13.52	18.08	17.72	7.68	9.58
Not reported or don't know.....	.87	12.88	-	-	2.94	.94	-	2.07	1.37	.92	1.59	.24	-

<sup>1</sup> See inside back cover.<sup>2</sup> Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 4-4. Neighborhood Quality—Occupied Units with Black Householder

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	<b>46.6</b>	<b>16.5</b>	<b>32.0</b>	<b>.9</b>	<b>-</b>	<b>1.3</b>	<b>3.0</b>	<b>6.0</b>	<b>11.3</b>	<b>17.0</b>	<b>40.6</b>	<b>2.6</b>	<b>4.1</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	43.95	45.04	43.38	43.06	...	59.42	62.04	39.75	39.28	47.79	45.46	14.87	53.94
Neighborhood crime.....	46.37	49.03	45.00	42.73	...	33.93	63.27	47.08	37.43	50.91	50.41	17.47	31.68
Any condition(s).....	62.19	64.29	61.11	57.16	...	59.42	70.37	55.72	55.97	69.34	65.62	26.38	62.32
Both conditions present.....	28.13	29.78	27.27	26.63	...	33.93	54.94	31.10	20.74	29.36	30.25	5.96	23.30
No conditions present.....	37.17	34.89	38.45	42.84	...	40.58	24.91	44.28	42.78	29.83	33.62	73.62	37.68
Not reported.....	.64	1.02	.44	-	...	-	4.72	-	1.25	.83	.78	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	21.07	27.07	17.97	14.32	...	19.31	30.97	22.76	15.55	21.32	22.52	5.96	19.18
Neighborhood crime.....	29.20	30.60	28.47	14.32	...	19.70	59.32	29.45	20.76	33.28	32.71	3.48	13.06
Unsatisfactory neighborhood shopping.....	29.02	33.89	26.51	14.32	...	47.93	53.67	42.67	28.48	28.04	32.28	13.53	14.23
Unsatisfactory public elementary school.....	2.90	2.40	3.16	-	...	-	13.96	-	3.55	4.69	2.81	-	6.42
Unsatisfactory public transportation.....	2.08	2.64	1.79	-	...	-	-	-	5.47	2.00	2.21	4.09	-
Any condition(s).....	54.34	60.19	51.32	14.32	...	64.89	76.53	62.51	48.04	59.26	58.16	21.10	46.72
Two or more conditions.....	21.54	24.93	19.79	14.32	...	11.02	43.62	22.36	18.12	22.34	24.39	5.96	6.17
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	11.35	13.47	10.25	14.32	...	19.31	26.15	15.98	7.59	14.21	12.00	-	12.49
Neighborhood crime.....	14.91	12.85	15.98	14.32	...	19.70	42.89	15.93	6.62	16.60	16.74	3.48	5.34
Unsatisfactory public elementary school.....	1.98	.87	2.55	-	...	-	13.96	-	2.79	3.55	2.08	-	2.79
Any condition(s).....	19.04	17.44	19.87	14.32	...	27.99	48.44	21.17	13.48	25.31	20.38	3.48	18.06
Two or more conditions.....	8.45	8.88	6.23	14.32	...	11.02	29.73	10.73	4.59	8.37	9.54	-	2.55
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.64	1.02	.44	-	...	-	4.72	-	1.25	.83	.78	-	-
Neighborhood crime.....	.64	1.02	.44	-	...	-	4.72	-	1.25	.83	.78	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	39.83	27.63	44.61	42.84	...	43.94	49.11	1.78	45.93	50.72	37.17	34.86	54.36
Satisfactory public elementary school.....	31.84	20.71	37.59	28.42	...	43.94	26.48	1.78	34.89	42.39	30.08	29.74	47.94
Unsatisfactory public elementary school.....	2.90	2.40	3.16	-	...	-	13.96	-	3.55	4.69	2.81	-	6.42
So bothered they want to move.....	1.98	.87	2.55	-	...	-	13.96	-	2.79	3.55	2.08	-	2.79
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	-
Not reported or don't know.....	4.09	4.52	3.87	14.42	...	-	8.67	-	7.50	3.65	4.28	5.12	-
Public elementary school less than 1 mile.....	23.97	13.65	29.30	14.10	...	6.52	39.47	1.78	30.91	32.71	23.43	15.29	38.73
Public elementary school 1 mile or more.....	13.29	10.96	14.50	28.74	...	35.42	9.64	-	12.70	16.95	11.87	19.57	15.63
Not reported.....	1.57	3.02	.82	-	...	-	-	-	2.33	1.06	1.87	-	-
Households without children aged 0-16.....	61.17	72.37	55.39	57.16	...	56.06	50.89	98.24	54.07	49.28	62.83	65.14	45.64
Households with children aged 4-16.....	34.17	25.28	38.75	28.42	...	43.94	49.11	-	33.68	45.12	33.50	25.73	41.38
Attend public school (K-12).....	28.45	19.93	32.84	28.42	...	29.71	41.08	-	26.33	39.15	27.92	21.94	34.59
Attend private school (K-12).....	2.16	3.34	1.55	-	...	-	4.72	-	3.17	-	2.17	-	4.09
Attend ungraded school, preschool, etc.....	1.92	-	2.91	-	...	14.23	3.31	-	.88	3.15	1.73	3.78	-
Does not attend school.....	1.00	-	1.51	-	...	-	-	-	3.30	1.89	.51	-	6.79
Not reported.....	1.25	3.02	.34	-	...	-	-	-	-	1.70	1.49	-	-
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	97.17	96.14	97.70	85.58	...	100.00	95.28	98.19	95.60	98.56	98.96	90.90	97.33
Household uses it at least weekly.....	43.41	28.70	52.04	28.42	...	74.35	62.47	16.12	55.35	62.95	47.93	15.14	22.78
Satisfactory public transportation.....	41.58	25.74	49.76	28.42	...	74.35	62.47	16.12	48.48	60.95	45.74	15.14	22.78
Unsatisfactory public transportation.....	1.51	.97	1.79	-	...	-	-	-	5.47	2.00	1.80	-	-
Not reported.....	.32	-	.49	-	...	-	-	-	1.40	-	.39	-	-
Household uses it less than weekly.....	30.36	33.17	28.91	28.63	...	25.65	12.62	45.36	24.33	28.77	31.48	22.25	32.66
Satisfactory public transportation.....	29.47	31.51	26.42	28.63	...	25.65	12.62	45.36	24.33	28.77	30.67	18.18	32.66
Unsatisfactory public transportation.....	.57	1.67	-	-	...	-	-	-	-	-	.41	4.09	-
Not reported.....	.33	-	.49	-	...	-	-	-	-	-	.39	-	-
Household does not use.....	22.67	34.14	16.75	28.53	...	-	20.19	38.71	15.92	6.85	18.70	53.52	41.89
Not reported.....	.72	2.12	-	-	...	-	-	-	-	-	.86	-	-
No public transportation.....	2.54	3.66	1.86	14.42	...	-	-	1.81	3.15	.61	.70	9.10	2.67
Not reported.....	.29	-	.44	-	...	-	4.72	-	1.25	.83	.35	-	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	70.01	65.09	72.54	65.66	...	52.07	41.61	57.33	70.27	71.13	66.56	88.47	85.77
Less than 1 mile.....	63.43	55.39	67.58	71.37	...	52.07	38.03	46.91	67.27	66.21	60.54	80.35	75.70
1 mile or more.....	6.58	9.70	4.97	14.32	...	-	3.58	10.42	2.99	4.93	6.02	6.12	10.07
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	-
Unsatisfactory neighborhood shopping.....	29.02	33.89	26.51	14.32	...	47.93	53.67	42.67	28.48	28.04	32.28	13.53	14.23
Not reported or don't know.....	.97	1.02	.94	-	...	-	4.72	-	1.25	.83	1.16	-	-

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.



**Table 6-1. General Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
Total .....	---	443.9	290.9	153.0	---	---	6.0	2.3	3.7	---
<b>Race and Origin</b>										
White .....	---	396.3	273.3	123.0	---	---	4.3	1.8	2.5	---
Non-Hispanic .....	---	391.9	272.0	119.9	---	---	4.1	1.8	2.3	---
Hispanic .....	---	4.4	1.3	3.1	---	---	.2	-	.2	---
Black .....	---	42.1	15.1	26.9	---	---	1.7	.5	1.2	---
Other .....	---	5.5	2.5	3.0	---	---	-	-	-	---
Total Hispanic .....	---	6.1	1.9	4.2	---	---	.2	-	.2	---
<b>Persons Per Room</b>										
0.50 or less .....	---	312.0	201.9	110.1	---	---	3.8	1.7	2.1	---
0.51 to 1.00 .....	---	127.9	88.2	41.7	---	---	2.2	.6	1.6	---
1.01 to 1.50 .....	---	3.5	2.5	1.0	---	---	-	-	-	---
1.51 or more .....	---	.5	.3	.2	---	---	-	-	-	---
<b>Selected Subareas<sup>2</sup></b>										
Area one .....	---	134.6	60.1	74.5	---	---	3.7	1.4	2.2	---
Area two .....	---	228.7	175.7	52.9	---	---	1.3	.6	.7	---
Area three .....	---	26.6	15.7	10.8	---	---	.4	-	.4	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

<sup>2</sup>See inside back cover for details.

Table 6-2. Quality Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	474.5	443.9	290.9	153.0	30.6	7.8	6.0	2.3	3.7	1.8
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	1.5	1.2	.6	.8	.3	.5	.2	-.2	-.1	.3
Missing roofing material .....	2.7	2.0	.9	1.1	.7	.3	-.1	-.1	-.1	.3
Hole in roof .....	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
Could not see roof .....	7.5	6.5	1.3	5.2	1.0	.3	-.1	-.1	-.1	-.1
Missing bricks, siding, other outside wall material .....	16.4	11.9	4.3	7.6	4.5	1.0	.6	.2	.4	.5
Sloping outside walls .....	4.0	3.1	.3	2.8	.9	.5	.3	.2	.1	.1
Boarded up windows .....	11.0	6.1	1.1	5.0	4.8	1.7	.6	.2	.6	1.0
Broken windows .....	12.3	9.2	2.6	6.6	3.2	1.5	.6	-.1	.6	1.0
Bars on windows .....	2.3	1.9	.8	1.0	.4	.1	-.1	-.1	-.1	.1
Foundation crumbling or has open crack or hole .....	6.4	5.1	2.3	2.7	1.3	.4	.1	-.1	.1	.3
Could not see foundation .....	2.0	1.6	.4	1.4	.2	-.1	-.1	-.1	-.1	-.1
None of the above .....	412.8	392.2	262.1	130.0	20.6	5.1	4.4	1.7	2.6	.7
Could not observe or not reported .....	20.3	20.0	17.5	2.5	.3	-.1	-.1	-.1	-.1	-.1
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	308.2	295.7	220.5	75.2	12.6	4.2	3.6	1.9	1.7	.6
Not reported .....	.5	.2	.2	-.1	.3	-.1	-.1	-.1	-.1	-.1
Usable fireplace .....	97.3	95.3	86.3	9.0	2.0	.4	.4	.4	-.1	-.1
Separate dining room .....	260.5	249.0	184.5	64.5	11.6	4.4	3.9	2.0	1.9	.5
With 2 or more living rooms or recreation rooms, etc. ....	126.2	123.7	111.3	12.4	2.5	1.2	1.2	1.0	.2	-.1
Garage or carport included with home .....	267.8	263.4	230.5	32.9	4.4	1.2	1.2	.9	.4	-.1
Garage or carport not included .....	196.8	179.7	60.0	119.7	17.1	5.6	4.8	1.4	3.4	.8
Offstreet parking included .....	130.6	120.8	43.7	77.1	9.8	2.3	2.0	.6	1.4	.3
Offstreet parking not reported .....	2.5	2.4	.4	1.9	.1	-.1	-.1	-.1	-.1	-.1
Garage or carport not reported .....	.8	.8	.4	.4	-.1	-.1	-.1	-.1	-.1	-.1
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	-.1	5.2	2.9	2.3	-.1	-.1	.1	.1	-.1	-.1
Holes in floors .....	3.3	2.5	1.1	1.4	.8	.4	.3	-.1	.3	.1
Open cracks or holes (interior) .....	22.5	19.2	9.2	9.9	3.4	1.6	.9	-.1	.9	.6
Broken plaster or peeling paint (interior) .....	19.1	15.7	7.9	7.8	3.4	1.2	.8	-.1	.8	.6
No electrical wiring .....	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
Exposed wiring .....	13.0	10.9	5.0	6.0	2.1	1.3	1.0	.4	.8	.3
Rooms without electric outlets .....	11.2	9.4	3.7	5.8	1.7	1.1	.7	.1	.8	.4
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	10.5	9.5	4.7	4.8	1.0	-.1	-.1	-.1	-.1	-.1
About the same .....	368.2	344.0	220.2	123.7	24.2	6.7	5.3	2.0	3.3	1.4
Newer .....	8.0	7.3	5.5	1.9	.7	.4	.3	.2	.1	.1
Very mixed .....	56.5	53.1	36.3	16.8	3.4	.5	.3	.1	.1	.3
No other residential buildings .....	10.1	9.5	6.2	3.2	.8	-.1	-.1	-.1	-.1	-.1
Not reported .....	21.3	20.6	18.0	2.6	.7	.1	.1	-.1	.1	-.1
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	425.7	400.9	263.2	137.7	24.9	6.2	5.2	2.3	2.9	1.0
1 Building .....	6.4	7.0	2.2	4.8	1.4	.3	.2	-.1	.2	.1
More than 1 building .....	11.5	6.3	2.1	6.2	3.2	1.3	.7	-.1	.7	.6
No buildings within 300 feet .....	6.1	6.0	5.1	.8	.1	-.1	-.1	-.1	-.1	-.1
Not reported .....	22.7	21.8	18.3	3.5	.9	-.1	-.1	-.1	-.1	-.1
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet .....	445.6	416.1	267.4	148.7	29.5	7.8	6.0	2.3	3.7	1.8
No bars on windows .....	413.7	389.4	256.5	132.8	24.4	6.3	5.2	2.1	3.1	1.1
1 building with bars .....	11.4	9.3	4.5	4.8	2.0	.3	.1	-.1	.1	.1
2 or more buildings with bars .....	18.6	15.5	5.3	10.1	3.1	1.3	.7	.2	.5	.6
Not reported .....	1.9	1.9	1.1	.9	-.1	-.1	-.1	-.1	-.1	-.1
<b>Conditions of Streets</b>										
No repairs needed .....	308.1	293.5	202.9	90.6	14.6	3.0	2.9	.9	2.0	.1
Minor repairs needed .....	127.9	114.3	61.9	52.5	13.6	3.9	2.5	1.2	1.2	1.4
Major repairs needed .....	13.0	11.6	5.3	6.3	1.3	.9	.6	.2	.4	.3
No streets within 300 feet .....	4.1	3.7	2.6	1.1	.4	-.1	-.1	-.1	-.1	-.1
Not reported .....	21.4	20.7	18.2	2.5	.7	-.1	-.1	-.1	-.1	-.1
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	355.5	339.9	236.7	103.2	15.6	3.2	3.0	1.3	1.8	.2
Minor accumulation .....	86.9	74.6	32.4	42.2	12.3	3.7	2.3	1.0	1.2	1.5
Major accumulation .....	11.2	9.2	4.2	5.0	2.0	.8	.7	-.1	.7	.1
Not reported .....	20.6	20.2	17.6	2.5	.7	-.1	-.1	-.1	-.1	-.1

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	443.9	290.9	153.0			6.0	2.3	3.7		
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100.....	2.2	1.2	1.0			—	—	—		
\$100 to \$199.....	39.4	26.6	12.8			1.0	.4	.6		
\$200 to \$249.....	52.5	35.1	17.4			1.7	.9	.8		
\$250 to \$299.....	54.8	32.0	22.8			.5	—	.5		
\$300 to \$349.....	49.2	22.9	26.3			.4	—	.4		
\$350 to \$399.....	43.9	20.5	23.4			.8	.1	.7		
\$400 to \$449.....	38.8	21.2	17.6			1.0	.3	.7		
\$450 to \$499.....	29.9	17.4	12.5			—	—	—		
\$500 to \$599.....	34.1	26.1	8.0			.2	.2	—		
\$600 to \$699.....	23.0	20.3	2.7			.1	.1	—		
\$700 to \$799.....	18.0	15.0	.9			—	—	—		
\$800 to \$999.....	13.0	12.4	.6			—	—	—		
\$1000 to \$1249.....	5.4	5.1	.3			—	—	—		
\$1250 to \$1499.....	5.0	4.9	.1			—	—	—		
\$1500 or more.....	3.7	3.5	.2			—	—	—		
No cash rent.....	6.4	—	6.4			.1	—	.1		
Mortgage payment not reported.....	28.6	26.6	—			.3	.3	—		
Median (excludes no cash rent).....	358	385	337			267	—	291		
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs.....	—	409	—			—	—	—		
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	—	381	—			—	—	—		
<b>Rent Reductions</b>										
No subsidy or income reporting.....	—	—	130.8			—	—	—		
Rent control.....	—	—	1.4			—	—	—		
No rent control.....	—	—	129.3			—	—	—		
Reduced by owner.....	—	—	11.9			—	—	—		
Not reduced by owner.....	—	—	117.1			—	—	—		
Owner reduction not reported.....	—	—	.3			—	—	—		
Rent control not reported.....	—	—	—			—	—	—		
Owned by public housing authority.....	—	—	6.2			—	—	—		
Other, Federal subsidy.....	—	—	7.5			—	—	—		
Other, State or local subsidy.....	—	—	5.4			—	—	—		
Other, income verification.....	—	—	1.3			—	—	—		
Subsidy or income verification not reported.....	—	—	1.9			—	—	—		
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	443.9	290.9	153.0			6.0	2.3	3.7		
<b>Household Income</b>										
Less than \$5,000.....	27.6	6.7	20.9			1.1	.3	.8		
\$5,000 to \$9,999.....	63.1	26.1	37.0			1.5	.5	1.0		
\$10,000 to \$14,999.....	48.3	26.8	19.5			.5	.2	.4		
\$15,000 to \$19,999.....	41.9	24.5	17.4			.7	.3	.4		
\$20,000 to \$24,999.....	42.8	25.0	17.8			.4	.1	.3		
\$25,000 to \$29,999.....	44.3	30.6	13.6			.4	—	.4		
\$30,000 to \$34,999.....	33.9	26.3	7.6			—	—	—		
\$35,000 to \$39,999.....	30.3	24.2	6.0			—	—	—		
\$40,000 to \$49,999.....	46.7	39.8	6.9			.9	.3	.6		
\$50,000 to \$59,999.....	29.6	25.6	4.0			.4	.4	—		
\$60,000 to \$79,999.....	23.4	21.9	1.5			—	—	—		
\$80,000 to \$99,999.....	6.5	6.3	.2			—	—	—		
\$100,000 to \$119,999.....	3.8	3.3	.4			.2	.2	—		
\$120,000 or more.....	3.9	3.8	.1			—	—	—		
Median.....	25 024	31 084	14 775			14 088	—	11 152		
<b>As percent of poverty level:</b>										
Less than 50 percent.....	14.5	3.6	10.8			.6	—	.6		
50 to 99.....	41.4	12.0	29.4			1.2	.5	.7		
100 to 149.....	49.0	24.8	24.2			.9	.3	.6		
150 to 199.....	46.8	29.3	17.5			.7	.3	.4		
200 percent or more.....	292.2	221.2	71.1			2.6	1.2	1.5		
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000.....	30.0	7.6	22.4			1.2	.3	.9		
\$5,000 to \$9,999.....	66.1	27.6	38.6			1.3	.5	.8		
\$10,000 to \$14,999.....	46.9	26.8	20.1			.7	.2	.5		
\$15,000 to \$19,999.....	43.4	24.3	19.2			.8	.3	.5		
\$20,000 to \$24,999.....	42.2	25.1	17.0			.4	.1	.3		
\$25,000 to \$29,999.....	44.3	31.7	12.5			.3	—	.3		
\$30,000 to \$34,999.....	33.4	26.1	7.3			—	—	—		
\$35,000 to \$39,999.....	28.6	23.6	5.0			—	—	—		
\$40,000 to \$49,999.....	45.2	39.5	5.7			.8	.3	.4		
\$50,000 to \$59,999.....	27.7	24.6	3.1			.4	.4	—		
\$60,000 to \$79,999.....	22.4	21.1	1.3			—	—	—		
\$80,000 to \$99,999.....	6.2	5.9	.3			—	—	—		
\$100,000 to \$119,999.....	3.5	3.3	.3			.2	.2	—		
\$120,000 or more.....	3.9	3.8	.1			—	—	—		
Median.....	24 208	30 464	13 855			13 368	—	10 876		

**Table 6-3. Financial Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994--Con.**

(Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.)

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	...	...	290.9	...	...	...	...	2.3	...	...
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	...	...	6.9	...	...	...	...	5	...	...
\$10,000 to \$19,999 .....	...	...	15.6	...	...	...	...	4	...	...
\$20,000 to \$29,999 .....	...	...	17.8	...	...	...	...	2	...	...
\$30,000 to \$39,999 .....	...	...	26.1	...	...	...	...	4	...	...
\$40,000 to \$49,999 .....	...	...	39.2	...	...	...	...	2	...	...
\$50,000 to \$59,999 .....	...	...	41.7	...	...	...	...	2	...	...
\$60,000 to \$69,999 .....	...	...	45.7	...	...	...	...	2	...	...
\$70,000 to \$79,999 .....	...	...	31.2	...	...	...	...	3	...	...
\$80,000 to \$99,999 .....	...	...	35.0	...	...	...	...	2	...	...
\$100,000 to \$119,999 .....	...	...	11.3	...	...	...	...	1	...	...
\$120,000 to \$149,999 .....	...	...	9.7	...	...	...	...	1	...	...
\$150,000 to \$199,999 .....	...	...	6.0	...	...	...	...	1	...	...
\$200,000 to \$249,999 .....	...	...	2.8	...	...	...	...	1	...	...
\$250,000 to \$299,999 .....	...	...	.8	...	...	...	...	1	...	...
\$300,000 or more .....	...	...	.9	...	...	...	...	1	...	...
Time shared units .....	...	...	-	...	...	...	...	1	...	...
Median .....	...	...	59 552	...	...	...	...	...	...	...

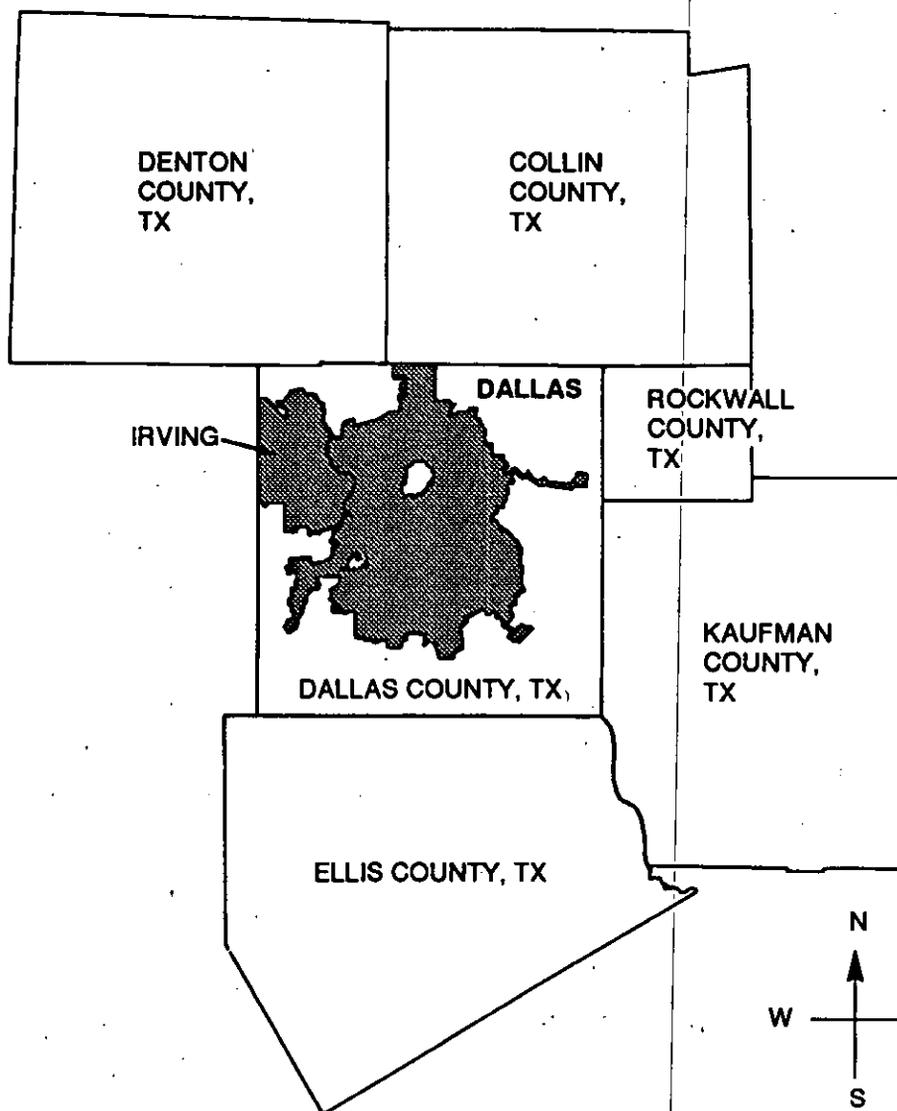
<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

# Primary Metropolitan Statistical Area



## Dallas, Texas



 Central Cities of this PMSA  
 County Line

0 5 10 15 20 Miles

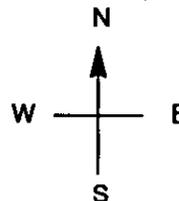


Table 1-1. General Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households											
		Married couple						Male householder, no wife present					
		Total	With own children under 18			Race of householder		Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin
			Total	Total	Total	White	Black			Total	Total	Race of householder	
White	Black												
1 Total	1 041.1	739.1	556.2	290.2	232.6	30.5	54.8	49.8	19.4	15.2	1.5	2.8	
<b>Tenure</b>													
2 Owner occupied	590.9	493.4	410.1	201.9	169.1	16.6	25.3	28.3	12.1	10.0	.5	1.0	
3 Percent of all occupied	58.8	66.8	73.7	69.6	72.7	54.4	46.3	56.8	62.4	65.6	34.5	37.4	
4 Renter occupied	450.2	245.7	146.1	88.2	63.5	13.9	29.4	21.5	7.3	5.2	1.0	1.7	
<b>Units in Structure</b>													
5 1, detached	634.5	531.0	434.8	220.8	185.8	18.9	30.3	30.4	13.8	11.5	1.0	1.0	
6 1, attached	27.3	15.4	11.4	6.2	4.0	.8	.8	.6	—	—	—	—	
7 2 to 4	58.8	33.6	21.5	13.8	10.0	2.2	6.5	2.4	.8	.2	—	.5	
8 5 to 9	98.7	59.8	27.4	15.7	9.4	4.1	4.1	7.0	2.9	2.3	.8	1.5	
9 10 to 19	122.4	47.7	23.8	10.1	5.8	1.5	5.3	4.8	1.5	1.2	.8	1.7	
10 20 to 49	56.8	20.1	10.3	6.5	3.7	1.5	4.1	3.2	.5	—	—	.5	
11 50 or more	9.9	3.7	2.5	1.4	.5	—	.5	.3	—	—	—	—	
12 Mobile home or trailer	34.8	27.8	24.5	15.8	13.7	1.4	3.2	1.1	—	—	—	—	
<b>Year Structure Built<sup>1</sup></b>													
13 1990 to 1994	88.3	65.5	56.0	33.8	28.2	4.3	2.3	3.2	1.7	1.7	—	.3	
14 1985 to 1989	143.1	97.0	76.8	48.9	38.3	6.1	4.6	5.5	2.3	2.0	—	—	
15 1980 to 1984	184.4	123.0	90.5	44.2	32.8	6.6	5.7	9.8	3.8	2.7	.8	—	
16 1975 to 1979	118.3	86.9	71.1	38.0	31.4	3.1	6.4	5.1	3.1	2.2	1.3	.8	
17 1970 to 1974	106.2	75.1	51.9	28.8	22.9	2.6	4.8	4.8	.5	.5	—	—	
18 1960 to 1969	192.8	143.8	106.2	49.0	38.5	4.1	12.7	11.7	4.1	2.7	1.3	1.3	
19 1950 to 1959	105.2	80.4	56.2	27.2	21.7	2.8	8.1	3.6	1.3	.9	.2	.2	
20 1940 to 1949	52.7	36.1	24.6	12.5	9.1	.3	6.4	3.3	.5	.5	—	—	
21 1930 to 1939	35.1	21.8	15.5	7.8	5.5	.5	3.8	1.4	.7	.7	—	.2	
22 1920 to 1929	8.8	6.2	4.7	2.7	2.7	—	.3	1.6	1.4	1.4	—	—	
23 1919 or earlier	6.1	3.8	2.9	1.5	1.5	—	—	—	—	—	—	—	
24 Median	1976	1975	1976	1977	1977	1981	1967	1974	1977	1977	—	—	
<b>Age of Householder</b>													
25 Under 25 years	72.7	41.0	22.3	13.2	8.8	2.8	5.0	5.7	1.2	1.2	—	—	
26 25 to 29	123.9	80.7	58.7	37.2	28.4	4.9	14.2	6.2	2.9	1.8	.6	—	
27 30 to 34	142.8	99.5	76.3	60.2	45.2	8.2	13.0	6.1	3.6	2.6	.6	.5	
28 35 to 44	273.4	221.5	168.9	132.2	111.6	10.9	15.1	14.6	8.6	7.1	.3	1.2	
29 45 to 54	178.0	138.9	108.3	42.2	34.9	3.3	6.1	8.6	7.1	.3	.3	1.0	
30 55 to 64	110.1	77.2	62.0	4.5	3.6	.3	1.3	3.8	.3	.3	—	—	
31 65 to 74	78.2	51.4	39.8	.7	.7	—	—	3.8	—	—	—	—	
32 75 years and over	59.9	28.9	19.9	—	—	—	—	2.6	—	—	—	—	
33 Median	42	42	42	38	38	35	33	40	37	38	—	—	
<b>Persons 65 Years Old and Over</b>													
34 None	881.8	638.7	482.7	283.9	227.8	30.3	53.7	42.0	19.2	15.0	1.5	2.6	
35 1 person	107.1	48.2	27.5	4.1	3.0	.2	1.1	4.4	.2	.2	—	.2	
36 2 persons or more	52.2	52.2	45.9	2.2	1.8	—	—	3.4	—	—	—	—	
<b>Persons</b>													
37 1 person	254.8	—	—	—	—	—	—	—	—	—	—	—	
38 2 persons	321.6	283.4	196.8	—	—	—	—	23.6	3.6	3.0	.2	—	
39 3 persons	190.0	183.7	135.2	87.8	73.6	8.8	13.7	12.1	6.6	5.5	.3	1.8	
40 4 persons	161.0	158.4	129.5	115.7	91.3	12.1	18.1	8.0	5.7	4.2	.6	.2	
41 5 persons	77.6	77.3	64.7	60.9	49.5	7.4	13.2	4.4	2.4	1.4	.4	.6	
42 6 persons	23.9	23.9	19.2	16.9	11.1	1.6	7.0	1.5	.8	.8	—	—	
43 7 persons or more	12.4	12.4	10.7	9.0	7.2	.5	2.6	.2	.2	.2	—	.2	
44 Median	2.3	3.0	3.1	4.0	4.0	4.0	4.3	2.8	3.4	3.3	—	—	
<b>Rooms</b>													
45 1 room	1.3	—	—	—	—	—	—	—	—	—	—	—	
46 2 rooms	8.9	2.0	1.3	1.1	.8	—	1.1	—	—	—	—	—	
47 3 rooms	98.9	26.3	17.8	7.4	4.5	.4	4.4	3.2	.7	.5	—	.5	
48 4 rooms	169.9	92.5	58.6	30.0	21.7	3.7	11.7	7.3	2.8	2.0	.3	.9	
49 5 rooms	213.2	152.8	97.5	54.8	39.6	8.8	16.5	14.4	4.9	3.7	.2	.7	
50 6 rooms	210.5	167.2	129.3	64.0	50.8	7.5	11.4	10.4	3.7	2.5	.2	.2	
51 7 rooms	144.8	123.2	99.2	47.4	39.2	4.7	5.3	6.5	3.4	3.0	.4	.5	
52 8 rooms	113.3	101.0	89.1	47.7	41.1	4.5	2.3	5.1	2.6	2.3	.3	—	
53 9 rooms	41.7	38.4	33.2	21.0	20.2	.3	1.2	1.8	.5	.5	—	—	
54 10 rooms or more	38.5	35.5	32.1	16.8	14.8	.8	1.0	1.3	.8	.8	—	.3	
55 Median	5.6	6.1	6.3	6.3	6.5	5.8	5.1	5.5	5.9	6.1	—	—	
<b>Persons Per Room</b>													
56 0.50 or less	718.3	431.2	324.7	94.1	82.7	8.2	5.0	28.7	7.5	6.6	.5	.5	
57 0.51 to 1.00	281.4	276.8	207.4	174.7	135.6	20.4	37.5	19.9	11.5	8.4	1.0	1.8	
58 1.01 to 1.50	25.2	25.0	19.0	17.2	11.2	1.7	8.9	1.2	.5	.2	—	.5	
59 1.51 or more	6.2	6.2	5.1	4.2	3.1	.2	3.4	—	—	—	—	—	

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.



**Table 1-2. Financial Characteristics by Family Type—Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18				Total	With own children under 18				
			Total	Race of householder		Hhldr of Hispanic origin		Total	Race of householder		Hhldr of Hispanic origin	
Total	White			Black	Total				White	Black		
<b>1 Total</b> .....	<b>1 041.1</b>	<b>739.1</b>	<b>556.2</b>	<b>290.2</b>	<b>232.6</b>	<b>30.5</b>	<b>54.8</b>	<b>49.8</b>	<b>19.4</b>	<b>15.2</b>	<b>1.5</b>	<b>2.8</b>
<b>Household Income</b>												
2 Less than \$5,000 .....	31.4	16.7	6.0	3.0	1.5	.3	2.1	1.0	.8	.6	.2	.1
3 \$5,000 to \$9,999 .....	67.7	31.8	12.9	4.9	4.1	-	3.3	1.9	.7	.7	.2	.2
4 \$10,000 to \$14,999 .....	68.1	40.3	25.4	18.1	11.4	1.9	6.2	3.0	.7	.2	.2	.2
5 \$15,000 to \$19,999 .....	76.1	46.0	23.7	11.2	7.3	2.4	5.2	4.9	1.4	.5	.3	.5
6 \$20,000 to \$24,999 .....	80.0	47.5	28.7	16.1	10.4	2.0	6.2	3.1	.8	.5	.3	.5
7 \$25,000 to \$29,999 .....	92.5	55.1	37.1	20.5	11.7	4.2	7.9	6.7	1.8	.8	.1	.8
8 \$30,000 to \$34,999 .....	73.3	43.2	29.6	18.1	13.1	1.8	3.3	4.6	2.5	2.5	.1	.5
9 \$35,000 to \$39,999 .....	62.1	44.0	31.5	18.5	13.0	2.7	4.2	2.5	1.2	.9	.1	.9
10 \$40,000 to \$49,999 .....	101.7	73.2	54.9	28.5	22.5	2.5	6.3	7.0	2.7	2.4	.1	.8
11 \$50,000 to \$59,999 .....	100.4	84.2	70.1	36.6	30.1	5.5	3.8	4.7	2.0	.9	.4	.8
12 \$60,000 to \$79,999 .....	116.5	102.2	91.1	51.4	43.8	3.9	4.3	4.8	1.4	1.1	.1	.8
13 \$80,000 to \$99,999 .....	68.0	62.3	55.6	27.1	24.5	2.0	1.4	2.6	1.5	1.5	.1	.8
14 \$100,000 to \$119,999 .....	28.1	24.1	22.5	8.7	8.1	.3	-	.9	.3	.3	.1	.3
15 \$120,000 or more .....	75.4	68.5	65.1	33.6	31.1	1.1	.8	3.1	1.6	1.3	.3	.3
16 <b>Median</b> .....	<b>37 544</b>	<b>48 148</b>	<b>53 749</b>	<b>53 348</b>	<b>57 071</b>	<b>40 072</b>	<b>27 790</b>	<b>38 580</b>	<b>39 000</b>	<b>39 490</b>	<b>1 3</b>	<b>1 3</b>
<b>As percent of poverty level:</b>												
17 Less than 50 percent .....	34.5	24.1	11.4	5.6	3.7	.3	4.3	1.5	1.0	.8	.2	.4
18 50 to 99 .....	69.1	46.6	26.0	17.9	13.2	1.9	8.2	1.8	.9	.6	.2	.4
19 100 to 149 .....	84.6	58.5	32.8	22.5	14.3	3.3	10.6	6.8	2.4	1.2	.3	1.0
20 150 to 199 .....	67.2	63.0	40.6	26.2	15.8	5.5	7.5	3.7	.8	.8	.1	.8
21 200 percent or more .....	765.6	549.0	445.4	218.0	185.7	19.5	24.2	36.0	14.4	11.8	.8	1.3
<b>Monthly Housing Costs</b>												
22 Less than \$100 .....	5.0	4.0	.5	-	-	-	-	.6	-	-	-	-
23 \$100 to \$199 .....	31.7	17.9	9.8	2.1	1.3	.6	.4	1.6	.3	-	-	-
24 \$200 to \$249 .....	31.3	21.8	14.8	4.6	3.5	-	1.4	1.1	.2	.2	-	-
25 \$250 to \$299 .....	34.1	21.8	15.9	3.4	2.5	-	1.4	2.1	.7	.2	.2	-
26 \$300 to \$349 .....	54.6	31.8	23.9	8.8	6.3	1.7	5.1	1.6	.5	.2	.2	-
27 \$350 to \$399 .....	64.6	38.7	25.9	10.5	6.8	.9	4.5	4.3	.5	.2	.2	-
28 \$400 to \$449 .....	60.8	36.7	22.1	8.8	6.5	.6	4.8	4.1	1.8	1.5	.1	.7
29 \$450 to \$499 .....	71.3	40.3	27.8	12.7	9.9	1.3	4.3	3.5	1.0	.8	.1	.8
30 \$500 to \$599 .....	122.5	78.9	49.9	23.4	18.3	1.6	7.7	6.3	2.9	2.5	.3	.3
31 \$600 to \$699 .....	99.1	67.9	49.3	26.1	18.7	5.8	8.2	4.5	1.2	.8	.1	.8
32 \$700 to \$799 .....	74.6	53.5	40.9	25.8	20.4	4.8	2.2	3.2	2.2	2.2	.1	.8
33 \$800 to \$999 .....	121.1	96.7	78.3	45.6	38.4	4.8	4.4	4.7	2.2	1.5	.4	.4
34 \$1,000 to \$1,249 .....	94.9	80.6	69.1	43.2	35.8	4.3	3.0	3.3	2.3	1.9	.1	.8
35 \$1,250 to \$1,499 .....	48.8	40.8	34.2	18.4	17.4	.7	1.4	3.0	.5	.2	.1	.2
36 \$1,500 or more .....	68.0	62.8	58.4	31.3	29.0	.2	.8	3.5	1.9	1.5	.3	.2
37 No cash rent .....	14.3	8.5	5.0	3.8	3.0	.2	1.4	.5	-	-	-	-
38 Mortgage payment not reported .....	48.3	38.6	32.2	19.6	15.1	3.0	3.7	1.8	1.3	1.3	.1	.8
39 <b>Median (excludes no cash rent)</b> .....	<b>614</b>	<b>663</b>	<b>748</b>	<b>622</b>	<b>669</b>	<b>728</b>	<b>537</b>	<b>577</b>	<b>703</b>	<b>720</b>	<b>1 3</b>	<b>1 3</b>
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs .....	619	853	887	989	1 021	858	703	768	1 026	1 002	-	-
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs .....	770	808	838	949	974	840	675	742	861	893	-	-
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>												
42 Less than 5 percent .....	14.8	12.7	10.4	2.6	2.6	-	-	1.7	.3	.3	-	-
43 5 to 9 percent .....	94.5	71.2	61.3	18.1	16.6	.7	2.3	4.8	.8	.1	-	.5
44 10 to 14 percent .....	130.2	107.3	91.6	35.7	32.4	1.8	4.3	4.7	1.1	1.1	-	.5
45 15 to 19 percent .....	192.9	145.1	117.1	66.0	52.7	6.1	8.2	9.7	4.3	3.6	.8	.8
46 20 to 24 percent .....	180.1	107.0	85.0	55.1	42.6	8.1	10.0	6.7	3.5	2.9	.8	.8
47 25 to 29 percent .....	114.6	79.6	53.8	30.3	24.5	3.5	6.4	6.1	2.9	2.3	.1	.8
48 30 to 34 percent .....	73.1	47.4	32.1	17.8	12.4	3.5	4.4	3.6	1.0	.3	.1	.8
49 35 to 39 percent .....	52.5	32.1	18.8	10.4	8.2	1.0	1.9	4.2	1.7	1.7	.1	.8
50 40 to 49 percent .....	53.9	35.7	22.6	14.5	10.9	1.1	3.6	2.0	1.0	.7	.2	.8
51 50 to 59 percent .....	33.7	17.2	10.0	8.5	4.1	.5	2.6	1.1	-	-	-	.8
52 60 to 69 percent .....	19.2	11.3	6.3	5.2	4.3	.4	3.6	1.0	-	-	-	.8
53 70 to 99 percent .....	19.6	11.2	4.7	1.7	1.2	.3	.8	.8	.5	.5	.1	.8
54 100 percent or more .....	24.2	9.9	4.3	1.6	1.2	.1	.8	1.1	.9	.8	.3	.8
55 Zero or negative income .....	7.5	4.4	3.0	1.1	.8	.3	.8	.2	.2	.2	.1	.8
56 No cash rent .....	14.3	8.5	5.0	3.8	3.0	.2	1.4	.5	-	-	-	.8
57 Mortgage payment not reported .....	46.3	38.6	32.2	19.6	15.1	3.0	3.7	1.8	1.3	1.3	.1	.8
58 <b>Median (excludes 3 previous lines)</b> .....	<b>22</b>	<b>20</b>	<b>19</b>	<b>21</b>	<b>20</b>	<b>23</b>	<b>25</b>	<b>22</b>	<b>23</b>	<b>23</b>	<b>1 3</b>	<b>1 3</b>
59 <b>Median (excludes 4 lines before medians)</b> .....	<b>22</b>	<b>20</b>	<b>19</b>	<b>21</b>	<b>20</b>	<b>23</b>	<b>25</b>	<b>22</b>	<b>23</b>	<b>23</b>	<b>1 3</b>	<b>1 3</b>

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
133.1	77.4	42.0	30.0	10.9	302.0	120.4	12.1	134.2	45.4	31.1	18.3	1
7.8	6.1	2.1	3.1	1.9	14.7	4.5	.6	8.2	3.4	1.6	.3	2
17.1	10.4	5.3	4.2	3.1	35.9	9.8	2.9	23.4	15.8	.7	1.9	3
11.8	7.4	3.5	3.4	1.2	27.8	11.6	1.0	13.9	5.8	1.2	1.1	4
17.4	11.5	4.6	6.4	2.2	30.0	12.9	2.4	14.9	6.5	2.2	—	5
15.8	11.4	5.6	5.2	.7	32.4	13.8	.8	14.3	3.1	2.8	1.5	6
12.3	5.8	3.4	1.9	.8	37.5	16.9	1.0	16.4	3.9	2.9	1.3	7
9.0	4.4	3.0	1.1	.3	30.2	13.4	1.9	13.6	1.1	2.5	.6	8
10.1	5.3	3.7	1.4	.2	18.1	7.5	.9	5.3	.3	3.3	2.0	9
11.2	8.0	5.0	2.5	.5	28.5	11.2	.3	11.7	3.5	3.4	2.1	10
9.3	3.3	2.8	.5	—	16.2	5.0	.2	5.9	1.2	2.5	2.8	11
8.3	1.9	1.7	.2	—	14.3	4.9	—	4.2	.8	3.5	1.7	12
4.1	1.8	1.5	.3	—	5.7	2.1	.3	2.0	—	1.4	.2	13
.7	—	—	—	—	3.9	2.3	—	—	—	1.2	.5	14
.3	—	—	—	—	6.9	4.6	—	.3	.3	1.7	.2	15
23 969	21 407	25 020	18 435	12 295	26 368	27 253	18 302	22 336	13 071	37 270	38 527	16
11.2	8.7	3.4	4.3	2.6	10.4	3.4	.3	5.2	1.6	1.6	.3	17
18.8	11.9	6.4	4.3	3.7	22.5	4.9	.9	15.0	8.3	1.2	1.4	18
16.9	11.9	4.3	6.8	1.3	28.1	11.7	2.2	14.2	9.8	.7	1.6	19
18.6	10.9	5.3	4.8	1.2	24.3	9.3	.7	11.3	4.8	3.7	—	20
67.6	34.0	22.6	9.7	2.1	216.6	91.2	7.9	88.6	20.8	23.9	12.9	21
3.0	2.2	.6	1.4	.3	.9	—	—	.7	.7	.2	—	22
6.5	3.2	1.0	2.3	.7	13.9	2.9	1.1	11.0	8.1	—	—	23
5.9	.8	.2	.5	—	9.5	2.6	.7	6.6	5.3	—	.4	24
3.8	.8	.5	.3	.2	12.3	5.6	2.2	6.0	3.1	.6	—	25
6.2	3.5	1.7	1.1	1.2	22.9	10.8	2.2	9.1	3.8	2.6	.4	26
8.5	4.1	2.4	1.8	1.8	26.0	13.2	.5	9.2	3.0	2.2	1.3	27
10.5	7.7	3.0	3.9	1.0	24.2	12.2	1.1	9.1	2.0	1.5	.7	28
9.0	5.7	2.0	3.0	1.1	31.0	14.1	.6	13.1	2.3	2.1	1.6	29
20.8	14.4	7.7	5.9	2.4	45.7	15.7	.8	20.8	4.1	7.0	2.2	30
14.1	8.5	3.8	3.7	1.0	31.3	12.3	.5	13.8	2.0	4.4	.7	31
9.3	4.9	2.5	2.1	.6	21.1	7.7	—	5.2	.8	3.1	—	32
15.7	8.1	6.7	1.1	—	24.4	10.2	.9	8.8	3.8	3.1	5.0	33
8.2	6.4	5.3	.8	—	14.3	4.5	1.1	6.3	1.1	2.2	1.5	34
3.5	2.2	2.2	—	—	8.1	2.7	.3	4.2	1.2	.9	1.3	35
.8	.5	.5	—	—	3.2	1.8	—	.9	.5	.2	.2	36
3.0	2.0	.7	1.1	.3	5.8	2.1	1.0	3.4	1.9	.5	—	37
4.8	2.6	1.2	1.1	.2	7.7	1.9	.4	5.3	1.6	.2	.3	38
548	559	625	496	446	508	468	331	493	349	585	701	39
662	693	989	—	—	602	697	—	508	338	—	—	40
616	662	985	—	—	565	698	—	481	314	—	—	41
.6	—	—	—	—	2.1	1.8	.3	—	—	.3	—	42
5.4	1.6	.6	1.0	.2	13.3	6.8	.3	5.4	2.8	.9	.2	43
11.0	3.1	.8	2.0	—	22.9	11.8	2.2	9.3	3.3	1.2	.8	44
18.3	7.9	4.9	2.5	1.6	47.8	24.3	1.9	19.1	5.0	3.3	1.2	45
15.2	9.6	7.9	1.7	1.6	53.1	21.8	1.0	23.4	4.7	6.4	1.6	46
19.8	10.8	5.3	5.3	—	35.0	11.4	.8	17.0	3.9	4.0	2.6	47
11.7	7.8	4.6	2.5	.5	25.7	10.6	.9	12.8	4.5	1.5	.9	48
11.1	6.6	3.1	2.6	1.1	20.4	8.4	.8	7.3	2.7	2.0	2.7	49
11.1	9.1	3.7	4.8	.6	18.2	6.5	1.0	7.0	2.6	3.2	1.5	50
6.2	4.7	1.9	2.1	1.3	16.4	4.4	1.1	8.0	4.1	1.8	2.1	51
4.0	3.8	3.3	.2	.2	7.9	2.7	.2	3.8	1.9	1.1	.2	52
5.6	4.0	2.4	1.2	2.3	8.4	2.7	.8	4.2	2.4	.9	.6	53
4.5	3.9	1.2	1.9	.7	14.3	2.7	—	7.0	3.6	3.4	1.2	54
1.2	.3	.3	.3	.3	3.1	.8	—	1.4	.5	.6	.3	55
3.0	2.0	.7	1.1	.3	5.8	2.1	1.0	3.4	1.9	.2	—	56
4.6	2.6	1.2	1.1	.2	7.7	1.9	.4	5.3	1.6	.2	.3	57
28	32	30	33	41	25	23	23	26	31	29	36	58
27	31	30	31	39	26	23	23	25	29	26	35	59

**Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Total	With own children under 18				
				Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin
	White	Black		White	Black							
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	590.9	493.4	410.1	201.9	169.1	16.6	25.3	28.3	12.1	10.0	.5	1.0
Value												
2 Less than \$10,000.....	6.3	5.4	2.7	.9	.9	-	-	.9	-	-	-	-
3 \$10,000 to \$19,999.....	13.1	10.6	6.4	7.7	5.6	1.4	.9	.2	-	-	-	-
4 \$20,000 to \$29,999.....	14.2	12.3	10.5	4.4	3.6	.4	2.1	1.1	.3	-	-	-
5 \$30,000 to \$39,999.....	27.7	21.5	13.2	5.0	4.1	.3	1.5	1.1	.3	.3	-	-
6 \$40,000 to \$49,999.....	45.6	34.4	25.5	14.3	12.0	.9	4.2	2.7	1.7	1.4	.2	.2
7 \$50,000 to \$59,999.....	50.5	39.5	31.3	15.6	12.5	1.6	3.4	2.2	1.5	1.5	.2	.2
8 \$60,000 to \$69,999.....	48.8	40.9	31.5	14.7	9.9	2.1	2.6	2.4	1.2	.9	.2	.2
9 \$70,000 to \$79,999.....	50.8	42.8	34.5	17.6	14.0	2.7	2.4	2.4	.6	.2	-	.6
10 \$80,000 to \$89,999.....	101.3	66.4	74.9	36.9	32.1	3.4	3.1	4.6	1.2	.6	-	.6
11 \$100,000 to \$119,999.....	53.7	44.5	36.9	18.8	15.9	.8	1.6	2.4	1.0	1.0	-	-
12 \$120,000 to \$149,999.....	62.2	52.8	46.6	20.2	16.6	2.0	1.6	3.6	1.2	1.2	-	-
13 \$150,000 to \$199,999.....	55.3	45.8	43.5	20.6	19.6	-	1.2	2.2	1.6	1.6	-	.3
14 \$200,000 to \$249,999.....	24.1	20.4	18.5	8.8	7.9	.3	.2	.9	.3	-	.3	-
15 \$250,000 to \$299,999.....	11.3	9.9	8.3	2.5	2.3	.2	-	.8	.6	.6	-	-
16 \$300,000 or more.....	26.1	23.1	21.9	13.7	12.2	.5	.5	1.0	.7	.7	-	.2
17 Median.....	67 615	69 080	92 149	91 207	93 713	76 268	62 063	64 685	66 417	101 307	-	-

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Whicr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
55.0	21.9	13.9	6.7	1.9	97.5	34.5	7.2	53.4	25.6	6.3	3.3	1
1.7	--	--	--	--	.9	.9	--	--	--	--	--	2
1.1	--	--	--	--	2.3	1.7	.2	.6	.3	--	--	3
.8	.2	--	--	--	1.9	.2	--	1.6	.5	--	--	4
7.2	2.6	1.0	1.6	.7	6.2	1.4	.5	3.8	1.5	--	--	5
5.2	2.4	1.0	1.5	--	11.2	4.0	--	6.0	3.4	.6	.4	6
6.0	2.1	1.0	1.1	--	11.0	2.3	.6	6.5	4.3	.6	.6	7
7.5	3.8	2.3	1.2	.8	7.9	3.4	.7	4.3	1.3	.3	1.0	8
5.9	1.8	1.4	1.4	--	8.0	3.8	.9	3.7	2.0	.5	--	9
6.9	2.6	2.0	1.3	--	14.9	6.2	2.2	7.5	2.3	.9	.3	10
5.2	3.4	2.7	.6	--	9.3	2.7	.3	5.5	2.2	.6	.5	11
2.8	1.1	.9	--	.5	9.3	2.5	--	5.6	1.3	1.2	.2	12
3.1	1.4	1.4	--	--	6.5	2.2	1.4	3.7	2.9	.3	--	13
1.0	.3	.3	--	--	3.7	1.1	--	2.3	1.9	--	.3	14
1.0	--	--	--	--	1.4	.2	--	1.2	.8	--	--	15
.3	--	--	--	--	3.0	1.8	.3	1.2	.8	--	--	16
67 968	69 514	63 829	.3	--	79 184	78 655	--	80 650	78 029	--	--	17

Table 1-3. Housing Quality by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			With own children under 18		Total	With own children under 18			Hhldr of Hispanic origin
			Total	Race of householder		Total	Race of householder					
		Total	White	Black	Hhldr of Hispanic origin		Total	White	Black	Hhldr of Hispanic origin		
1 Total	1 041.1	739.1	556.2	290.2	232.6	30.5	54.8	49.8	19.4	15.2	1.5	2.8
<b>Water Supply Stoppage</b>												
2 With hot and cold piped water	1 040.7	739.1	556.2	290.2	232.6	30.5	54.8	49.8	19.4	15.2	1.5	2.8
3 No stoppage in last 3 months	963.5	688.6	519.4	272.6	219.5	30.1	50.3	47.3	19.4	15.2	1.5	2.8
4 With stoppage in last 3 months	62.2	42.0	30.9	14.6	11.5	.5	3.1	2.5	-	-	-	-
5 No stoppage lasting 6 hours or more	27.4	18.9	14.0	6.8	5.3	-	1.3	1.5	-	-	-	-
6 1 time lasting 6 hours or more	17.2	11.2	8.4	4.5	3.9	-	.7	.5	-	-	-	-
7 2 times	4.1	2.8	1.8	.7	.2	.5	-	-	-	-	-	-
8 3 times	3.2	2.4	1.4	.3	.3	-	-	.3	-	-	-	-
9 4 times or more	3.0	1.7	.8	.2	.2	-	.2	-	-	-	-	-
10 Number of times not reported	7.3	5.1	3.7	2.1	1.5	-	1.0	.2	-	-	-	-
11 Stoppage not reported	14.9	8.4	6.0	2.9	1.6	-	1.4	-	-	-	-	-
<b>Flush Toilet Breakdowns</b>												
12 With one or more flush toilets	1 040.7	739.1	556.2	290.2	232.6	30.5	54.8	49.8	19.4	15.2	1.5	2.8
13 With at least one working toilet at all times in last 3 months	945.1	672.7	518.3	267.2	216.3	27.7	49.8	48.0	18.1	14.5	1.2	2.1
14 None working some time in last 3 months	81.6	57.2	32.3	18.9	13.4	2.2	4.6	3.5	1.4	.7	.3	.7
15 No breakdowns lasting 6 hours or more	28.4	18.8	11.5	8.2	6.4	.4	2.4	1.0	.3	-	.3	-
16 1 time lasting 6 hours or more	30.7	21.1	11.8	6.0	4.0	.9	.9	1.6	.5	.5	-	.2
17 2 times	10.0	7.4	3.9	1.5	.5	.2	.8	.3	.3	-	-	.3
18 3 times	3.3	2.7	1.4	.8	.3	.5	-	.2	-	-	-	-
19 4 times or more	5.9	4.1	1.7	1.0	1.0	-	-	.2	-	-	-	-
20 Number of times not reported	5.4	3.1	1.9	1.4	1.1	.3	.5	.2	.2	.2	-	.2
21 Breakdowns not reported	14.0	9.3	7.6	4.0	2.9	.5	.3	.3	-	-	-	-
<b>Sewage Disposal Breakdowns</b>												
22 With public sewer	973.0	680.9	503.0	265.4	209.1	30.1	53.9	47.7	18.7	14.5	1.5	2.8
23 No breakdowns in last 3 months	935.7	652.9	484.0	257.2	203.6	28.1	53.1	45.5	17.4	13.7	1.1	2.8
24 With breakdowns in last 3 months	37.4	28.0	19.0	8.1	5.5	2.0	.7	2.1	1.3	.8	.4	-
25 No breakdowns lasting 6 hours or more	13.0	9.5	7.3	2.5	1.8	.7	.6	-	-	-	-	-
26 1 time lasting 6 hours or more	18.0	13.4	9.0	4.8	3.3	.8	.7	1.5	1.3	.8	.4	-
27 2 times	2.4	2.4	.8	-	-	-	-	-	-	-	-	-
28 3 times	.5	.5	.5	-	-	-	-	-	-	-	-	-
29 4 times or more	3.5	2.3	1.5	.8	.4	.5	-	-	-	-	-	-
30 With septic tank or cesspool	68.1	58.2	53.2	24.8	23.5	.4	.9	2.1	.7	.7	-	-
31 No breakdowns in last 3 months	62.5	52.7	49.3	24.8	23.5	.4	.9	2.1	.7	.7	-	-
32 With breakdowns in last 3 months	5.6	5.6	3.9	-	-	-	-	-	-	-	-	-
33 No breakdowns lasting 6 hours or more	3.3	3.3	2.7	-	-	-	-	-	-	-	-	-
34 1 time lasting 6 hours or more	.7	.7	.7	-	-	-	-	-	-	-	-	-
35 2 times	.4	.4	-	-	-	-	-	-	-	-	-	-
36 3 times	1.1	1.1	-	-	-	-	-	-	-	-	-	-
37 4 times or more	-	-	-	-	-	-	-	-	-	-	-	-
<b>Heating Problems</b>												
38 With heating equipment and occupied last winter	822.3	668.3	509.6	261.0	211.0	25.7	46.7	43.0	17.2	13.9	1.0	2.5
39 Not uncomfortably cold for 24 hours or more last winter	868.1	626.8	482.2	243.7	197.0	24.3	43.5	40.5	16.3	13.6	1.0	2.2
40 Uncomfortably cold for 24 hours or more last winter <sup>1</sup>	50.0	39.1	26.0	16.1	12.9	1.4	3.2	1.9	.3	-	-	-
41 Equipment breakdowns	19.6	15.5	12.0	8.7	6.8	1.1	.3	.5	-	-	-	-
42 No breakdowns lasting 6 hours or more	1.6	1.0	1.0	.8	.3	.2	-	-	-	-	-	-
43 1 time lasting 6 hours or more	12.0	9.5	7.8	6.9	6.2	.7	.3	.5	-	-	-	-
44 2 times	1.5	1.5	1.0	.8	.3	.2	-	-	-	-	-	-
45 3 times	1.8	1.8	1.2	.2	-	-	-	-	-	-	-	-
46 4 times or more	.9	.9	.4	-	-	-	-	-	-	-	-	-
47 Number of times not reported	1.8	.8	.5	-	-	-	-	-	-	-	-	-
48 Other causes	33.5	26.4	16.8	10.1	6.3	.5	2.6	1.2	.3	-	-	-
49 Utility interruption	3.0	2.6	2.0	1.3	1.1	-	.5	-	-	-	-	-
50 Inadequate heating capacity	12.2	10.0	6.5	4.2	3.7	.2	.7	-	-	-	-	-
51 Inadequate insulation	8.0	6.7	4.2	1.9	1.6	.3	.5	.2	-	-	-	-
52 Other	8.7	5.9	3.6	2.4	1.9	-	.9	.6	-	-	-	-
53 Not reported	1.7	1.2	.6	.3	-	-	.3	.3	-	-	-	-
54 Reason for discomfort not reported	1.4	1.1	.6	.3	.3	-	.3	.5	-	-	-	-
55 Discomfort not reported	4.2	2.4	1.5	1.1	1.1	-	-	.6	.6	.3	-	.3
<b>Selected Deficiencies<sup>1</sup></b>												
56 Signs of rats in last 3 months	47.6	38.7	27.7	17.7	13.6	1.1	3.9	1.5	1.0	1.0	-	.2
57 Holes in floors	12.6	7.8	6.6	4.7	3.9	-	.6	-	-	-	-	-
58 Open cracks or holes (interior)	78.7	57.9	38.8	23.9	21.2	1.0	4.3	3.3	.8	.5	-	.3
59 Broken plaster or peeling paint (interior)	39.3	28.9	19.4	12.8	11.5	1.0	2.9	.5	-	-	-	-
60 No electrical wiring	-	-	-	-	-	-	-	-	-	-	-	-
61 Exposed wiring	10.1	7.7	4.1	2.1	1.4	.5	.5	.8	.3	-	-	.3
62 Rooms without electric outlets	14.5	11.1	9.2	6.0	5.2	.3	.8	.3	.3	-	-	.3
<b>Selected Amenities<sup>1</sup></b>												
63 Porch, deck, balcony, or patio	920.4	666.8	511.3	266.6	218.6	28.0	45.1	42.9	16.7	13.8	1.0	1.8
64 Not reported	2.2	1.7	1.5	.5	.5	-	-	.2	-	-	-	-
65 Telephone available	929.3	664.9	507.4	262.5	213.3	27.2	43.8	42.7	16.4	13.9	1.1	2.2
66 Usable fireplace	559.8	431.3	352.9	179.5	150.4	18.7	14.8	22.8	10.7	9.0	.8	.8
67 Separate dining room	655.5	492.9	380.7	199.1	158.5	23.1	30.3	30.9	13.3	10.6	1.2	1.5
68 With 2 or more living rooms or recreation rooms, etc.	371.5	312.7	263.3	130.5	113.9	10.0	10.9	15.8	7.2	6.4	.8	.7
69 Garage or carport included with home	643.6	504.1	413.6	207.6	172.8	18.2	26.8	27.9	11.6	9.4	1.0	.7
70 Garage or carport not included	395.0	234.0	141.5	81.8	59.1	12.4	28.2	21.9	7.8	5.8	.6	2.1
71 Offstreet parking included	379.6	225.8	135.9	78.5	56.4	12.4	28.5	21.0	7.5	5.5	.6	2.1
72 Offstreet parking not reported	2.7	1.4	1.1	.8	.8	-	-	-	-	-	-	-
73 Garage or carport not reported	2.5	1.1	1.1	.7	.7	-	-	-	-	-	-	-

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Total	Living alone				Other nonfamily			
	Total	Race of householder		Hhhd of Hispanic origin		Total	Male		Female		Male		Female
		White	Black				65 and over	65 and over					
133.1	77.4	42.0	30.0	10.9	302.0	120.4	12.1	134.2	45.4	31.1	16.3	1	
133.1	77.4	42.0	30.0	10.9	301.5	119.9	11.9	134.2	45.4	31.1	16.3	2	
122.0	70.8	38.5	27.4	9.9	274.9	109.8	11.6	122.6	42.3	28.2	14.3	3	
8.7	5.8	3.3	1.7	1.0	20.2	7.3	.3	9.4	2.6	2.3	1.2	4	
3.5	2.2	1.2	.3	.5	8.5	3.8	.3	3.0	1.3	1.0	.7	5	
1.3	1.1	.8	.3	.2	6.0	1.2	—	3.7	.5	.8	.3	6	
1.2	1.0	.5	.5	—	1.3	.3	—	1.0	—	—	—	7	
.8	.3	.3	—	.3	.8	.4	—	.2	—	—	.2	8	
.8	.5	.5	—	—	1.4	1.0	—	.3	—	—	—	9	
1.2	.8	—	.8	—	2.2	.5	—	1.2	.7	.5	—	10	
2.5	1.2	.2	1.0	—	6.5	2.8	—	2.2	.5	.7	.8	11	
133.1	77.4	42.0	30.0	10.9	301.5	119.9	12.1	134.2	45.4	31.1	16.3	12	
110.4	63.6	33.5	25.2	8.4	272.4	108.4	11.3	120.7	40.8	29.6	13.7	13	
21.4	13.1	7.9	4.8	2.8	24.4	9.9	.8	11.1	3.5	1.3	2.1	14	
6.3	3.2	1.8	1.7	1.0	7.8	3.4	—	3.4	1.7	.4	.3	15	
7.7	4.1	1.5	2.1	.5	9.8	4.0	.3	3.7	1.3	.8	1.3	16	
3.2	2.4	1.9	.5	.5	2.8	1.2	—	1.4	.3	—	—	17	
1.1	.8	.8	—	.3	.8	.2	—	.4	—	—	—	18	
2.2	1.9	1.7	.3	.3	1.7	.7	—	.7	—	.2	.8	19	
.9	.7	.5	.2	.5	2.3	.8	.8	1.5	.3	—	—	20	
1.3	.8	.6	—	—	4.7	1.8	—	2.5	1.0	.2	.4	21	
130.2	75.3	39.9	30.0	10.7	292.2	115.0	9.5	131.4	44.0	30.5	15.3	22	
123.3	70.7	37.9	27.9	9.7	282.8	110.0	9.1	128.1	43.1	30.5	14.1	23	
6.9	4.5	2.0	2.1	1.0	9.4	4.9	.4	3.2	.8	—	1.2	24	
1.5	1.3	.7	.6	.6	3.5	2.3	.4	.8	.3	—	.6	25	
2.9	1.4	.2	.7	.2	4.8	2.8	—	1.7	.8	—	.2	26	
1.6	1.0	.8	.2	.5	—	—	—	—	—	—	—	27	
.8	.8	.3	.5	.3	1.2	—	—	.9	—	—	.4	28	
3.0	2.1	2.1	—	.2	9.8	5.4	2.8	2.9	1.4	.8	.9	30	
1.3	1.0	1.0	—	.2	9.8	5.4	2.8	2.9	1.4	.8	.9	31	
1.7	1.1	1.1	—	—	—	—	—	—	—	—	—	32	
.6	—	—	—	—	—	—	—	—	—	—	—	33	
—	—	—	—	—	—	—	—	—	—	—	—	34	
—	—	—	—	—	—	—	—	—	—	—	—	35	
1.1	1.1	1.1	—	—	—	—	—	—	—	—	—	36	
—	—	—	—	—	—	—	—	—	—	—	—	37	
115.6	68.1	36.4	25.4	8.7	254.0	100.5	11.9	121.0	44.3	21.3	11.3	38	
104.1	58.6	30.9	22.3	7.3	241.2	95.5	11.5	115.5	42.5	19.6	10.7	39	
11.2	9.2	5.2	3.2	1.4	10.9	4.8	.3	4.8	1.4	.9	.7	40	
3.1	2.8	1.7	.5	.9	4.1	1.8	—	1.4	.8	.5	.7	41	
—	—	—	—	—	.8	.2	—	.3	.3	—	—	42	
1.3	1.0	.8	—	.2	2.5	.8	—	.8	—	.2	.7	43	
.5	.5	—	.5	—	—	—	—	—	—	—	—	44	
.8	.8	.8	—	.2	—	—	—	—	—	—	—	45	
.5	.5	.3	—	.2	—	—	—	—	—	—	—	46	
.2	.2	.2	—	.2	1.0	.5	—	.3	.3	.3	—	47	
6.4	6.7	3.7	2.7	.7	7.0	3.5	.3	3.1	.8	.4	—	48	
.7	.7	.7	—	—	.3	.3	—	—	—	—	—	49	
3.5	2.5	1.4	1.2	.2	2.2	.5	—	1.5	—	.2	—	50	
2.2	1.8	.7	1.0	.2	1.3	.5	—	.5	—	.2	—	51	
1.7	1.7	.9	.5	.2	2.7	1.7	.3	1.0	.8	—	—	52	
.3	—	—	—	—	.5	.5	—	—	—	—	—	53	
—	—	—	—	—	.3	—	—	.3	—	—	—	54	
.3	.3	.3	—	—	1.8	.4	—	.7	.5	.7	—	55	
9.5	7.5	4.5	2.5	1.5	8.9	2.8	1.0	3.3	.9	1.8	1.0	56	
1.2	.8	—	.8	—	4.8	.9	.3	2.8	1.2	.5	.5	57	
15.8	9.7	4.9	4.3	.5	20.8	7.8	.6	8.9	2.9	1.9	1.3	58	
9.0	6.1	1.8	4.0	.4	10.4	2.9	.3	5.8	2.2	1.3	.4	59	
—	—	—	—	—	—	—	—	—	—	—	—	60	
2.8	2.2	1.1	1.1	—	2.4	.8	—	1.2	.9	.4	—	61	
1.6	.8	.3	.4	.3	3.4	.8	—	2.0	.7	.5	.4	62	
112.5	63.7	35.2	25.3	7.8	253.7	98.9	9.8	114.8	36.4	25.8	14.2	63	
114.8	64.5	35.3	25.2	7.1	264.4	101.0	11.1	122.1	41.6	27.0	14.2	64	
55.6	33.0	20.3	11.0	2.1	128.8	49.2	4.0	58.4	17.3	13.5	7.5	65	
81.4	49.3	28.9	19.4	6.2	182.5	63.2	5.6	71.6	25.4	19.8	8.0	66	
33.8	18.4	10.9	4.8	1.9	58.8	21.4	4.1	30.8	15.2	3.9	3.0	68	
62.6	31.4	23.1	7.1	1.9	139.8	50.5	7.1	67.4	26.0	14.1	7.8	69	
70.8	48.0	18.9	22.9	9.0	181.0	69.7	5.0	65.7	19.4	17.0	8.7	70	
68.9	44.8	18.7	21.9	8.6	153.8	68.3	4.5	63.2	17.7	16.3	8.1	71	
.2	.2	—	—	—	1.3	.7	.3	.3	.3	—	.4	72	
—	—	—	—	—	1.4	.3	—	1.1	—	—	—	73	

Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households											
		Married couple						Male householder, no wife present					
		Total	With own children under 18			Total	With own children under 18						
			Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin		
	Total	White	Black		Total	White		Black					
<b>Overall Opinion of Structure</b>													
1	1 (worst)-----	6.4	5.2	2.6	1.8	1.0	.3	.7	.5	.3	.3	-	-
2	2-----	4.6	2.2	.9	.8	.8	-	.3	.2	-	-	-	-
3	3-----	8.3	5.7	3.5	2.7	2.5	-	.5	-	-	-	-	-
4	4-----	15.2	12.8	9.2	6.7	6.0	.5	.7	.9	.2	.2	-	-
5	5-----	70.0	50.8	33.6	20.2	18.7	1.1	3.3	4.7	.8	.8	-	-
6	6-----	53.0	33.4	24.8	16.9	12.1	1.9	5.2	1.2	.4	.4	-	-
7	7-----	134.4	90.5	63.2	37.1	30.8	4.2	7.6	6.6	3.5	2.4	.4	-
8	8-----	289.8	189.2	146.1	77.0	58.6	11.5	14.4	14.5	7.1	6.3	-	1.2
9	9-----	167.9	115.9	88.1	44.1	37.4	3.3	4.8	8.8	3.4	2.8	.3	.5
10	10 (best)-----	299.6	225.0	178.3	80.5	64.3	7.7	16.9	11.7	3.5	2.5	.3	.8
11	Not reported-----	11.9	8.4	6.0	2.5	2.5	-	.3	.7	.2	-	-	.2
<b>Neighborhood Conditions</b>													
12	With neighborhood-----	1 024.7	727.2	548.9	285.6	228.5	30.5	54.0	48.2	19.2	15.2	1.5	2.5
13	No problems-----	586.1	421.4	317.5	166.7	129.8	18.0	35.6	33.5	12.3	9.2	1.0	2.5
14	With problems <sup>1</sup> -----	431.8	300.9	224.8	117.6	97.7	12.3	18.1	14.7	6.9	6.0	.5	-
15	Crime-----	112.0	74.8	48.3	25.1	21.1	2.6	4.3	5.1	1.7	1.7	-	-
16	Noise-----	85.2	52.7	36.3	20.6	15.8	2.3	5.2	2.2	.9	.5	-	-
17	Traffic-----	74.8	51.6	40.4	23.2	21.5	.8	4.2	2.1	.7	.3	-	-
18	Litter or housing deterioration-----	58.8	43.7	32.2	15.8	12.8	1.5	3.0	1.8	.7	.7	-	-
19	Poor city or county services-----	22.9	19.4	14.8	5.1	3.5	1.4	.5	.5	.3	.3	-	-
20	Undesirable commercial, institutional, industrial-----	12.1	7.8	6.0	1.4	1.2	.3	-	-	-	-	-	-
21	People-----	156.1	105.9	77.8	40.7	32.0	5.6	7.2	6.4	2.9	2.3	.5	-
22	Other-----	82.4	58.8	43.4	23.9	21.8	1.3	3.2	1.9	1.4	1.0	.3	-
23	Type of problem not reported-----	10.6	9.2	7.4	3.1	2.1	.7	-	.3	-	-	-	-
24	Presence of problems not reported-----	6.8	4.9	4.5	1.2	1.0	.2	.2	-	-	-	-	-
<b>Overall Opinion of Neighborhood</b>													
25	1 (worst)-----	15.1	10.9	5.5	3.3	1.5	.5	1.0	.5	.2	.2	-	-
26	2-----	11.6	7.4	5.4	3.2	2.7	.3	.2	.2	-	-	-	-
27	3-----	19.2	12.9	7.0	4.6	3.7	-	.3	.9	.9	.9	-	-
28	4-----	25.4	15.3	11.5	4.0	2.8	.8	.9	.2	-	-	-	-
29	5-----	83.7	58.1	38.0	20.7	16.9	2.0	4.2	4.7	1.6	1.6	-	-
30	6-----	59.4	35.1	24.2	15.1	12.3	2.1	2.8	3.1	1.7	1.4	-	-
31	7-----	128.1	87.7	62.3	33.0	27.0	4.7	4.5	6.3	3.1	1.9	.5	-
32	8-----	245.2	173.4	133.3	69.0	55.1	6.2	14.0	12.6	3.6	2.7	.7	.7
33	9-----	158.7	121.8	97.8	49.3	38.2	5.5	9.2	5.5	2.4	2.0	.8	.8
34	10 (best)-----	278.2	206.5	163.8	83.4	68.5	8.5	18.8	14.1	5.7	4.5	.3	1.2
35	No neighborhood-----	2.3	2.0	2.0	.6	.3	-	-	-	-	-	-	-
36	Not reported-----	14.1	9.9	7.3	4.0	3.8	-	.8	1.6	.2	-	-	.2

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households							
Female householder, no husband present -												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		Whites	Black			Total	65 and over	Total	65 and over			
2.1	1.7	.8	.9	.3	1.1	.2	-	.9	.2	-	-	1
1.1	.9	-	.5	.5	2.4	1.5	-	.7	.5	-	-	2
2.2	1.9	1.2	.7	-	2.6	1.1	.2	1.0	.2	.2	.2	3
2.8	1.6	.6	.7	-	2.4	1.4	-	1.0	.2	-	-	4
12.5	7.8	4.0	3.0	1.0	18.1	7.1	.9	8.8	2.8	2.3	.9	5
7.4	5.4	1.9	2.7	.7	19.6	10.2	.5	6.5	.3	2.3	.6	6
20.7	14.0	8.6	4.7	2.8	43.9	18.5	1.3	18.2	4.0	6.1	3.1	7
28.5	15.4	7.8	6.7	2.0	80.6	35.7	3.2	32.6	8.7	9.5	2.9	8
18.9	12.6	8.3	4.2	.5	52.0	21.7	2.0	23.1	4.9	4.6	2.6	9
35.0	15.3	8.5	5.7	3.4	74.6	20.5	3.4	42.8	22.6	5.6	5.9	10
1.7	.8	.3	-	-	3.6	2.3	.6	1.0	1.0	.3	-	11
132.1	77.1	42.0	30.0	10.9	297.5	118.6	11.8	132.2	43.3	30.9	15.9	12
70.4	38.4	19.7	15.7	6.7	184.6	66.5	6.5	70.8	28.3	17.1	10.2	13
61.4	38.7	22.3	14.3	4.3	130.9	51.8	3.3	59.9	14.4	13.8	5.4	14
21.5	13.8	7.3	5.8	1.8	37.2	13.1	.5	18.0	2.5	5.0	1.1	15
14.2	8.9	4.9	2.9	1.7	32.4	13.2	1.1	14.7	4.4	3.9	.6	16
9.2	5.5	3.4	1.6	.7	23.2	10.8	.8	8.6	1.7	2.8	1.1	17
8.7	5.0	2.4	2.3	.6	15.1	3.9	.9	7.9	2.8	1.5	1.8	18
4.1	2.5	.9	1.4	.2	3.5	1.5	-	2.0	.8	-	-	19
1.9	1.1	.8	.3	-	4.3	1.1	.2	2.7	.4	.2	.2	20
21.6	14.6	8.3	6.7	1.7	50.2	18.9	1.6	23.8	8.4	6.5	3.1	21
11.3	7.6	5.2	2.4	.4	25.8	12.4	.2	10.7	2.7	1.0	1.7	22
1.4	.9	-	-	-	1.4	.9	.3	.8	-	-	-	23
.3	-	-	-	-	1.9	.3	-	1.4	.6	-	.2	24
4.9	3.7	1.3	2.4	.8	4.1	2.3	.8	1.0	.5	.9	-	25
1.8	1.3	.6	.5	.2	4.2	2.3	.3	1.8	.3	-	-	26
5.0	3.9	2.5	1.4	.5	6.3	4.2	.2	1.0	.5	1.1	-	27
3.6	2.1	1.1	.5	.5	10.1	3.5	.2	5.3	.7	1.1	.2	28
15.4	10.0	6.0	3.5	.7	27.8	8.0	.2	12.8	3.1	5.0	1.8	29
7.8	3.1	1.2	1.8	.2	24.3	11.3	.3	9.5	2.5	2.9	.6	30
19.1	10.8	5.6	4.0	1.9	40.4	19.9	1.3	14.2	3.4	2.9	3.5	31
27.5	17.5	9.7	7.0	2.4	71.8	30.9	3.8	32.2	9.6	6.4	2.2	32
18.5	11.5	7.5	3.9	1.9	36.9	13.3	1.0	15.9	4.7	5.2	2.5	33
28.6	13.1	6.5	5.1	2.1	71.8	22.8	3.6	38.4	18.0	5.5	5.0	34
-	-	-	-	-	.3	-	-	.3	.3	-	-	35
1.0	.3	-	-	-	4.2	1.8	.3	1.8	1.8	.3	.4	36

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	1 041.1	590.9	450.2	88.2	34.8	13.0	68.5	150.8	119.5	139.2	283.7	103.6	395.5	351.6	113.7
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	30.48	25.19	37.42	20.35	15.70	38.03	45.37	38.87	29.34	29.22	32.08	35.70	38.66	26.40	24.45
Neighborhood crime.....	33.34	31.67	35.53	18.23	26.02	51.27	38.41	38.78	28.21	27.53	27.47	35.42	50.54	26.36	17.53
Any condition(s).....	48.09	44.39	52.83	31.73	39.14	61.98	59.29	55.88	42.79	45.12	43.73	50.67	63.03	41.89	34.55
Both conditions present.....	15.74	12.47	20.02	6.85	2.58	27.32	24.48	21.76	14.78	11.63	15.83	20.45	26.17	10.87	7.43
No conditions present.....	50.94	54.78	45.89	68.03	59.81	38.02	37.32	43.39	56.11	53.85	55.58	48.20	35.99	57.05	64.51
Not reported.....	.98	.83	1.17	.24	1.25	-	3.39	.74	1.10	1.04	.69	1.13	.98	1.07	.94
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	15.27	12.99	18.27	7.01	12.00	27.34	23.57	19.52	13.05	11.94	15.73	20.09	18.73	12.74	11.74
Neighborhood crime.....	24.03	23.78	24.35	10.68	12.89	38.57	28.06	22.72	18.38	18.18	18.49	22.79	36.79	18.83	12.38
Unsatisfactory neighborhood shopping.....	10.11	11.30	8.55	12.51	27.03	32.40	20.97	13.31	8.74	12.30	8.79	16.82	10.52	7.35	7.87
Unsatisfactory public elementary school.....	4.25	4.91	3.38	5.61	2.46	9.65	5.81	3.09	2.73	.20	4.08	3.88	4.68	3.94	2.84
Unsatisfactory public transportation.....	2.12	1.31	3.18	.89	-	3.65	7.85	5.97	1.58	1.53	2.36	3.28	4.49	.85	1.15
Any condition(s).....	40.89	39.83	42.28	30.66	43.13	65.23	54.53	42.39	34.27	34.22	37.04	42.17	51.52	34.53	29.29
Two or more conditions.....	12.33	11.67	13.20	5.30	11.04	40.44	24.22	17.22	8.25	8.97	10.40	19.54	19.56	8.04	5.92
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	6.24	4.31	8.78	1.31	5.40	12.39	10.23	10.91	5.66	3.48	6.10	9.96	9.10	5.17	2.32
Neighborhood crime.....	8.64	6.58	11.35	4.06	4.58	15.45	14.40	12.20	8.33	3.98	7.85	12.60	15.58	5.67	1.31
Unsatisfactory public elementary school.....	1.91	1.92	1.91	.93	1.36	1.57	3.35	1.19	.91	.20	1.42	1.99	2.54	1.70	1.76
Any condition(s).....	12.53	9.60	16.38	6.00	8.78	19.53	19.70	17.75	11.59	6.16	11.75	16.63	19.54	9.36	4.89
Two or more conditions.....	3.75	2.82	4.97	.32	2.58	9.88	7.13	6.09	3.04	1.49	3.20	6.95	6.80	2.65	.50
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	1.07	.96	1.22	.24	1.25	-	3.39	.74	1.28	1.28	.77	1.34	1.07	1.13	.94
Neighborhood crime.....	1.40	1.02	1.90	.90	1.25	-	3.39	1.07	1.73	1.04	1.53	1.34	1.35	1.60	1.17
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16.....	39.47	41.83	36.38	45.45	48.75	51.69	44.02	45.91	63.61	3.78	41.60	50.85	34.28	45.73	40.62
Satisfactory public elementary school.....	30.04	32.61	26.68	38.00	38.86	40.32	32.78	37.48	49.70	3.42	30.22	40.31	23.91	35.71	34.62
Unsatisfactory public elementary school.....	4.25	4.91	3.38	5.61	2.46	9.65	5.81	3.09	2.73	.20	4.08	3.88	4.68	3.94	2.84
So bothered they want to move.....	1.91	1.92	1.91	.93	1.36	1.57	3.35	1.19	.91	.20	1.42	1.99	2.54	1.70	1.76
Not reported.....	.19	.15	.23	.31	-	-	-	.36	.68	-	.39	.26	.42	.08	-
Not reported or don't know.....	5.19	4.31	6.34	1.84	9.43	1.72	5.43	5.34	11.18	.17	7.30	6.65	5.68	6.07	3.17
Public elementary school less than 1 mile.....	25.56	26.76	23.98	30.49	6.41	17.29	29.28	32.39	45.53	2.45	25.29	34.59	24.96	32.21	21.24
Public elementary school 1 mile or more.....	12.02	13.75	9.75	13.20	40.33	34.40	11.12	12.06	13.31	1.33	13.05	14.02	7.40	11.68	17.31
Not reported.....	1.89	1.32	2.64	1.76	2.02	-	3.62	1.48	4.77	-	3.26	2.23	1.92	1.83	2.07
Households without children aged 0-16.....	60.53	58.17	63.62	54.55	51.25	48.31	55.98	54.09	36.39	96.22	58.40	49.15	65.72	54.27	59.38
Households with children aged 4-16.....	31.69	34.80	27.60	34.82	40.50	47.85	38.21	40.35	49.29	3.28	29.28	42.36	26.02	37.31	34.59
Attend public school (K-12).....	26.14	28.83	22.80	28.40	37.13	43.05	32.18	35.47	41.89	2.87	23.58	37.01	20.36	31.79	28.69
Attend private school (K-12).....	3.87	4.77	2.69	4.33	1.36	2.38	2.88	2.82	2.28	2.6	3.62	.96	4.48	2.88	4.13
Attend ungraded school, preschool, etc.....	.42	.57	.23	.28	-	-	-	.18	.52	-	.34	-	.14	.51	1.05
Does not attend school.....	1.27	1.04	1.58	2.05	2.02	2.22	.35	2.00	3.12	-	1.38	2.43	1.37	1.46	.85
Not reported.....	.85	.71	1.02	.61	-	-	2.82	.53	1.71	.17	1.01	1.96	.65	1.22	1.20
<b>Public Transportation as a Percent of Total</b>															
With public transportation.....	61.30	55.74	68.60	40.60	11.45	45.64	62.11	77.84	67.66	58.19	61.72	64.43	92.26	47.42	49.79
Household uses it at least weekly.....	7.20	4.38	10.90	1.30	2.52	15.38	15.01	21.28	15.49	3.50	9.16	18.95	14.47	3.01	3.20
Satisfactory public transportation.....	6.49	3.82	9.87	1.30	2.52	13.45	12.22	18.51	14.54	3.09	8.31	17.31	12.79	2.82	3.20
Unsatisfactory public transportation.....	.70	.46	1.02	-	-	1.93	2.79	2.75	.95	.41	.85	1.64	1.68	.19	-
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	16.61	15.07	18.64	8.47	1.84	15.13	24.09	24.92	20.54	18.62	14.08	20.58	29.98	9.29	11.46
Satisfactory public transportation.....	14.92	13.92	16.23	6.00	1.84	13.41	18.52	21.26	19.91	17.34	12.43	18.94	26.79	8.61	9.88
Unsatisfactory public transportation.....	1.39	.85	2.10	.89	-	1.72	5.07	3.22	.63	1.12	1.52	1.64	2.81	.58	1.15
Not reported.....	.30	.29	.31	1.59	-	-	.40	.44	-	.17	.14	-	.38	.11	.43
Household does not use.....	38.61	35.90	37.54	28.51	7.09	15.12	20.48	29.09	30.87	35.25	37.81	22.31	46.12	34.89	34.64
Not reported.....	.88	.39	1.52	2.32	-	-	2.56	2.38	.78	.81	.67	2.59	1.68	.22	.50
No public transportation.....	37.25	43.16	29.48	58.83	68.55	54.36	33.84	21.62	30.31	40.48	36.52	34.44	6.46	51.22	48.79
Not reported.....	1.46	1.10	1.92	.57	-	-	4.05	.74	2.04	1.33	1.76	1.13	1.28	1.36	1.43
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping.....	88.20	88.93	89.66	87.25	72.97	67.60	75.35	85.23	89.22	85.61	89.64	81.73	88.14	91.03	88.27
Less than 1 mile.....	72.28	67.73	78.21	56.22	47.88	49.52	60.55	74.13	74.11	67.80	76.39	68.86	77.73	75.72	64.62
1 mile or more.....	15.72	19.02	11.38	30.73	25.11	18.08	14.80	11.10	14.90	17.14	13.08	12.84	10.23	15.06	23.65
Not reported.....	.22	.19	.26	.30	-	-	-	-	.20	.87	.18	.23	.19	.25	-
Unsatisfactory neighborhood shopping.....	10.11	11.30	8.55	12.51	27.03	32.40	20.97	13.31	8.74	12.30	8.79	16.62	10.52	7.35	7.87
Not reported or don't know.....	1.69	1.77	1.59	.24	-	-	3.68	1.48	2.04	2.09	1.57	1.45	1.34	1.61	3.86

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 2-4. Neighborhood Quality—Owner Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>590.9</b>	<b>56.1</b>	<b>25.7</b>	<b>7.1</b>	<b>35.0</b>	<b>57.4</b>	<b>47.5</b>	<b>102.5</b>	<b>66.4</b>	<b>28.3</b>	<b>172.0</b>	<b>229.6</b>	<b>77.8</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	25.19	13.26	11.76	30.59	40.61	35.00	23.42	31.06	21.65	32.17	32.99	23.45	21.78
Neighborhood crime .....	31.67	12.82	32.00	59.99	35.47	39.67	26.18	27.85	18.76	39.41	52.08	27.29	17.35
Any condition(s) .....	44.39	22.18	41.54	67.49	54.56	54.54	38.95	47.11	34.09	55.39	63.19	40.44	32.79
Both conditions present .....	12.47	3.90	2.23	23.08	21.51	20.34	10.65	11.80	6.32	18.19	21.88	10.31	6.35
No conditions present .....	54.76	77.45	58.46	32.51	41.56	44.89	60.52	51.82	65.91	44.61	35.61	58.72	66.57
Not reported .....	.83	.37	--	--	3.88	.58	.53	1.07	--	--	1.19	.84	.65
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	12.99	4.56	10.55	30.59	23.23	17.39	14.19	14.67	9.05	20.53	18.36	10.89	10.77
Neighborhood crime .....	23.78	5.87	15.91	40.82	26.79	23.25	17.69	18.63	11.48	30.02	40.91	19.73	13.79
Unsatisfactory neighborhood shopping .....	11.30	9.42	28.85	52.00	23.75	13.48	9.05	13.14	9.38	27.54	12.05	8.27	6.26
Unsatisfactory public elementary school .....	4.91	5.89	3.33	15.84	5.65	3.33	2.78	2.7	6.63	2.73	7.18	4.10	2.97
Unsatisfactory public transportation .....	1.31	1.37	--	--	7.93	4.86	1.88	.93	2.06	2.01	3.53	.27	1.35
Any condition(s) .....	39.83	22.93	44.96	78.11	54.39	38.97	35.66	37.42	28.87	51.47	55.14	34.40	27.91
Two or more conditions .....	11.67	3.04	13.68	56.65	25.89	17.09	7.87	9.63	8.76	25.99	20.04	7.79	6.12
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	4.31	--	4.78	9.13	6.87	7.35	2.86	4.52	.90	8.69	6.02	4.30	1.12
Neighborhood crime .....	6.58	1.76	4.94	9.13	10.84	7.01	4.88	3.90	.87	9.75	12.30	5.38	1.92
Unsatisfactory public elementary school .....	1.92	.93	1.83	--	2.68	.45	--	.27	.39	--	3.11	1.73	1.77
Any condition(s) .....	9.60	2.69	9.32	9.13	16.07	10.74	5.96	6.86	2.17	13.97	15.27	8.52	4.53
Two or more conditions .....	2.82	--	2.23	9.13	4.32	4.07	1.77	1.82	--	4.48	5.12	2.65	.28
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.96	.37	--	--	3.88	.58	.53	1.40	--	--	1.39	.84	.65
Neighborhood crime .....	1.02	.37	--	--	3.88	.58	.53	1.07	--	--	1.19	.99	.65
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	41.83	56.27	51.51	64.47	43.99	47.75	64.57	3.72	50.74	44.35	34.73	46.39	48.61
Satisfactory public elementary school .....	32.61	48.60	35.42	48.64	32.21	40.74	53.29	3.23	41.41	36.77	23.44	36.73	42.72
Unsatisfactory public elementary school .....	4.91	5.89	3.33	15.84	5.65	3.33	2.78	.27	6.63	2.73	7.18	4.10	2.97
So bothered they want to move .....	1.92	.93	1.83	--	2.68	.45	--	.27	.39	--	3.11	1.73	1.77
Not reported .....	.15	--	--	--	--	--	--	--	.86	--	.52	--	--
Not reported or don't know .....	4.31	1.78	12.76	--	6.13	3.68	8.49	.23	2.70	4.85	4.12	5.56	2.91
Public elementary school less than 1 mile .....	26.76	37.97	5.52	16.95	29.00	32.89	47.10	2.49	29.78	26.65	26.49	32.72	25.60
Public elementary school 1 mile or more .....	13.75	15.59	45.99	47.52	11.88	13.75	16.32	1.23	18.69	17.71	7.53	12.21	20.69
Not reported .....	1.32	2.71	--	--	3.32	1.11	1.15	--	2.29	--	.71	1.47	2.32
Households without children aged 0-16 .....	58.17	43.73	48.49	35.53	56.01	52.25	35.43	96.28	49.26	55.65	65.27	53.61	51.39
Households with children aged 4-16 .....	34.80	41.94	40.34	64.47	38.36	43.62	53.52	3.04	37.82	39.90	28.47	38.05	41.34
Attend public school(K-12) .....	28.83	34.81	36.50	64.47	32.42	37.14	44.42	2.49	32.60	38.23	20.44	32.71	35.39
Attend private school (K-12) .....	4.77	4.41	1.83	--	2.63	4.73	4.32	.33	4.90	.85	8.15	3.10	4.44
Attend ungraded school, preschool, etc .....	.57	.44	--	--	--	.47	1.30	--	.90	--	.33	.62	1.16
Does not attend school .....	1.04	2.67	--	--	--	2.08	3.48	--	1.10	--	1.02	1.21	.92
Not reported .....	.71	.93	--	--	3.32	.54	.60	.23	.35	.82	.38	1.07	1.04
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	55.74	31.22	11.70	29.26	56.73	71.82	62.58	57.65	43.39	54.32	94.08	45.61	46.59
Household uses it at least weekly .....	4.38	.47	2.15	2.92	14.34	17.54	14.81	2.31	5.14	15.21	11.02	1.78	1.35
Satisfactory public transportation .....	3.92	.47	2.15	2.92	10.85	15.38	13.44	2.00	4.79	15.21	9.45	1.78	1.35
Unsatisfactory public transportation .....	.46	--	--	--	3.49	2.16	1.37	.32	.35	--	1.57	--	--
Not reported .....	--	--	--	--	--	--	--	--	--	--	--	--	--
Household uses it less than weekly .....	15.07	8.07	1.22	18.25	21.03	25.30	15.10	18.17	8.64	15.20	31.61	8.99	12.01
Satisfactory public transportation .....	13.92	5.23	1.22	18.25	16.59	22.59	14.58	17.33	6.93	13.19	29.36	8.56	10.03
Unsatisfactory public transportation .....	.85	1.37	--	--	4.44	2.71	.52	.62	1.71	2.01	1.96	.27	1.35
Not reported .....	.29	--	--	--	--	--	--	.23	--	--	.30	.16	.63
Household does not use .....	35.90	22.68	8.34	8.09	19.83	28.70	32.14	36.94	29.28	23.13	50.90	34.72	32.83
Not reported .....	.39	--	--	--	1.52	.39	.53	.23	.34	.79	.55	.12	.40
No public transportation .....	43.16	68.41	88.30	70.74	38.42	27.51	36.89	41.16	56.07	45.68	4.65	53.53	52.76
Not reported .....	1.10	.37	--	--	4.85	.58	.53	1.20	.54	--	1.27	.86	.65
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	86.93	90.21	71.15	48.00	71.44	84.93	89.74	84.36	87.83	71.29	86.38	90.35	88.82
Less than 1 mile .....	67.73	53.74	42.79	29.40	55.77	69.91	74.00	67.02	64.60	55.78	76.12	72.36	59.37
1 mile or more .....	19.02	36.00	28.36	18.60	15.67	15.02	15.73	17.08	22.84	15.51	10.12	17.73	29.45
Not reported .....	.19	.47	--	--	--	--	--	.28	.39	--	.14	.26	--
Unsatisfactory neighborhood shopping .....	11.30	9.42	28.85	52.00	23.75	13.48	9.05	13.14	9.38	27.54	12.05	8.27	6.26
Not reported or don't know .....	1.77	.37	--	--	4.81	1.59	1.21	2.50	2.79	1.17	1.57	1.38	4.92

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 3-4. Neighborhood Quality—Renter Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>450.2</b>	<b>30.2</b>	<b>9.1</b>	<b>6.8</b>	<b>33.5</b>	<b>93.4</b>	<b>72.0</b>	<b>36.7</b>	<b>217.3</b>	<b>75.4</b>	<b>223.4</b>	<b>122.1</b>	<b>35.9</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	37.42	33.54	26.84	45.79	50.33	41.24	33.25	24.10	35.27	37.02	43.03	31.94	30.25
Neighborhood crime .....	35.53	28.27	9.12	42.18	41.48	38.10	29.54	26.61	30.13	33.93	49.35	24.60	17.90
Any condition(s) .....	52.93	49.47	32.38	56.24	64.21	56.70	45.33	39.54	46.67	48.89	62.81	44.61	38.38
Both conditions present .....	20.02	12.33	3.58	31.73	27.59	22.64	17.47	11.18	18.73	22.05	29.47	11.93	9.77
No conditions present .....	45.89	50.53	62.85	43.76	32.90	42.47	53.20	59.51	52.43	49.55	36.27	53.91	60.05
Not reported .....	1.17	-	4.78	-	2.89	.84	1.47	.95	.90	1.55	.82	1.49	1.58
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	18.27	11.56	16.09	23.95	23.93	20.83	12.31	4.29	17.77	19.93	20.79	16.21	13.85
Neighborhood crime .....	24.35	19.63	3.58	36.23	29.38	22.40	18.83	16.91	20.63	20.08	33.62	17.14	9.30
Unsatisfactory neighborhood shopping .....	8.55	18.25	21.88	11.98	18.06	13.21	8.54	9.94	8.61	12.80	9.33	5.63	11.35
Unsatisfactory public elementary school .....	3.38	5.09	-	3.21	5.98	2.94	2.69	-	3.30	4.32	2.77	3.64	2.55
Unsatisfactory public transportation .....	3.18	-	-	7.45	7.77	6.84	1.38	3.19	2.45	3.75	5.24	1.94	.71
Any condition(s) .....	42.28	45.02	37.97	51.82	54.68	44.49	33.36	25.26	39.53	38.68	48.73	34.78	32.27
Two or more conditions .....	13.20	9.51	3.58	23.56	22.48	17.30	8.50	7.13	10.90	17.12	19.20	8.53	5.48
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	8.78	3.74	7.16	15.78	13.74	13.10	7.50	.58	7.89	10.44	11.48	6.82	4.91
Neighborhood crime .....	11.35	8.39	3.58	22.04	18.12	15.39	10.60	4.20	9.98	13.68	18.11	6.22	-
Unsatisfactory public elementary school .....	1.91	.92	-	3.21	4.05	1.65	1.52	-	1.74	2.73	2.11	1.64	1.74
Any condition(s) .....	16.38	12.15	7.16	30.38	23.48	22.05	15.30	4.20	14.68	17.83	22.82	10.94	5.69
Two or more conditions .....	4.97	.90	3.58	10.68	10.07	7.33	3.89	.56	4.18	7.88	8.10	2.65	.96
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	1.22	-	4.78	-	2.89	.84	1.78	.95	1.01	1.84	.82	1.67	1.58
Neighborhood crime .....	1.90	1.89	4.78	-	2.89	1.38	2.53	.95	2.00	1.84	1.47	2.76	2.29
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	36.38	25.34	40.95	38.38	44.04	44.78	62.97	3.96	38.80	53.28	33.93	44.48	23.29
Satisfactory public elementary school .....	26.66	18.30	40.95	31.68	33.37	35.47	47.33	3.96	26.80	41.64	24.28	33.80	17.02
Unsatisfactory public elementary school .....	3.38	5.09	-	3.21	5.98	2.94	2.69	-	3.30	4.32	2.77	3.64	2.55
So bothered they want to move .....	1.91	.82	-	3.21	4.05	1.65	1.52	-	1.74	2.73	2.11	1.64	1.74
Not reported .....	.23	.89	-	-	-	.58	.69	-	.25	.36	.34	.22	-
Not reported or don't know .....	6.34	1.95	-	3.51	4.69	6.37	12.95	-	8.71	7.33	6.88	7.03	3.73
Public elementary school less than 1 mile .....	23.98	16.60	8.93	17.84	29.57	32.08	44.49	2.34	23.92	37.57	23.79	31.25	11.78
Public elementary school 1 mile or more .....	9.75	8.74	24.30	20.73	10.53	11.03	11.32	1.62	11.33	12.64	7.30	10.70	9.99
Not reported .....	2.64	-	7.72	-	3.94	1.67	7.16	-	3.55	3.07	2.84	2.53	1.52
Households without children aged 0-16 .....	63.62	74.66	59.05	61.82	55.96	55.22	37.03	96.04	61.20	46.72	66.07	55.52	76.71
Households with children aged 4-16 .....	27.60	21.60	40.95	30.11	38.05	38.33	46.51	3.96	26.68	43.29	24.14	35.92	19.94
Attend public school (K-12) .....	22.60	16.50	33.23	20.73	31.92	34.44	40.22	3.96	20.82	36.58	20.30	30.08	14.17
Attend private school (K-12) .....	2.69	4.20	-	4.85	3.11	1.66	.94	-	3.23	1.00	1.66	2.49	3.44
Attend ungraded school, preschool, etc .....	.23	-	-	-	-	-	-	-	.17	-	-	.30	.81
Does not attend school .....	1.58	.90	7.72	4.53	.71	1.95	2.90	-	1.46	3.35	1.63	1.93	.71
Not reported .....	1.02	-	-	-	2.31	.53	2.45	-	1.22	2.38	.86	1.49	1.53
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	68.60	58.03	10.74	62.70	67.73	81.16	71.01	59.72	67.31	68.22	90.86	50.81	56.73
Household uses it at least weekly .....	10.90	2.85	3.58	28.36	15.70	23.54	15.93	6.82	10.38	20.35	17.13	5.32	7.20
Satisfactory public transportation .....	9.87	2.85	3.58	24.42	13.65	20.43	15.26	6.16	9.39	18.10	15.37	4.78	7.20
Unsatisfactory public transportation .....	1.02	-	-	3.94	2.05	3.11	.87	.66	1.00	2.25	1.76	.55	-
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly .....	18.64	9.23	3.58	11.89	27.28	24.68	24.14	19.89	15.74	22.61	28.73	9.86	10.26
Satisfactory public transportation .....	16.23	7.43	3.58	8.37	20.74	20.44	23.43	17.36	14.11	21.10	24.81	8.70	9.54
Unsatisfactory public transportation .....	2.10	-	-	3.51	5.72	3.53	.71	2.53	1.46	1.50	3.47	1.16	.71
Not reported .....	.31	1.80	-	-	.81	.71	-	.18	-	-	.45	-	-
Household does not use .....	37.54	39.33	3.58	22.45	21.12	29.34	30.03	30.55	40.41	22.00	42.44	35.22	38.55
Not reported .....	1.52	6.62	-	-	3.64	3.60	.90	2.46	.77	3.27	2.56	.41	.71
No public transportation .....	29.48	41.04	89.26	37.30	29.07	18.00	25.96	38.58	30.55	30.23	7.85	46.88	40.15
Not reported .....	1.92	.92	-	3.20	-	.84	3.03	1.69	2.14	1.55	1.30	2.31	3.12
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	89.86	81.75	78.12	88.02	79.43	85.41	88.87	89.11	90.19	85.65	89.49	92.32	87.08
Less than 1 mile .....	78.21	60.82	62.18	70.49	65.54	76.72	74.19	69.98	79.99	73.77	78.96	82.04	76.02
1 mile or more .....	11.39	20.93	15.93	17.53	13.89	8.69	14.35	17.32	10.10	11.56	10.30	10.06	11.06
Not reported .....	.26	-	-	-	-	-	.33	1.81	.11	.32	.23	.22	-
Unsatisfactory neighborhood shopping .....	6.55	18.25	21.88	11.98	18.06	13.21	6.54	9.94	8.61	12.80	9.33	5.63	11.35
Not reported or don't know .....	1.59	-	-	-	2.51	1.38	2.58	.95	1.20	1.55	1.17	2.05	1.58

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 4-4. Neighborhood Quality—Occupied Units with Black Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	150.8	57.4	93.4	11.0	1.4	1.1	15.6	14.2	49.7	29.2	102.7	35.3	4.2
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	38.87	35.00	41.24	23.18	-	83.82	64.35	57.19	35.98	44.33	46.21	23.30	20.50
Neighborhood crime.....	38.78	39.87	38.10	10.06	100.00	41.63	44.21	43.55	39.18	45.53	48.84	18.38	5.88
Any condition(s).....	55.88	54.54	56.70	30.55	100.00	83.82	72.79	67.37	53.38	59.19	65.01	37.69	26.38
Both conditions present.....	21.78	20.34	22.64	2.68	-	41.63	35.77	33.37	21.80	30.68	30.04	3.96	-
No conditions present.....	43.39	44.89	42.47	69.45	-	16.18	27.21	32.63	46.09	40.81	34.18	61.54	73.62
Not reported.....	.74	.58	.84	-	-	-	-	-	.55	-	.82	.77	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	19.52	17.39	20.83	-	-	61.21	40.09	27.90	18.61	29.50	24.18	11.01	6.94
Neighborhood crime.....	22.72	23.25	22.40	2.44	-	25.35	27.39	26.27	23.10	26.78	30.74	7.02	-
Unsatisfactory neighborhood shopping.....	13.31	13.48	13.21	23.21	-	32.45	24.21	16.36	9.63	19.53	16.47	6.06	6.94
Unsatisfactory public elementary school.....	3.09	3.33	2.94	-	-	-	1.53	-	2.95	3.96	3.36	2.79	-
Unsatisfactory public transportation.....	5.97	4.86	6.64	-	-	25.35	10.69	3.74	5.52	5.46	7.42	3.92	-
Any condition(s).....	42.39	38.97	44.49	23.21	-	77.39	60.27	47.43	39.81	47.82	51.08	26.93	13.87
Two or more conditions.....	17.22	17.09	17.30	2.44	-	41.63	32.56	21.62	15.40	27.71	23.75	3.87	-
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	10.91	7.35	13.10	-	-	41.63	21.69	8.87	10.67	17.81	14.28	5.08	-
Neighborhood crime.....	12.20	7.01	15.39	2.44	-	25.35	22.39	9.84	14.06	21.27	17.40	1.53	-
Unsatisfactory public elementary school.....	1.19	.45	1.65	-	-	-	1.53	-	1.50	1.53	1.50	.74	-
Any condition(s).....	17.75	10.74	22.05	2.44	-	41.63	29.72	14.69	17.75	26.59	23.80	6.59	-
Two or more conditions.....	6.09	4.07	7.33	-	-	25.35	15.89	4.02	7.52	13.31	8.69	.76	-
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.74	.58	.84	-	-	-	-	-	.55	-	.82	.77	-
Neighborhood crime.....	1.07	.58	1.38	-	-	-	-	-	1.57	-	1.31	.77	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	45.91	47.75	44.78	59.41	100.00	19.58	44.46	9.62	43.79	50.44	42.38	57.91	70.28
Satisfactory public elementary school.....	37.48	40.74	35.47	59.41	100.00	19.58	41.18	9.62	34.06	44.04	34.83	45.34	62.87
Unsatisfactory public elementary school.....	3.09	3.33	2.94	-	-	-	1.53	-	2.95	3.96	3.36	2.79	-
So bothered they want to move.....	1.19	.45	1.65	-	-	-	1.53	-	1.50	1.53	1.50	.74	-
Not reported.....	.36	-	.58	-	-	-	-	-	.55	.92	.26	.77	-
Not reported or don't know.....	5.34	3.68	6.37	-	-	-	1.75	-	6.78	2.45	4.18	9.79	7.42
Public elementary school less than 1 mile.....	32.39	32.89	32.08	49.80	-	19.58	32.00	7.90	28.88	40.21	31.79	36.65	45.87
Public elementary school 1 mile or more.....	12.06	13.75	11.03	9.62	100.00	-	12.46	1.71	12.88	10.24	9.34	19.56	16.99
Not reported.....	1.46	1.11	1.67	-	-	-	-	-	2.03	-	1.25	1.70	7.42
Households without children aged 0-16.....	54.09	52.25	55.22	40.59	-	80.42	55.54	90.38	56.21	49.56	57.62	42.09	29.72
Households with children aged 4-16.....	40.35	43.62	38.33	57.04	100.00	19.58	38.20	9.62	36.16	42.81	36.65	51.78	70.28
Attend public school (K-12).....	35.47	37.14	34.44	54.66	100.00	19.58	36.70	9.62	31.07	38.92	32.03	45.28	62.87
Attend private school (K-12).....	2.82	4.73	1.68	4.60	-	-	1.50	-	2.02	-	2.29	4.71	5.88
Attend ungraded school, preschool, etc.....	.18	.47	-	-	-	-	-	-	-	-	-	.76	-
Does not attend school.....	2.00	2.06	1.95	-	-	-	-	-	3.06	3.88	2.32	1.80	-
Not reported.....	.53	.54	.53	-	-	-	-	-	.48	-	.48	-	7.42
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	77.64	71.92	81.16	51.06	-	83.82	65.70	88.71	78.89	81.99	95.13	33.71	68.39
Household uses it at least weekly.....	21.26	17.54	23.54	7.83	-	61.21	29.08	19.95	20.80	34.49	28.58	6.04	14.35
Satisfactory public transportation.....	18.51	15.38	20.43	7.83	-	35.86	24.01	18.24	17.92	30.23	24.95	4.80	14.35
Unsatisfactory public transportation.....	2.75	2.16	3.11	-	-	25.35	5.07	1.71	2.88	4.27	3.61	1.24	-
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	24.92	25.30	24.68	12.68	-	-	30.34	43.61	21.93	25.35	31.84	8.55	17.28
Satisfactory public transportation.....	21.26	22.59	20.44	10.20	-	-	24.73	41.57	18.50	24.16	27.77	5.87	17.28
Unsatisfactory public transportation.....	3.22	2.71	3.53	-	-	-	5.61	2.04	2.65	1.19	3.80	2.68	-
Not reported.....	.44	-	.71	2.48	-	-	-	-	.79	-	.28	-	-
Household does not use.....	29.09	28.70	29.34	25.68	-	22.61	19.93	21.97	33.79	16.56	31.23	19.12	36.77
Not reported.....	2.38	.39	3.60	4.88	-	-	6.35	3.18	2.37	5.58	3.49	-	-
No public transportation.....	21.62	27.51	18.00	48.94	100.00	16.18	14.30	11.29	20.56	18.01	4.06	65.52	31.61
Not reported.....	.74	.58	.84	-	-	-	-	-	.55	-	.82	.77	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	85.23	84.83	85.41	78.79	100.00	67.55	75.79	81.74	89.34	80.47	82.17	91.64	93.06
Less than 1 mile.....	74.13	69.91	76.72	59.78	100.00	67.55	59.87	64.84	77.84	66.68	73.44	76.34	79.50
1 mile or more.....	11.10	15.02	8.69	17.01	-	-	15.92	16.91	11.40	13.79	8.73	15.30	13.58
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Unsatisfactory neighborhood shopping.....	13.31	13.48	13.21	23.21	-	32.45	24.21	16.36	9.63	19.53	16.47	6.06	6.94
Not reported or don't know.....	1.46	1.59	1.38	-	-	-	-	1.90	1.03	-	1.38	2.30	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	119.5	47.5	72.0	5.4	5.4	2.7	14.6	6.3	46.2	24.1	60.9	38.5	5.3
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	29.34	23.42	33.25	4.84	5.99	36.67	40.92	54.25	28.17	29.75	37.92	20.89	9.64
Neighborhood crime.....	28.21	26.18	29.54	9.45	—	20.55	30.38	31.14	22.39	26.65	39.93	16.32	13.68
Any condition(s).....	42.79	38.95	45.33	9.45	5.99	44.84	51.23	62.76	37.11	41.78	53.38	32.50	23.32
Both conditions present.....	14.76	10.65	17.47	4.94	—	12.37	20.07	22.63	13.46	14.62	24.46	4.71	—
No conditions present.....	58.11	60.52	53.20	90.55	94.01	55.16	43.37	37.24	61.89	57.20	45.80	66.13	71.18
Not reported.....	1.10	.53	1.47	—	—	—	5.40	—	1.01	1.02	.82	1.37	5.50
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	13.05	14.19	12.31	—	5.99	36.67	22.26	28.69	11.38	10.69	18.82	8.66	—
Neighborhood crime.....	18.38	17.69	18.83	9.45	—	20.55	25.02	17.60	14.63	14.87	27.31	7.99	13.68
Unsatisfactory neighborhood shopping.....	8.74	9.05	8.54	—	12.92	—	17.65	10.99	10.29	16.89	8.36	8.00	11.74
Unsatisfactory public elementary school.....	2.73	2.78	2.69	4.94	—	8.17	6.65	—	1.76	3.59	4.44	1.44	—
Unsatisfactory public transportation.....	1.58	1.88	1.38	4.51	—	—	6.10	5.14	1.70	1.89	2.26	.71	4.68
Any condition(s).....	34.27	35.66	33.36	13.97	18.91	44.84	48.18	43.51	31.86	36.96	43.07	23.78	30.07
Two or more conditions.....	8.25	7.87	8.50	4.94	—	20.55	19.13	18.92	6.81	7.38	14.28	3.04	—
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	5.66	2.86	7.50	—	5.99	12.37	9.80	5.22	5.53	5.59	9.35	2.14	—
Neighborhood crime.....	8.33	4.88	10.60	4.94	—	20.55	14.09	5.22	7.25	7.52	14.59	.71	—
Unsatisfactory public elementary school.....	.91	—	1.52	—	—	8.17	4.41	—	.50	2.66	1.79	—	—
Any condition(s).....	11.59	5.98	15.30	4.94	5.99	20.55	18.58	5.22	11.09	12.18	19.25	2.84	—
Two or more conditions.....	3.04	1.77	3.89	—	—	20.55	7.57	5.22	2.19	2.29	5.97	—	—
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	1.28	.53	1.78	—	—	—	5.40	—	1.48	1.93	.82	1.94	5.50
Neighborhood crime.....	1.73	.53	2.53	5.01	—	—	5.40	—	2.09	1.02	1.84	1.37	10.37
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	63.61	64.57	62.97	46.60	58.38	75.14	68.03	10.52	62.24	83.56	62.79	67.67	57.14
Satisfactory public elementary school.....	49.70	53.29	47.33	41.66	32.26	58.01	46.05	10.52	45.31	69.06	46.37	54.42	46.78
Unsatisfactory public elementary school.....	2.73	2.78	2.69	4.94	—	8.17	6.65	—	1.76	3.59	4.44	1.44	—
So bothered they want to move.....	.91	—	1.52	—	—	8.17	4.41	—	.50	2.66	1.79	—	—
Not reported.....	.68	.66	.69	4.94	—	—	—	—	1.26	—	1.34	—	—
Not reported or don't know.....	11.18	8.49	12.95	—	28.10	8.96	15.33	—	15.17	10.91	11.98	11.82	10.37
Public elementary school less than 1 mile.....	45.53	47.10	44.49	32.76	41.05	46.01	46.14	5.38	42.14	65.98	45.59	53.61	16.95
Public elementary school 1 mile or more.....	13.31	16.32	11.32	9.03	4.39	29.13	10.87	5.14	10.71	13.64	12.13	12.69	24.86
Not reported.....	4.77	1.15	7.16	4.81	12.92	—	11.01	—	9.39	3.94	5.07	1.37	15.33
Households without children aged 0-16.....	36.39	35.43	37.03	53.40	41.64	24.86	31.97	89.48	37.76	16.44	37.21	32.33	42.86
Households with children aged 4-16.....	49.29	53.52	46.51	36.85	32.26	83.03	58.71	10.52	43.60	74.90	46.89	53.68	42.53
Attend public school (K-12).....	41.89	44.42	40.22	18.65	19.34	63.03	43.33	5.14	36.25	68.12	40.87	45.20	30.38
Attend private school (K-12).....	2.28	4.32	.94	—	—	—	4.49	5.38	1.40	—	3.01	2.32	—
Attend ungraded school, preschool, etc.....	.52	1.30	—	—	—	—	—	—	.76	—	—	.70	6.66
Does not attend school.....	3.12	3.46	2.90	18.21	12.92	—	1.64	—	2.53	2.81	2.28	4.28	—
Not reported.....	1.71	.60	2.45	—	—	—	7.26	—	2.67	3.97	1.19	1.18	5.50
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	67.66	62.58	71.01	28.80	16.15	68.29	73.51	83.17	70.56	68.55	92.88	42.70	61.84
Household uses it at least weekly.....	15.49	14.81	15.93	—	18.15	20.66	26.28	14.44	16.92	25.79	22.65	9.01	9.53
Satisfactory public transportation.....	14.54	13.44	15.26	—	16.15	20.66	23.82	9.30	16.34	24.89	20.79	9.01	9.53
Unsatisfactory public transportation.....	.85	1.37	.67	—	—	—	4.46	5.14	.58	.90	1.87	—	—
Not reported.....	—	—	—	—	—	—	—	—	—	—	—	—	—
Household uses it less than weekly.....	20.54	15.10	24.14	14.54	—	33.52	31.65	28.10	18.96	22.98	34.35	5.45	13.75
Satisfactory public transportation.....	19.81	14.58	23.43	10.02	—	33.52	30.01	28.10	17.84	21.99	33.95	4.74	9.09
Unsatisfactory public transportation.....	.63	.52	.71	4.51	—	—	1.64	—	1.12	.99	.39	.71	4.66
Not reported.....	—	—	—	—	—	—	—	—	—	—	—	—	—
Household does not use.....	30.87	32.14	30.03	14.26	—	12.11	13.59	40.63	34.68	18.15	35.46	28.25	33.69
Not reported.....	.76	.53	.90	—	—	—	—	—	—	1.63	.42	—	4.87
No public transportation.....	30.31	36.89	25.96	71.20	83.85	33.71	17.39	16.83	27.27	30.43	5.93	53.62	32.66
Not reported.....	2.04	.53	3.03	—	—	—	9.10	—	2.17	1.02	1.20	3.68	5.50
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	89.22	89.74	88.87	100.00	87.08	100.00	72.61	89.01	88.71	82.09	89.93	89.12	82.77
Less than 1 mile.....	74.11	74.00	74.19	67.66	82.69	88.67	66.23	76.37	75.50	69.95	78.91	72.47	64.49
1 mile or more.....	14.90	15.73	14.35	32.34	4.39	33.33	6.38	12.64	12.69	11.15	12.62	16.64	18.28
Not reported.....	.20	—	.33	—	—	—	—	—	.52	.99	.39	—	—
Unsatisfactory neighborhood shopping.....	8.74	9.05	8.54	—	12.92	—	17.65	10.99	10.29	16.89	8.36	8.00	11.74
Not reported or don't know.....	2.04	1.21	2.58	—	—	—	9.74	—	1.01	1.02	1.71	2.88	5.50

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 6-1. General Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	1 093.1	938.8	534.0	404.9	154.3	40.4	24.4	10.1	14.3	16.0
<b>Units in Structure</b>										
1, detached.....	628.3	584.9	484.7	100.2	41.4	12.5	9.4	5.6	3.9	3.1
1, attached.....	25.0	19.3	12.0	7.3	5.6	1.4	-	-	-	1.4
2 to 4.....	75.1	59.5	9.4	50.0	15.6	5.1	2.5	-	2.5	2.6
5 to 9.....	112.8	83.5	2.2	81.3	29.4	2.5	1.1	-	1.1	1.4
10 to 19.....	139.2	103.8	2.5	101.3	35.4	5.8	2.5	-	2.5	3.3
20 to 49.....	65.1	47.7	.3	47.4	17.4	2.7	1.4	-	1.4	1.3
50 or more.....	16.8	10.8	.9	9.9	6.0	.8	.3	-	.3	.5
Mobile home or trailer.....	32.8	29.4	22.0	7.4	3.4	9.6	7.2	4.6	2.6	2.4
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994.....	-	-	-	-	-	-	-	-	-	-
1985 to 1989.....	162.7	140.8	76.6	64.0	22.1	2.7	2.7	2.4	.3	-
1980 to 1984.....	211.1	170.5	78.1	92.4	40.6	4.3	2.9	2.4	.5	1.4
1975 to 1979.....	126.3	110.4	66.7	43.7	15.9	5.6	4.4	2.1	2.3	1.2
1970 to 1974.....	119.0	102.4	58.2	44.1	16.6	3.3	5.2	-	1.6	1.7
1960 to 1969.....	211.2	184.4	110.7	73.7	26.6	9.1	5.2	1.2	4.0	3.8
1950 to 1959.....	127.9	115.1	76.4	36.8	12.7	6.1	2.0	.6	1.3	4.1
1940 to 1949.....	65.9	58.5	35.6	22.9	7.4	4.2	1.8	-	1.8	2.4
1930 to 1939.....	42.7	35.7	17.7	18.0	7.0	2.3	.9	-	.9	1.4
1920 to 1929.....	15.1	12.7	6.5	4.2	2.4	1.3	1.3	.6	.6	-
1919 or earlier.....	11.3	8.5	5.5	3.0	2.8	1.5	1.5	.8	.6	-
Median.....	1973	1973	1971	1975	1976	1965	1969	1979	1964	1960
<b>Rooms</b>										
1 room.....	3.1	2.8	-	2.8	.2	.3	.3	-	.3	-
2 rooms.....	13.7	8.1	.3	7.7	5.6	.3	-	-	-	.3
3 rooms.....	145.2	110.8	4.1	106.7	34.3	7.8	4.0	.4	3.6	3.9
4 rooms.....	225.9	177.9	40.8	137.1	48.0	11.5	7.6	3.7	3.8	3.9
5 rooms.....	239.9	200.7	120.2	80.5	39.2	11.0	5.0	1.7	3.3	6.0
6 rooms.....	208.1	192.8	149.5	43.4	15.3	4.1	3.5	3.2	.4	.6
7 rooms.....	124.8	120.0	102.2	17.8	4.8	4.7	3.8	.8	3.0	.8
8 rooms.....	84.5	80.9	74.2	6.7	3.6	.7	.3	.3	-	.5
9 rooms.....	31.1	28.9	27.7	1.2	2.2	-	-	-	-	-
10 rooms or more.....	16.8	15.8	15.0	.8	1.0	-	-	-	-	-
Median.....	5.2	5.3	6.2	4.1	4.3	4.5	4.8	5.0	4.4	4.5
<b>Bedrooms</b>										
None.....	13.1	8.0	-	8.0	4.1	.3	.3	-	.3	-
1.....	227.3	170.0	9.7	160.3	57.2	8.9	4.4	.4	4.1	4.4
2.....	308.8	250.9	99.2	151.7	57.9	15.1	9.8	4.3	5.5	5.3
3.....	407.7	378.2	305.4	72.8	29.5	15.2	9.4	5.2	4.1	5.8
4 or more.....	136.3	130.7	119.7	11.1	5.6	1.0	.6	.2	.4	.5
Median.....	2.5	2.6	3.0	1.7	1.8	2.2	2.3	2.6	2.0	2.2
<b>Complete Bathrooms</b>										
None.....	2.1	1.6	.3	1.4	.5	-	-	-	-	-
1.....	447.4	357.4	108.4	249.0	90.0	23.9	12.7	4.9	7.6	11.2
1 and one-half.....	104.0	88.9	49.9	39.0	15.1	6.1	3.1	.9	2.2	3.0
2 or more.....	539.6	490.9	375.4	115.5	48.7	10.4	6.6	4.3	4.3	1.8
<b>Air Conditioning</b>										
No air conditioning.....	38.2	18.7	7.8	11.0	19.5	10.3	3.2	1.7	1.5	7.1
With air conditioning.....	1 054.9	920.1	526.2	393.9	134.8	30.1	21.3	8.5	12.8	8.9
Central.....	894.6	773.0	443.0	330.0	121.6	19.6	12.3	5.2	7.1	7.3
1 room unit.....	65.3	56.9	29.9	27.0	8.4	2.6	1.2	-	1.2	1.3
2 room units.....	65.0	61.0	34.9	26.1	4.0	6.7	6.5	2.5	4.0	.2
3 room units or more.....	30.0	29.2	18.5	10.7	.8	1.3	1.3	.8	.5	-
<b>Main Heating Equipment</b>										
Warm-air furnace.....	881.9	761.9	438.8	323.1	120.0	23.0	13.7	6.1	7.6	9.3
Steam or hot water system.....	3.4	2.4	.9	1.6	1.0	.5	.3	-	.3	.3
Electric heat pump.....	28.4	23.7	14.4	9.3	4.7	.3	.3	-	.3	-
Built-in electric units.....	22.9	17.3	2.6	14.7	5.6	.7	.4	.4	-	.3
Floor, wall, or other built-in hot air units without ducts.....	43.5	37.0	19.1	17.9	6.5	4.8	2.8	.3	2.5	2.0
Room heaters with flue.....	22.1	19.4	11.2	8.1	2.8	.7	.4	-	.4	.3
Room heaters without flue.....	48.7	42.9	25.3	17.6	5.9	5.8	5.2	2.9	2.3	.6
Portable electric heaters.....	4.6	4.3	3.3	1.0	.3	.4	.4	.4	-	-
Stoves.....	14.4	13.0	8.0	4.9	1.4	.8	.6	-	.6	-
Fireplaces with inserts.....	2.0	1.7	1.5	.3	.2	-	-	-	-	-
Fireplaces without inserts.....	1.8	1.8	1.2	.6	.8	-	-	-	-	-
Other.....	14.5	12.4	7.0	5.4	2.1	1.1	.4	-	.4	.7
None.....	4.7	.8	.6	.2	3.9	2.6	-	-	-	2.6
<b>Main House Heating Fuel</b>										
Housing units with heating fuel.....										
Electricity.....	1 068.4	938.0	533.4	404.8	150.4	37.6	24.4	10.1	14.3	13.4
Piped gas.....	542.1	450.7	169.0	281.7	91.4	12.9	8.7	3.1	5.7	4.1
Bottled gas.....	485.9	432.0	329.0	103.8	53.2	15.1	6.6	1.8	4.8	8.5
Fuel oil.....	25.6	24.5	19.2	5.3	1.1	5.6	5.4	4.9	.5	.2
Kerosene or other liquid fuel.....	10.2	9.2	2.4	6.7	1.1	2.7	2.7	-	2.7	-
Coal or coke.....	2.0	1.3	1.3	-	.7	.9	.3	.3	-	.6
Wood.....	.3	.3	-	.3	-	-	-	-	-	-
Solar energy.....	18.2	16.5	10.7	5.8	1.7	.6	.6	-	.6	-
Other.....	4.0	2.8	1.8	1.0	1.2	-	-	-	-	-

**Table 6-1. General Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
Total.....	---	938.8	534.0	404.9	---	---	24.4	10.1	14.3	---
<b>Race and Origin</b>										
White.....	---	776.9	470.2	306.7	---	---	16.2	8.4	7.8	---
Non-Hispanic.....	---	707.4	441.5	285.9	---	---	15.1	8.4	6.7	---
Hispanic.....	---	69.5	28.7	40.7	---	---	1.0	-	1.0	---
Black.....	---	133.7	51.3	82.4	---	---	7.0	-1.0	6.0	---
Other.....	---	28.3	12.5	15.8	---	---	1.3	.7	.6	---
Total Hispanic.....	---	82.1	33.1	48.9	---	---	1.6	-	1.6	---
<b>Persons Per Room</b>										
0.50 or less.....	---	630.1	374.5	255.6	---	---	14.0	7.3	6.7	---
0.51 to 1.00.....	---	276.5	148.8	127.7	---	---	7.8	2.4	5.3	---
1.01 to 1.50.....	---	25.1	8.5	16.6	---	---	1.8	.4	1.5	---
1.51 or more.....	---	7.1	2.1	4.9	---	---	.9	-	.9	---
<b>Selected Subareas<sup>2</sup></b>										
Area one.....	---	380.6	176.3	204.3	---	---	11.0	1.7	9.4	---
Area two.....	---	318.4	200.8	117.6	---	---	4.2	2.3	1.8	---
Area three.....	---	90.2	57.9	32.3	---	---	1.0	1.0	-	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

<sup>2</sup>See inside back cover for details.

**Table 6-2. Quality Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	1 093.1	938.8	534.0	404.9	154.3	40.4	24.4	10.1	14.3	16.0
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	5.8	4.2	2.2	2.0	1.6	.3	-	-	-	.3
Missing roofing material .....	10.1	8.1	5.9	2.3	1.9	2.8	1.7	1.7	-	1.1
Hole in roof .....	1.7	.6	-	.6	1.1	1.1	-	-	-	1.1
Could not see roof .....	6.0	3.3	.7	2.8	2.6	1.3	.3	-	.3	1.0
Missing bricks, siding, other outside wall material .....	12.3	9.0	4.5	4.5	3.3	2.1	.6	.3	.3	1.5
Slipping outside walls .....	2.8	2.1	1.0	1.1	.5	.5	.2	-	.2	.3
Boarded up windows .....	8.7	3.7	.3	3.4	5.0	2.7	.9	-	.9	1.8
Broken windows .....	14.0	8.6	4.0	4.7	5.4	4.1	1.5	.8	.6	2.6
Bars on windows .....	4.4	3.7	3.4	.3	.7	.5	-	-	-	.5
Foundation crumbling or has open crack or hole .....	10.3	10.1	6.5	3.6	.3	1.2	1.2	.8	.3	-
Could not see foundation .....	13.3	7.9	3.8	4.0	5.4	4.2	1.7	.8	.9	2.5
None of the above .....	1 030.8	888.7	510.5	378.2	142.1	30.8	19.2	8.1	11.1	11.6
Could not observe or not reported .....	14.7	12.5	8.3	4.1	2.2	1.5	1.2	-	1.2	.2
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	939.9	815.8	499.1	316.7	124.1	28.9	17.1	9.0	8.1	11.8
Not reported .....	3.4	2.9	1.2	1.7	.5	-	-	-	-	.8
Usable fireplace .....	518.3	486.3	326.6	139.5	52.1	4.2	3.4	2.7	.7	.8
Separate dining room .....	517.2	452.2	313.5	136.7	65.1	12.3	8.8	3.5	5.3	3.5
With 2 or more living rooms or recreation rooms, etc. ....	323.5	303.5	250.8	52.7	20.0	6.8	5.3	1.9	3.3	1.5
Garage or carport included with home .....	599.3	570.6	449.3	121.4	28.7	5.8	5.3	2.6	2.7	.5
Garage or carport not included .....	462.9	385.7	84.1	281.6	97.2	28.7	19.1	7.5	11.6	9.5
Offstreet parking included .....	438.0	346.1	78.2	267.9	92.0	26.0	17.9	7.2	10.7	8.2
Offstreet parking not reported .....	6.8	5.5	2.5	3.0	1.1	.8	.4	-	.4	.5
Garage or carport not reported .....	7.5	2.5	.8	1.9	5.0	.6	-	-	-	.6
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	50.8	27.6	23.1	...	...	3.7	.2	3.4	...
Holes in floors .....	11.2	7.3	2.9	4.5	3.9	2.9	.6	-	.6	2.3
Open cracks or holes (interior) .....	60.6	52.5	28.8	25.7	8.1	8.9	3.7	.6	3.1	5.2
Broken plaster or peeling paint (interior) .....	35.5	25.8	12.0	13.8	9.7	4.9	1.3	-	1.3	3.6
No electrical wiring .....	-	-	-	-	-	-	-	-	-	-
Exposed wiring .....	14.4	11.7	4.7	7.0	2.7	2.5	.8	-	.6	1.9
Rooms without electric outlets .....	16.3	14.3	8.3	6.0	2.0	2.3	.6	-	.6	1.7
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	24.2	20.2	10.2	10.0	4.0	.7	.4	.4	-	.3
About the same .....	943.8	812.3	462.8	349.5	131.5	25.8	15.7	5.3	10.3	10.1
Newer .....	18.1	13.4	8.4	5.0	4.7	3.1	.3	-	.3	2.7
Very mixed .....	61.0	53.2	30.2	23.0	7.8	3.8	3.5	.6	2.9	.3
No other residential buildings .....	29.6	25.3	20.0	5.3	4.2	6.9	4.3	3.8	.5	2.6
Not reported .....	17.1	13.5	6.3	7.2	3.6	.2	.2	-	.2	-
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	1 020.6	881.3	503.8	377.4	139.3	26.5	17.1	6.0	11.1	9.5
1 Building .....	19.5	14.1	7.4	6.8	5.3	.9	.8	.3	.3	.3
More than 1 building .....	14.3	7.8	1.3	6.3	6.8	6.5	2.2	-	2.2	4.3
No buildings within 300 feet .....	25.3	22.5	19.3	3.2	2.8	6.3	4.3	3.8	.5	2.0
Not reported .....	14.0	12.5	6.1	6.4	1.6	.2	.2	-	.2	-
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet .....	1 054.4	903.0	512.5	390.5	151.4	33.9	19.9	6.3	13.6	14.0
No bars on windows .....	952.1	813.5	446.5	367.0	138.6	28.8	18.7	5.3	11.4	12.1
1 building with bars .....	35.4	29.8	22.2	7.7	5.5	1.5	.9	.7	.3	.6
2 or more buildings with bars .....	57.0	50.6	38.0	12.6	6.4	3.3	2.2	.3	1.9	1.1
Not reported .....	9.8	9.0	5.8	3.2	.8	.3	-	-	-	.3
<b>Conditions of Streets</b>										
No repairs needed .....	866.9	749.0	442.4	306.6	118.0	19.6	11.3	4.3	7.0	8.2
Minor repairs needed .....	122.9	101.9	50.6	51.3	21.0	10.3	5.5	1.8	3.7	4.8
Major repairs needed .....	35.2	30.1	18.2	11.8	5.1	3.3	1.7	1.1	.6	1.6
No streets within 300 feet .....	53.5	43.3	19.9	23.3	10.3	6.8	5.4	2.9	2.5	1.4
Not reported .....	15.1	13.7	6.7	6.9	1.4	.5	.5	-	.5	-
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	918.0	797.9	487.0	331.0	120.1	20.2	11.8	6.1	5.7	8.4
Minor accumulation .....	139.1	110.3	52.6	57.7	28.7	13.8	8.4	1.7	6.7	5.4
Major accumulation .....	26.5	20.7	14.3	6.5	5.8	6.1	3.9	2.3	1.8	2.2
Not reported .....	10.1	8.9	4.0	4.9	1.2	.2	.2	-	.2	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied		Vacant	Total	Occupied		Vacant		
		Total	Owner			Renter	Total		Owner	Renter
<b>Total</b> .....	---	938.8	534.0	404.9	---	24.4	10.1	14.3	---	
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100.....	---	17.5	10.7	6.8	---	2.9	1.4	1.4	---	
\$100 to \$199.....	---	62.6	50.7	11.8	---	4.6	3.4	1.2	---	
\$200 to \$249.....	---	38.9	28.9	8.0	---	2	2	---	---	
\$250 to \$299.....	---	51.0	25.3	25.7	---	2.3	.8	1.5	---	
\$300 to \$349.....	---	63.3	16.2	47.2	---	2.3	---	2.3	---	
\$350 to \$399.....	---	78.9	20.3	58.5	---	3.3	---	3.3	---	
\$400 to \$449.....	---	74.2	20.9	53.3	---	1.5	.3	1.2	---	
\$450 to \$499.....	---	53.2	15.2	38.1	---	.5	---	.5	---	
\$500 to \$599.....	---	100.3	38.7	61.6	---	2.9	2.8	.3	---	
\$600 to \$699.....	---	62.3	32.3	30.0	---	.4	---	.4	---	
\$700 to \$799.....	---	54.2	34.7	19.6	---	.3	.3	---	---	
\$800 to \$999.....	---	78.2	57.3	20.9	---	.7	.3	.5	---	
\$1000 to \$1249.....	---	60.8	53.9	6.9	---	.5	.5	---	---	
\$1250 to \$1499.....	---	27.0	24.9	2.2	---	---	---	---	---	
\$1500 or more.....	---	42.2	39.8	2.4	---	---	---	---	---	
No cash rent.....	---	11.9	---	11.9	---	1.6	---	1.6	---	
Mortgage payment not reported.....	---	64.2	64.2	---	---	.4	.4	---	---	
Median (excludes no cash rent).....	---	494	625	436	---	327	214	349	---	
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs.....	---	---	654	---	---	---	304	---	---	
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	---	---	600	---	---	---	214	---	---	
<b>Rent Reductions</b>										
No subsidy or income reporting.....	---	---	---	370.9	---	---	---	---	---	
Rent control.....	---	---	---	---	---	---	---	---	---	
No rent control.....	---	---	---	370.9	---	---	---	---	---	
Reduced by owner.....	---	---	---	18.0	---	---	---	---	---	
Not reduced by owner.....	---	---	---	348.1	---	---	---	---	---	
Owner reduction not reported.....	---	---	---	8.8	---	---	---	---	---	
Rent control not reported.....	---	---	---	---	---	---	---	---	---	
Owned by public housing authority.....	---	---	---	11.4	---	---	---	---	---	
Other, Federal subsidy.....	---	---	---	11.8	---	---	---	---	---	
Other, State or local subsidy.....	---	---	---	4.0	---	---	---	---	---	
Other, income verification.....	---	---	---	2.4	---	---	---	---	---	
Subsidy or income verification not reported.....	---	---	---	4.3	---	---	---	---	---	
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	938.8	534.0	404.9	---	24.4	10.1	14.3	---	
<b>Household Income</b>										
Less than \$5,000.....	---	51.3	14.8	36.5	---	7.0	1.2	5.9	---	
\$5,000 to \$9,999.....	---	57.3	21.5	35.9	---	2.8	1.6	1.1	---	
\$10,000 to \$14,999.....	---	67.7	20.4	47.3	---	1.8	---	1.8	---	
\$15,000 to \$19,999.....	---	81.2	29.4	51.7	---	2.4	1.4	1.0	---	
\$20,000 to \$24,999.....	---	89.1	33.4	55.7	---	4.5	2.3	2.2	---	
\$25,000 to \$29,999.....	---	93.3	43.8	49.5	---	2.7	1.5	1.2	---	
\$30,000 to \$34,999.....	---	60.0	33.3	26.6	---	1.0	.5	.5	---	
\$35,000 to \$39,999.....	---	67.8	39.6	28.3	---	1.1	.8	.3	---	
\$40,000 to \$49,999.....	---	100.5	67.9	32.6	---	.5	.5	---	---	
\$50,000 to \$59,999.....	---	74.7	60.4	14.3	---	---	---	---	---	
\$60,000 to \$79,999.....	---	85.4	70.8	14.6	---	.6	.3	.3	---	
\$80,000 to \$99,999.....	---	44.9	37.8	7.1	---	---	---	---	---	
\$100,000 to \$119,999.....	---	23.2	21.7	1.5	---	---	---	---	---	
\$120,000 or more.....	---	42.4	39.1	3.3	---	---	---	---	---	
Median.....	---	32 455	44 533	22 786	---	16 215	21 846	10 428	---	
<b>As percent of poverty level</b>										
Less than 50 percent.....	---	39.0	8.3	30.6	---	6.2	.3	5.9	---	
50 to 99.....	---	50.3	18.5	31.8	---	3.9	2.5	1.4	---	
100 to 149.....	---	62.8	20.3	42.5	---	1.0	---	1.0	---	
150 to 199.....	---	71.4	27.0	44.4	---	3.5	1.7	1.8	---	
200 percent or more.....	---	715.4	459.8	255.6	---	9.8	5.6	4.2	---	
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000.....	---	53.7	14.8	38.9	---	7.3	1.2	6.1	---	
\$5,000 to \$9,999.....	---	62.3	22.5	39.8	---	3.3	2.5	.8	---	
\$10,000 to \$14,999.....	---	72.2	21.8	50.4	---	2.5	---	2.5	---	
\$15,000 to \$19,999.....	---	84.1	30.1	54.0	---	2.3	1.4	.9	---	
\$20,000 to \$24,999.....	---	91.8	33.3	58.5	---	3.3	1.4	1.9	---	
\$25,000 to \$29,999.....	---	93.9	45.3	48.6	---	2.7	1.5	1.2	---	
\$30,000 to \$34,999.....	---	59.4	32.7	26.8	---	.6	.5	.3	---	
\$35,000 to \$39,999.....	---	65.1	40.2	24.9	---	1.1	.8	.3	---	
\$40,000 to \$49,999.....	---	98.4	69.7	28.6	---	.5	.5	---	---	
\$50,000 to \$59,999.....	---	71.9	59.3	12.6	---	---	---	---	---	
\$60,000 to \$79,999.....	---	78.4	67.3	11.1	---	.6	.3	.3	---	
\$80,000 to \$99,999.....	---	43.9	37.0	6.9	---	---	---	---	---	
\$100,000 to \$119,999.....	---	22.2	21.4	.8	---	---	---	---	---	
\$120,000 or more.....	---	41.8	38.6	3.0	---	---	---	---	---	
Median.....	---	30 865	43 778	21 648	---	13 218	19 972	10 321	---	

**Table 6-3. Financial Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	---	---	534.0	---	---	---	---	10.1	---	---
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	---	---	12.8	---	---	---	---	2.4	---	---
\$10,000 to \$19,999 .....	---	---	11.6	---	---	---	---	2.5	---	---
\$20,000 to \$29,999 .....	---	---	19.6	---	---	---	---	2.0	---	---
\$30,000 to \$39,999 .....	---	---	18.5	---	---	---	---	-	---	---
\$40,000 to \$49,999 .....	---	---	33.5	---	---	---	---	1.4	---	---
\$50,000 to \$59,999 .....	---	---	40.4	---	---	---	---	-	---	---
\$60,000 to \$69,999 .....	---	---	56.1	---	---	---	---	.6	---	---
\$70,000 to \$79,999 .....	---	---	51.3	---	---	---	---	1.1	---	---
\$80,000 to \$99,999 .....	---	---	97.0	---	---	---	---	-	---	---
\$100,000 to \$119,999 .....	---	---	54.3	---	---	---	---	-	---	---
\$120,000 to \$149,999 .....	---	---	51.1	---	---	---	---	-	---	---
\$150,000 to \$199,999 .....	---	---	42.5	---	---	---	---	-	---	---
\$200,000 to \$249,999 .....	---	---	14.8	---	---	---	---	-	---	---
\$250,000 to \$299,999 .....	---	---	9.8	---	---	---	---	-	---	---
\$300,000 or more .....	---	---	20.8	---	---	---	---	-	---	---
Time shared units .....	---	---	-	---	---	---	---	-	---	---
Median .....	---	---	84 809	---	---	---	---	20 553	---	---

<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

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# Primary Metropolitan Statistical Area



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## Fort Worth–Arlington, TX

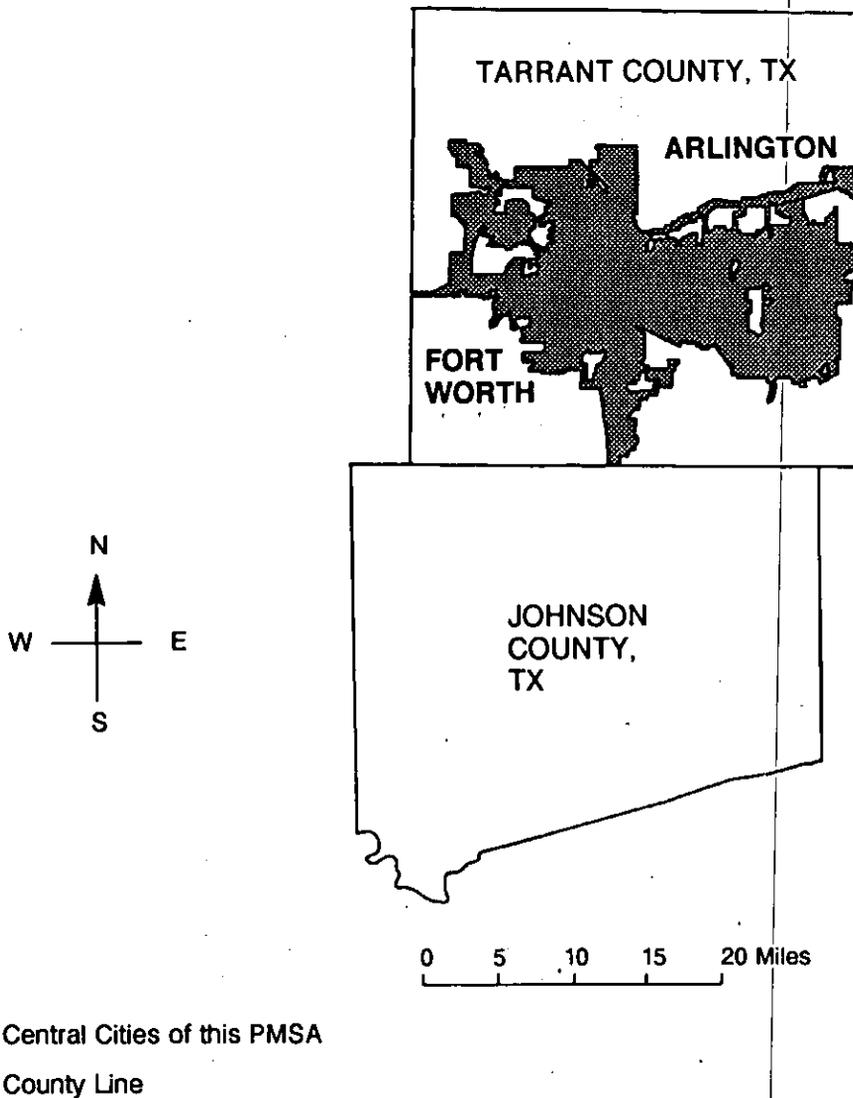


Table 1-1. General Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	White	Black			Total	White	Black	Hhldr of Hispanic origin
<b>1 Total</b>	<b>501.4</b>	<b>384.3</b>	<b>278.9</b>	<b>135.6</b>	<b>114.5</b>	<b>12.7</b>	<b>18.4</b>	<b>26.1</b>	<b>11.4</b>	<b>9.1</b>	<b>1.7</b>	<b>2.0</b>
<b>Tenure</b>												
2 Owner occupied	321.6	260.9	217.3	97.5	84.2	8.7	9.2	17.2	7.3	6.2	.6	1.3
3 Percent of all occupied	64.1	71.6	77.6	71.9	73.5	68.9	49.9	66.1	63.6	68.6	32.9	67.1
4 Renter occupied	179.8	103.3	62.6	38.1	30.3	3.9	9.2	8.9	4.2	2.9	1.1	.8
<b>Units in Structure</b>												
5 1, detached	353.5	289.1	234.0	113.9	98.1	10.5	13.3	19.5	8.6	7.5	.6	1.4
6 1, attached	11.6	6.5	4.5	2.3	2.3	-	.5	.5	-	-	-	-
7 2 to 4	27.5	14.8	9.4	4.3	3.0	.9	1.7	.7	.7	.8	.1	.2
8 5 to 9	35.3	20.1	9.9	6.2	4.8	.5	1.2	2.4	.9	.4	.5	.1
9 10 to 19	41.5	17.8	8.9	4.0	2.7	.5	.9	1.2	.9	.5	.6	.2
10 20 to 49	16.5	6.0	4.3	1.4	.5	.3	.1	.1	.1	-	-	-
11 50 or more	1.6	.3	.2	.1	.1	-	.1	.1	-	-	-	-
12 Mobile home or trailer	14.1	10.0	8.6	3.3	3.0	-	.5	.7	-	-	-	-
<b>Year Structure Built<sup>1</sup></b>												
13 1990 to 1994	37.0	28.5	24.2	14.4	12.5	.8	.7	1.1	.9	.8	.2	-
14 1985 to 1989	62.2	45.4	37.2	19.8	16.9	1.8	1.3	2.9	1.1	1.0	-	-
15 1980 to 1984	97.1	68.1	50.3	27.1	24.0	2.0	1.8	5.1	2.9	2.3	.4	-
16 1975 to 1979	54.2	40.3	32.4	17.0	14.4	1.5	1.6	2.7	.7	.5	.2	.1
17 1970 to 1974	43.2	33.9	25.6	10.9	8.8	1.6	.5	2.2	.9	.8	.3	.2
18 1960 to 1969	79.9	58.5	43.3	15.6	12.5	1.8	2.3	5.6	2.2	1.9	.3	.2
19 1950 to 1959	63.8	47.0	37.7	16.1	12.3	2.5	3.4	2.4	1.1	.8	.1	.6
20 1940 to 1949	35.1	24.1	14.3	7.3	6.3	.6	2.7	3.0	1.3	1.3	-	.8
21 1930 to 1939	18.5	12.1	8.2	5.5	5.0	.2	3.1	.4	.1	-	.1	-
22 1920 to 1929	7.4	8.0	4.7	1.4	1.4	-	.6	.5	.1	-	-	-
23 1919 or earlier	3.0	2.4	2.0	.7	.8	-	.4	.1	-	-	-	-
24 Median	1975	1975	1976	1976	1979	1974	1957	1972	1975	1975	-	-
<b>Age of Householder</b>												
25 Under 25 years	32.4	18.0	11.1	5.7	3.9	.8	3.2	.9	.2	.1	.1	.2
26 25 to 29	51.0	33.4	26.0	15.1	13.5	1.1	3.7	2.4	1.7	1.3	.4	.2
27 30 to 34	69.4	54.4	41.8	31.6	26.7	2.4	5.2	2.4	1.8	1.6	.2	.2
28 35 to 44	124.4	99.5	78.0	60.3	51.1	6.0	4.1	7.3	5.3	4.5	.6	.8
29 45 to 54	94.4	78.4	59.8	19.4	16.2	2.0	1.5	6.0	2.0	1.7	-	.5
30 55 to 64	58.9	43.8	33.7	3.4	3.0	.4	.8	4.6	.3	-	.2	-
31 65 to 74	45.8	29.2	23.4	.1	.1	-	-	1.9	.1	-	.1	-
32 75 years and over	25.2	11.6	8.1	-	-	-	-	.7	-	-	-	-
33 Median	43	43	43	38	38	38	32	45	39	39	-	-
<b>Persons 65 Years Old and Over</b>												
34 None	423.3	318.4	243.9	134.4	113.4	12.5	18.3	22.6	11.2	8.9	1.6	2.0
35 1 person	50.8	20.5	10.9	1.2	1.1	.2	.1	2.2	.3	.2	.1	-
36 2 persons or more	27.4	27.4	25.0	-	-	-	-	1.3	-	-	-	-
<b>Persons</b>												
37 1 person	113.4	...	...	...	...	...	...	...	...	...	...	...
38 2 persons	162.4	143.4	104.5	...	...	...	...	13.1	3.4	2.4	.8	.4
39 3 persons	90.4	87.1	62.9	37.6	31.5	3.1	3.6	5.6	3.7	3.2	.5	1.1
40 4 persons	83.5	82.3	70.8	61.6	52.8	5.6	6.7	3.7	2.4	2.0	.3	.5
41 5 persons	38.8	36.4	30.0	26.8	22.4	2.1	4.6	2.2	1.2	1.2	-	-
42 6 persons	10.4	10.4	7.7	7.2	5.5	1.6	2.6	1.1	.7	.3	-	-
43 7 persons or more	4.7	4.7	3.9	2.6	2.3	.2	.8	.2	-	-	-	-
44 Median	2.3	2.9	3.1	4.0	4.0	4.1	4.3	2.5	3.1	3.2	-	-
<b>Rooms</b>												
45 1 room	1.4	.4	.3	.3	.3	-	.1	-	-	-	-	-
46 2 rooms	2.1	.4	.4	.3	.2	.1	-	-	-	-	-	-
47 3 rooms	44.0	11.5	7.3	1.7	1.1	.2	1.2	.8	.3	.1	-	-
48 4 rooms	83.8	49.8	30.7	14.8	12.0	1.0	5.5	3.9	2.0	1.3	.8	.4
49 5 rooms	121.9	89.5	65.6	34.8	28.8	4.1	6.1	8.0	3.0	2.5	.3	.7
50 6 rooms	121.4	100.2	77.9	39.8	32.9	4.5	4.3	6.6	3.4	2.6	.6	.5
51 7 rooms	63.3	54.9	45.3	18.9	16.7	1.3	.5	4.3	1.3	1.2	-	.2
52 8 rooms	31.5	29.3	27.1	14.2	12.3	1.4	.9	.5	.5	.5	-	-
53 9 rooms	18.9	17.0	15.0	5.0	4.9	.2	.2	1.1	.6	.6	-	-
54 10 rooms or more	13.1	11.4	10.2	5.9	5.4	-	.5	.5	.3	.3	-	-
55 Median	5.5	5.8	6.0	5.9	6.0	5.7	4.9	5.6	5.6	5.6	-	-
<b>Persons Per Room</b>												
56 0.50 or less	326.5	199.2	151.4	33.0	28.6	2.4	1.2	16.2	5.2	4.2	1.0	.9
57 0.51 to 1.00	162.1	152.2	118.3	93.5	78.6	9.2	12.6	9.9	6.3	4.9	.7	1.1
58 1.01 to 1.50	10.4	10.4	8.8	7.8	6.3	1.0	4.3	-	-	-	-	-
59 1.51 or more	2.4	2.4	1.4	1.3	1.0	.1	.3	-	-	-	-	-

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.



Table 1-2. Financial Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households											
		Married couple							Male householder, no wife present				
		Total	With own children under 18					Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin
			Total	Race of householder		Total	White			Black	Total	Race of householder	
Total	White			Black	White							Black	
1 Total	501.4	364.3	279.9	135.6	114.5	12.7	18.4	26.1	11.4	9.1	1.7	2.0	
<b>Household Income</b>													
2 Less than \$5,000	18.1	10.8	4.7	1.6	1.2	.4	.7	.5	.2	.2	-	-	
3 \$5,000 to \$9,999	34.1	13.7	5.2	2.6	2.2	.2	.7	1.5	.5	.1	.2	-	
4 \$10,000 to \$14,999	38.8	20.3	11.1	4.9	3.1	.8	1.6	1.7	.9	.4	.5	-	
5 \$15,000 to \$19,999	38.2	20.7	13.0	5.7	4.6	.4	2.5	2.3	1.2	.9	.3	-	
6 \$20,000 to \$24,999	35.6	21.3	14.7	7.5	6.1	1.0	3.0	2.3	1.0	1.0	.3	-	
7 \$25,000 to \$29,999	49.6	35.2	23.6	9.8	7.3	1.3	2.1	2.5	1.4	1.1	.3	-	
8 \$30,000 to \$34,999	34.8	22.8	18.2	7.6	6.3	1.3	1.7	1.1	.7	.7	-	-	
9 \$35,000 to \$39,999	32.5	24.1	18.7	9.0	7.4	1.0	1.4	1.9	1.0	.8	.2	-	
10 \$40,000 to \$49,999	54.5	42.7	34.7	16.3	14.0	1.4	1.8	2.6	1.4	1.3	.1	-	
11 \$50,000 to \$59,999	41.2	35.7	30.1	16.3	14.0	1.1	.8	2.9	.5	.2	.1	-	
12 \$60,000 to \$79,999	59.1	52.3	46.8	24.7	21.2	2.9	1.2	3.7	1.4	1.2	.1	-	
13 \$80,000 to \$99,999	29.4	27.9	26.4	12.2	11.5	.3	.1	1.1	.7	.7	-	-	
14 \$100,000 to \$119,999	14.8	13.5	12.5	4.9	4.6	.2	.2	.6	.3	.3	-	-	
15 \$120,000 or more	24.8	23.0	21.2	9.3	8.5	.4	.8	1.5	.5	.3	-	-	
16 Median	35 850	43 070	49 083	49 774	51 777	39 496	26 826	38 006	34 783	36 212	-	-	
As percent of poverty level:													
17 Less than 50 percent	19.0	13.9	5.2	3.0	2.2	.4	1.3	1.2	.4	.3	-	-	
18 50 to 99	32.9	20.0	10.1	6.2	4.3	.8	2.1	1.8	.6	.3	.1	-	
19 100 to 149	42.9	27.8	17.2	10.2	8.1	1.4	4.1	2.5	1.5	.9	.7	.4	
20 150 to 199	43.4	27.6	19.6	12.4	9.4	1.8	3.2	1.7	1.1	1.1	.5	.5	
21 200 percent or more	363.3	274.8	227.7	103.9	90.4	8.2	7.7	19.0	7.7	6.5	.7	.9	
<b>Monthly Housing Costs</b>													
22 Less than \$100	4.1	2.9	.3	.2	-	.2	-	.4	.1	.1	-	-	
23 \$100 to \$199	28.1	13.5	8.4	2.4	1.8	.6	.5	1.2	.4	.2	-	-	
24 \$200 to \$249	21.6	13.6	9.8	1.6	1.3	-	.8	1.7	.5	.3	.1	.3	
25 \$250 to \$299	21.0	12.0	8.1	2.1	1.7	.4	1.1	.8	.1	.1	.1	.1	
26 \$300 to \$349	24.5	16.1	13.2	2.7	2.7	.4	.4	.9	.1	.1	.1	.1	
27 \$350 to \$399	29.8	18.2	12.7	4.3	3.1	.4	2.0	1.5	.1	.1	.1	.1	
28 \$400 to \$449	29.2	18.7	11.5	4.6	3.3	.4	2.0	2.0	.9	.7	.3	.5	
29 \$450 to \$499	33.3	22.0	15.4	6.5	5.1	.9	2.1	1.2	.7	.3	.2	.1	
30 \$500 to \$599	56.8	38.2	25.6	12.2	10.2	1.2	2.9	3.5	1.9	1.5	.3	.7	
31 \$600 to \$699	42.5	30.3	22.6	10.8	8.7	1.1	2.0	3.2	1.6	1.0	.5	.5	
32 \$700 to \$799	43.5	34.8	27.5	16.1	13.3	1.8	1.7	1.8	.8	.7	.1	.1	
33 \$800 to \$999	59.8	52.0	44.0	27.9	25.1	1.9	1.0	2.6	1.4	1.4	.1	.1	
34 \$1,000 to \$1,249	36.3	33.8	31.1	19.4	15.7	2.7	1.0	1.8	1.3	1.3	-	-	
35 \$1,250 to \$1,499	15.6	12.9	12.0	6.6	6.0	.3	.2	.5	.3	.3	-	-	
36 \$1,500 or more	21.7	20.6	19.4	10.8	10.4	.2	.2	.6	.5	.5	-	-	
37 No cash rent	9.2	5.8	2.4	.7	.6	-	.2	.9	.8	.4	.2	-	
38 Mortgage payment not reported	24.4	20.8	16.0	6.7	5.7	.7	1.1	1.5	.2	-	-	-	
39 Median (excludes no cash rent)	674	652	712	604	625	753	499	561	638	687	-	-	
<b>Median Monthly Housing Costs For Owners</b>													
40 Monthly costs including all mortgages plus maintenance costs	700	754	788	919	925	922	538	580	703	755	-	-	
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs	655	718	751	882	886	905	530	549	598	681	-	-	
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>													
42 Less than 5 percent	6.5	5.9	5.0	1.3	.9	.2	-	.6	.2	-	-	-	
43 5 to 9 percent	45.3	38.7	32.8	7.9	6.7	.7	1.2	3.6	.7	.7	.1	.1	
44 10 to 14 percent	79.0	65.4	56.7	21.5	19.6	1.0	2.9	3.2	1.0	.8	.2	.2	
45 15 to 19 percent	82.0	65.2	54.0	30.1	25.5	2.7	2.4	3.7	2.2	1.8	.1	.1	
46 20 to 24 percent	74.7	53.3	44.1	27.7	23.4	2.6	3.6	2.3	1.5	1.2	.3	.3	
47 25 to 29 percent	52.8	34.4	25.3	18.0	14.0	1.4	2.8	2.3	1.7	1.2	.3	.3	
48 30 to 34 percent	39.0	24.7	15.4	10.2	8.4	.8	2.7	1.6	1.3	.6	.3	.3	
49 35 to 39 percent	19.3	11.0	6.9	3.2	2.6	.4	.3	.9	.6	.2	.2	.2	
50 40 to 49 percent	26.7	15.6	8.2	3.7	2.4	1.0	.7	1.7	.5	.3	.2	.2	
51 50 to 59 percent	12.0	6.4	3.0	1.6	.7	.3	.4	.5	.3	.2	.1	.1	
52 60 to 69 percent	6.9	3.6	2.1	1.4	1.2	.2	.4	.3	.2	.2	.1	.1	
53 70 to 99 percent	7.4	3.7	2.1	1.8	1.4	.1	.1	.3	.3	.1	.1	.1	
54 100 percent or more <sup>1</sup>	13.4	8.0	4.7	1.2	.9	.2	.1	.2	.2	.2	-	-	
55 Zero or negative income	2.8	1.7	1.4	.8	.5	.4	.4	.2	.1	.1	-	-	
56 No cash rent	9.2	5.8	2.4	.7	.6	-	.2	.9	.8	.4	.2	-	
57 Mortgage payment not reported	24.4	20.8	16.0	6.7	5.7	.7	1.1	1.5	.2	-	-	-	
58 Median (excludes 3 previous lines)	21	19	18	21	20	22	23	19	25	24	-	-	
59 Median (excludes 4 lines before medians)	21	19	18	20	20	22	23	19	25	24	-	-	

Family households—Con.					Nonfamily households										
Female householder, no husband present					Living alone										
With own children under 18					Male				Female					Other nonfamily	
Total	Total	Race of householder		Hhldr of Hispanic origin	Total	Total	65 and over	Total	65 and over	Male	Female				
		White	Black												
58.3	35.9	23.6	11.2	4.8	137.2	50.1	5.6	63.2	24.2	15.0	8.8	1			
5.6	4.5	1.9	2.4	.9	7.3	2.0	.2	4.9	1.9	.5	—	2			
7.1	4.5	2.1	1.9	.8	20.4	8.7	2.5	13.1	8.8	.2	.4	3			
7.5	5.8	2.3	3.1	.8	16.5	4.7	1.0	9.4	5.9	1.3	1.2	4			
5.4	3.4	2.8	.7	.5	15.5	7.1	1.1	6.4	2.7	1.3	.6	5			
4.3	2.9	2.2	.7	.3	14.3	5.1	.2	7.0	2.0	1.4	.9	6			
9.2	6.0	4.3	1.6	.6	14.3	5.3	.4	7.3	.9	1.0	.7	7			
3.5	1.8	1.7	.2	.1	11.9	3.2	—	5.9	1.3	1.9	.9	8			
3.6	1.9	1.8	.2	.5	8.4	3.2	.2	3.2	.7	1.3	.7	9			
8.2	2.8	2.1	.3	.5	11.8	5.3	—	2.5	—	3.1	.9	10			
2.7	.9	.9	—	—	5.5	2.3	—	1.6	—	.5	1.2	11			
2.0	1.3	1.1	.2	.2	6.8	3.8	—	1.1	.1	1.4	.8	12			
.5	.3	.3	—	—	1.4	.2	—	.3	—	.8	.4	13			
.5	.3	.3	—	—	1.2	.5	—	.4	—	.3	—	14			
.4	—	—	—	—	1.8	1.0	—	.3	—	.3	.2	15			
24 130	19 875	25 710	12 028	16 667	23 092	24 448	10 505	18 344	11 235	34 633	33 288	16			
7.5	5.4	2.3	2.9	1.1	5.0	1.4	.2	3.1	.8	.5	—	17			
8.1	6.3	3.0	2.8	1.0	12.9	4.5	1.7	7.5	5.4	.3	.5	18			
8.1	5.1	2.5	2.8	.8	15.1	3.2	.7	9.7	5.7	1.0	1.1	19			
6.5	4.9	4.0	.9	.8	15.7	6.2	.9	7.2	4.5	1.6	.7	20			
28.1	14.2	11.8	2.2	1.5	88.5	34.7	2.0	35.8	7.9	11.6	6.5	21			
2.2	1.7	.2	1.4	.1	1.2	.2	.2	.9	.7	.1	—	22			
3.9	1.3	.7	.5	.1	14.7	3.2	2.0	10.5	8.6	.2	.7	23			
2.0	.7	.5	.2	—	8.1	3.0	1.0	4.1	2.1	.7	.2	24			
3.1	.8	.4	.3	.1	9.0	3.0	.5	5.7	3.1	.2	—	25			
2.1	1.2	.4	.4	.4	8.4	2.9	.4	4.4	2.6	.4	.4	26			
4.0	2.7	1.5	1.0	.8	11.8	5.2	.3	4.3	1.3	1.0	1.1	27			
3.2	1.4	.8	.8	.2	12.5	6.8	.8	3.8	1.0	1.5	.8	28			
5.4	4.3	2.8	1.4	.9	11.3	4.7	.2	4.7	.8	1.4	.8	29			
9.1	6.0	3.3	2.4	.5	18.6	6.8	.2	8.3	1.4	2.2	1.3	30			
4.5	3.7	3.2	.8	.5	12.3	3.8	.2	5.1	.4	2.1	1.3	31			
5.5	3.5	3.0	.8	.6	6.6	2.3	—	4.0	.7	1.5	.8	32			
.9	.5	.5	—	—	7.7	2.8	—	3.0	—	1.3	.8	33			
.4	.2	.2	—	—	2.5	.8	—	1.4	.3	.1	.3	34			
.6	.5	.5	—	—	2.7	1.4	—	.4	—	.5	.4	35			
2.6	2.4	1.2	1.2	.3	3.3	2.0	—	1.4	.9	—	—	37			
3.3	1.7	1.7	—	.5	3.7	1.0	—	1.2	.2	1.3	.2	38			
50.4	53.1	59.1	46.7	48.1	44.9	44.5	230	40.4	25.3	54.9	55.6	39			
55.1	71.6	74.4	—	—	39.7	50.4	—	32.6	23.4	—	—	40			
53.1	69.1	73.8	—	—	35.5	46.7	—	30.3	22.7	—	—	41			
.3	—	—	—	—	.8	.4	—	.2	—	—	—	42			
2.8	.2	.2	—	.2	6.8	3.9	.4	2.1	.7	.4	.2	43			
5.5	1.4	.8	.6	.3	13.5	6.3	.6	6.0	3.2	1.2	.2	44			
5.5	2.9	1.9	1.1	.2	16.7	7.4	.6	7.8	3.1	1.4	.2	45			
6.9	3.7	2.9	.7	.9	21.4	6.5	.3	11.4	3.9	2.1	1.4	46			
6.8	4.8	3.5	1.2	.3	18.4	6.0	.5	9.2	2.4	1.7	1.5	47			
7.0	4.9	3.2	1.5	.3	14.3	5.5	1.3	6.3	1.9	1.4	1.1	48			
3.2	2.5	2.0	.5	.3	8.3	3.0	.1	4.0	2.4	.7	.7	49			
5.8	5.0	3.0	1.8	.9	11.1	3.2	.9	5.4	2.1	1.1	1.4	50			
3.0	2.3	.9	1.3	.9	5.7	1.7	.3	2.0	.9	1.1	.9	51			
1.2	1.1	.6	.5	.1	3.3	.7	—	1.7	.9	.5	.4	52			
1.4	1.0	.6	.3	.1	3.7	1.2	.6	1.2	.3	1.1	.3	53			
3.1	2.0	1.1	.7	.1	5.4	1.0	—	2.7	1.3	1.1	.7	54			
.1	—	—	—	—	1.1	.4	—	.8	—	—	—	55			
2.6	2.4	1.2	1.2	.3	3.3	2.0	—	1.4	.9	—	—	56			
3.3	1.7	1.7	—	.5	3.7	1.0	—	1.2	.2	1.3	.2	57			
29	33	32	35	32	27	24	31	26	26	30	35	58			
28	32	31	34	31	28	24	31	26	25	29	33	59			

**Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Total	With own children under 18				
				Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin
	White	Black		White	Black							
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	321.8	260.9	217.3	97.5	84.2	8.7	9.2	17.2	7.3	6.2	.6	1.3
<b>Value</b>												
2 Less than \$10,000.....	7.4	5.3	4.6	1.4	1.1	—	.5	.1	—	—	—	—
3 \$10,000 to \$19,999.....	11.2	7.6	4.6	2.7	2.5	—	1.0	1.4	.6	.6	—	.1
4 \$20,000 to \$29,999.....	15.3	12.5	9.1	3.2	3.0	—	1.5	.7	.2	.4	—	.1
5 \$30,000 to \$39,999.....	24.8	15.6	11.7	4.8	3.8	—	.9	1.6	.6	.4	—	.4
6 \$40,000 to \$49,999.....	27.8	22.0	16.8	8.0	6.0	1.6	1.2	1.3	.6	.8	—	.4
7 \$50,000 to \$59,999.....	37.6	29.0	22.3	12.1	10.9	5.5	1.4	2.8	1.1	1.1	—	.8
8 \$60,000 to \$69,999.....	34.2	27.4	22.4	9.8	8.6	1.1	.9	2.3	1.0	.8	—	.3
9 \$70,000 to \$79,999.....	32.8	27.4	23.8	9.6	8.2	1.2	.8	2.1	1.4	.8	—	.3
10 \$80,000 to \$89,999.....	47.8	41.1	36.9	16.3	13.5	1.5	.5	1.1	1.4	1.1	—	.3
11 \$100,000 to \$119,999.....	20.1	16.9	15.0	6.5	5.7	.3	—	.9	.2	.2	—	.2
12 \$120,000 to \$149,999.....	23.4	21.1	19.2	9.5	8.6	.8	.1	1.6	.3	.3	—	.2
13 \$150,000 to \$199,999.....	20.2	17.6	15.0	6.6	6.1	.5	.2	.4	.3	.3	—	.1
14 \$200,000 to \$249,999.....	9.0	8.4	7.8	3.6	2.9	.4	.2	.4	.4	.3	—	.3
15 \$250,000 to \$299,999.....	3.2	3.1	2.4	1.1	1.1	—	—	.2	.2	.2	—	—
16 \$300,000 or more.....	6.7	6.1	5.7	2.3	2.3	—	—	.3	.3	.3	—	—
17 Median.....	70 759	74 075	77 207	77 040	77 605	72 519	43 739	63 308	64 823	63 982	—	—

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
26.4	10.7	8.7	2.1	1.3	60.7	19.8	3.6	34.1	16.6	4.1	2.7	1
.6	.2	—	.2	—	2.1	.8	—	1.2	.1	.1	—	2
1.6	.3	.3	—	—	3.7	1.9	1.2	1.6	1.1	—	.2	3
2.7	1.3	.6	.6	.1	2.8	.3	.2	1.8	1.5	.3	.3	4
2.4	1.2	.6	.6	.1	9.2	1.8	.3	5.4	3.1	1.0	1.0	5
3.9	1.1	1.0	.1	.4	5.9	2.3	.6	3.4	1.4	—	.2	6
4.0	1.7	1.5	.2	.2	8.6	2.0	.4	5.1	2.8	1.5	—	7
2.6	1.7	1.7	—	—	6.9	2.6	.4	4.2	2.2	.1	—	8
2.4	.9	.7	.2	—	5.4	1.4	.4	3.9	1.8	—	.1	9
2.1	1.3	1.1	.2	.4	6.7	2.7	—	3.3	1.0	.4	.4	10
1.0	.2	.2	—	—	3.3	1.3	—	1.6	.4	.2	.2	11
.3	.2	.2	—	.2	2.3	.6	—	1.4	.8	—	.2	12
2.2	.5	.5	—	—	2.6	1.4	—	.4	.1	.5	.2	13
.2	—	—	—	—	.6	.1	—	.5	.3	—	—	14
.6	.4	.4	—	—	.2	.2	—	—	—	—	—	15
—	—	—	—	—	.7	.3	—	.3	—	—	—	16
55 332	58 810	62 478	—	—	57 912	63 045	—	57 213	54 022	54 130	—	17

Table 1-3. Housing Quality by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Total	With own children under 18				
				Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin
			White	Black		White	Black		White	Black		
1 Total	501.4	384.3	279.9	135.6	114.5	12.7	18.4	26.1	11.4	9.1	1.7	2.0
<b>Water Supply Stoppage</b>												
2 With hot and cold piped water	501.4	384.3	279.9	135.6	114.5	12.7	18.4	26.1	11.4	9.1	1.7	2.0
3 No stoppage in last 3 months	468.6	343.5	265.4	127.8	107.7	12.0	16.8	23.2	10.3	8.3	1.5	1.9
4 With stoppage in last 3 months	28.8	17.2	12.4	6.6	5.6	.8	.8	1.9	.8	.5	.1	.1
5 No stoppage lasting 6 hours or more	12.0	7.3	5.4	2.3	1.8	.3	.4	1.1	.4	.4	—	.1
6 1 time lasting 6 hours or more	9.2	5.2	3.9	2.6	2.3	.3	.1	1.4	.2	.2	—	—
7 2 times	2.9	1.6	1.0	.4	.4	—	—	.1	—	—	—	—
8 3 times	1.0	.8	.1	.1	—	—	—	.3	.1	—	.1	—
9 4 times or more	1.4	1.1	.7	.3	.2	.1	—	—	—	—	—	—
10 Number of times not reported	2.2	1.3	1.3	.9	.9	—	—	—	—	—	—	—
11 Stoppage not reported	4.2	3.6	2.0	1.2	1.2	—	.8	1.0	.5	.2	.1	—
<b>Flush Toilet Breakdowns</b>												
12 With one or more flush toilets	501.4	384.3	279.9	135.6	114.5	12.7	18.4	26.1	11.4	9.1	1.7	2.0
13 With at least one working toilet at all times in last 3 months	463.1	334.8	261.5	125.9	106.9	11.6	14.9	22.9	10.2	8.1	1.6	1.4
14 None working some time in last 3 months	35.5	27.6	17.3	9.0	7.1	1.1	3.2	2.9	1.3	1.0	.1	.5
15 No breakdowns lasting 6 hours or more	13.3	10.1	5.9	2.9	2.2	.5	1.1	.8	.5	.3	—	—
16 1 time lasting 6 hours or more	14.3	11.4	7.6	4.2	3.3	.4	1.1	1.3	.3	.3	—	.2
17 2 times	3.2	2.7	1.9	1.1	1.0	.1	.6	.1	—	—	—	—
18 3 times	1.0	.7	.3	.3	.3	—	.1	.2	—	—	—	—
19 4 times or more	.6	.4	.3	.1	.1	—	—	.1	—	—	—	—
20 Number of times not reported	3.1	2.2	1.2	.5	.2	—	—	.4	.1	.1	—	.1
21 Breakdowns not reported	2.9	1.8	1.1	.6	.5	—	.3	.4	.3	.2	.1	.2
<b>Sewage Disposal Breakdowns</b>												
22 With public sewer	469.1	339.2	258.5	129.1	108.1	12.5	18.0	23.6	11.3	8.9	1.7	2.0
23 No breakdowns in last 3 months	458.0	329.6	251.2	125.3	105.1	12.0	16.6	23.1	11.2	8.8	1.7	2.0
24 With breakdowns in last 3 months	11.1	9.5	7.3	3.8	3.0	.4	1.4	.5	.1	.1	—	—
25 No breakdowns lasting 6 hours or more	3.9	3.4	2.8	.8	.3	.3	.4	—	—	—	—	—
26 1 time lasting 6 hours or more	4.2	3.5	2.5	1.8	1.6	.1	.1	.3	—	—	—	—
27 2 times	2.3	2.1	1.7	1.0	1.0	—	.8	.1	.1	.1	—	—
28 3 times	.2	—	—	—	—	—	—	—	—	—	—	—
29 4 times or more	.5	.5	.4	.1	.1	—	.1	.1	—	—	—	—
30 With septic tank or cesspool	32.2	25.0	21.3	6.5	6.3	.2	.4	2.5	.2	.2	—	—
31 No breakdowns in last 3 months	31.6	24.4	21.1	6.4	6.2	.2	.4	2.3	.2	.2	—	—
32 With breakdowns in last 3 months	.6	.6	.3	.2	.2	—	—	.2	—	—	—	—
33 No breakdowns lasting 6 hours or more	.4	.4	.3	.2	.2	—	—	—	—	—	—	—
34 1 time lasting 6 hours or more	.2	.2	—	—	—	—	—	.2	—	—	—	—
35 2 times	—	—	—	—	—	—	—	—	—	—	—	—
36 3 times	—	—	—	—	—	—	—	—	—	—	—	—
37 4 times or more	—	—	—	—	—	—	—	—	—	—	—	—
<b>Heating Problems</b>												
38 With heating equipment and occupied last winter	451.3	333.0	257.7	123.0	104.2	11.8	15.8	24.4	10.5	8.6	1.3	1.8
39 Not uncomfortably cold for 24 hours or more last winter	431.3	318.7	247.6	118.0	99.8	11.7	14.2	22.9	10.0	8.0	1.3	1.5
40 Uncomfortably cold for 24 hours or more last winter <sup>1</sup>	17.9	12.7	8.8	4.5	3.9	.1	1.5	1.5	.5	.5	—	.2
41 Equipment breakdowns	5.3	4.1	3.5	2.0	1.8	.1	.7	.1	—	—	—	—
42 No breakdowns lasting 6 hours or more	.2	.1	.1	—	—	—	—	—	—	—	—	—
43 1 time lasting 6 hours or more	3.8	3.1	2.7	1.7	1.5	.1	.5	.1	—	—	—	—
44 2 times	.8	.5	.4	.2	.2	—	.1	—	—	—	—	—
45 3 times	.1	—	—	—	—	—	—	—	—	—	—	—
46 4 times or more	.2	.1	.1	.1	.1	—	.1	—	—	—	—	—
47 Number of times not reported	.2	.1	.1	—	—	—	—	—	—	—	—	—
48 Other causes	13.0	8.9	5.5	2.5	2.2	—	.9	1.4	.5	.5	—	.2
49 Utility interruption	1.3	.8	.6	.2	.2	—	—	—	—	—	—	—
50 Inadequate heating capacity	3.7	2.9	1.9	1.0	.8	—	.5	.3	.3	.3	—	—
51 Inadequate insulation	2.9	2.3	1.3	.7	.7	—	.3	.3	—	—	—	—
52 Other	4.3	2.1	1.2	.4	.4	—	.1	.4	—	—	—	—
53 Not reported	.8	.8	.4	.2	.1	—	.1	.2	.2	.2	—	.2
54 Reason for discomfort not reported	—	—	—	—	—	—	—	—	—	—	—	—
55 Discomfort not reported	2.2	1.5	1.4	.5	.5	—	.1	—	—	—	—	—
<b>Selected Deficiencies<sup>1</sup></b>												
56 Signs of rats in last 3 months	22.7	18.6	12.9	8.6	7.4	.8	3.2	1.1	.6	.5	—	.5
57 Holes in floors	7.2	5.8	4.5	2.5	2.1	.4	.9	.1	—	—	—	—
58 Open cracks or holes (interior)	39.9	31.0	22.0	12.8	10.4	1.0	2.3	2.3	1.2	1.2	—	.4
59 Broken plaster or peeling paint (interior)	19.4	14.3	10.7	5.6	4.7	.4	1.5	1.1	.7	.7	—	.2
60 No electrical wiring	—	—	—	—	—	—	—	—	—	—	—	—
61 Exposed wiring	3.9	2.4	1.4	1.1	.9	.1	.5	.5	.1	.1	—	.1
62 Rooms without electric outlets	6.0	4.4	3.2	2.2	1.4	.8	.5	.2	.2	.2	—	.1
<b>Selected Amenities<sup>1</sup></b>												
63 Porch, deck, balcony, or patio	450.3	334.5	261.3	127.1	107.6	12.0	16.6	23.7	10.5	8.5	1.4	1.9
64 Not reported	1.5	1.0	.8	.1	.1	—	—	.1	.1	.1	—	—
65 Telephone available	446.9	328.7	257.1	121.5	102.8	11.3	13.6	23.9	10.4	8.4	1.4	1.6
66 Usable fireplace	272.7	211.3	175.0	85.2	73.3	7.8	3.7	15.5	7.0	5.7	1.0	.5
67 Separate dining room	248.8	195.0	156.0	75.7	64.8	6.6	6.7	13.1	5.9	5.0	.7	1.0
68 With 2 or more living rooms or recreation rooms, etc.	158.7	132.2	111.9	49.9	43.3	4.2	2.1	7.1	3.2	2.9	.2	.6
69 Garage or carport included with home	341.4	270.3	221.3	105.1	90.0	9.8	10.1	18.1	8.2	6.8	.9	.7
70 Garage or carport not included	159.1	93.3	57.9	30.1	24.1	2.8	8.3	8.0	3.2	2.3	.8	1.2
71 Offstreet parking included	151.1	88.0	54.9	29.1	23.2	2.7	7.9	7.2	2.9	2.1	.7	1.0
72 Offstreet parking not reported	2.0	1.4	.9	.2	.2	—	.2	.1	—	—	—	—
73 Garage or carport not reported	.9	.7	.7	.3	.3	—	—	—	—	—	—	—

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
58.3	35.9	23.6	11.2	4.8	137.2	50.1	5.6	63.2	24.2	15.0	8.8	1
58.3	35.9	23.6	11.2	4.8	137.2	50.1	5.6	63.2	24.2	15.0	8.8	2
54.8	33.7	22.1	10.5	4.1	125.1	45.0	4.9	58.1	22.7	13.7	8.4	3
2.9	1.6	1.1	.6	.5	11.4	4.6	.6	5.0	1.5	1.3	.4	4
.8	.5	.1	.4	.2	4.8	2.0	.4	2.2	1.0	.3	.2	5
.9	.4	.3	.1	.2	4.0	1.5	.2	1.9	.2	.6	.6	6
.5	.4	.4	.1	.1	1.2	.7	—	—	—	.4	.2	7
.4	.1	—	—	—	.2	—	—	.2	.2	—	—	8
.4	.3	.3	—	.2	.2	.2	—	—	—	—	—	9
—	—	—	—	—	.9	.2	—	.7	—	—	—	10
.6	.6	.4	.2	.3	.6	.5	.1	.2	—	—	—	11
58.3	35.9	23.6	11.2	4.8	137.2	50.1	5.6	63.2	24.2	15.0	8.8	12
50.4	29.5	19.0	9.4	4.6	128.2	47.3	5.4	59.3	22.7	13.7	7.9	13
7.4	6.0	4.2	1.8	.2	7.9	2.5	.2	3.5	1.3	1.0	.9	14
3.4	2.8	2.4	.4	—	3.2	1.1	.2	1.5	.5	.2	.4	15
2.5	2.0	1.3	.7	.1	2.9	.7	—	1.5	.4	.3	.3	16
.7	.6	.3	.3	.3	.5	—	—	—	—	.4	.2	17
.2	.2	.1	.1	.1	.3	.3	—	—	—	—	—	18
.6	.4	.1	.3	—	.1	—	—	—	—	.1	—	19
.5	.4	.4	—	—	.9	.4	—	.5	.4	—	—	20
—	.4	—	—	—	1.0	.4	—	.4	.1	.3	—	21
57.0	35.0	22.8	11.1	4.8	129.9	46.8	5.6	60.7	23.2	13.8	8.6	22
55.3	34.0	21.8	11.1	4.7	126.3	46.0	5.6	60.4	23.1	13.4	8.6	23
1.7	1.0	1.0	—	.2	1.5	.8	—	.4	.1	.3	—	24
.6	.3	.3	—	.2	.5	.3	—	.2	—	—	—	25
.8	.4	.4	—	—	.6	.3	—	.1	.1	.2	—	26
.3	.3	.3	—	—	.2	—	—	.1	—	.1	—	27
—	—	—	—	—	.2	.2	—	—	—	—	—	28
—	—	—	—	—	—	—	—	—	—	—	—	29
1.1	.8	.8	—	—	7.3	3.3	—	2.5	1.0	1.2	.2	30
1.0	.8	.8	—	—	7.3	3.3	—	2.5	1.0	1.2	.2	31
.1	—	—	—	—	—	—	—	—	—	—	—	32
.1	—	—	—	—	—	—	—	—	—	—	—	33
—	—	—	—	—	—	—	—	—	—	—	—	34
—	—	—	—	—	—	—	—	—	—	—	—	35
—	—	—	—	—	—	—	—	—	—	—	—	36
—	—	—	—	—	—	—	—	—	—	—	—	37
50.9	30.5	20.6	8.9	4.1	118.3	43.9	5.4	56.4	23.7	11.3	6.8	38
48.3	28.8	19.7	8.2	3.8	112.5	41.6	4.9	54.3	23.0	10.6	6.1	39
2.5	1.7	.9	.7	.3	5.2	1.9	.5	1.8	.7	.8	.7	40
.5	.3	.2	.1	—	1.3	.3	—	.9	.2	—	—	41
.2	.2	.1	.1	—	.1	.1	—	.1	—	—	—	42
.1	.1	.1	—	—	.7	.2	—	.5	—	—	—	43
—	—	—	—	—	.2	.2	—	.2	.1	—	—	44
—	—	—	—	—	.1	—	—	.1	—	—	—	45
.2	—	—	—	—	.1	—	—	.1	.1	—	—	46
—	—	—	—	—	—	—	—	—	—	—	—	47
2.0	1.3	.7	.6	.3	4.1	1.7	.5	.9	.5	.8	.7	48
.2	—	—	—	—	.5	.3	—	.1	.1	.1	—	49
.5	.3	.3	—	.2	.8	.1	—	.3	—	.4	—	50
.7	.7	.4	.3	.1	.7	.2	—	.1	—	.4	—	51
.5	.2	—	.2	—	2.1	1.1	—	.5	.4	.2	.3	52
.1	.1	—	.1	—	—	—	—	—	—	—	—	53
—	—	—	—	—	—	—	—	—	—	—	—	54
.1	—	—	—	—	.6	.3	—	.3	—	—	—	55
4.6	3.5	1.8	1.6	.8	4.1	.9	.2	2.3	.7	.7	.1	56
1.2	1.2	.6	.6	.1	1.3	.6	—	.4	.1	.1	.2	57
6.7	4.4	2.8	1.5	.6	8.9	2.5	.5	4.5	1.5	1.2	.8	58
2.5	1.4	1.0	.5	.3	5.1	1.5	.2	2.6	.7	.9	.1	59
—	—	—	—	—	—	—	—	—	—	—	—	60
.5	.5	.3	.1	.4	1.5	.2	—	.8	.1	.1	.3	61
1.0	1.0	.8	.2	.1	1.6	.3	—	.8	.3	.2	.2	62
49.5	30.0	20.5	8.9	4.2	115.8	41.4	4.3	54.5	21.0	12.0	7.8	63
.1	—	—	—	—	.5	.2	—	.2	.2	—	—	64
47.7	28.1	19.6	7.6	3.0	118.2	42.0	5.1	55.6	22.8	12.3	8.1	65
20.8	12.8	9.2	3.4	1.0	61.4	22.9	1.2	27.4	7.8	6.6	4.6	66
25.8	15.1	10.2	4.4	2.8	53.8	20.0	1.6	24.4	9.5	5.7	3.7	67
13.2	4.6	3.4	1.3	.5	26.5	8.0	1.1	14.8	8.3	2.1	1.7	68
30.8	16.5	12.1	4.4	1.9	71.1	23.5	2.6	37.9	17.3	5.8	3.9	69
27.5	19.4	11.5	6.8	2.9	65.8	26.5	3.0	25.2	6.7	9.2	4.9	70
25.8	18.6	11.5	6.0	2.9	63.1	25.0	2.7	24.2	6.4	9.0	4.9	71
.4	.4	—	.4	—	.6	.4	—	.2	—	—	—	72
—	—	—	—	—	.3	.2	—	.1	.1	—	—	73

Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple					Male householder, no wife present					
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Total	Race of householder				
		Total	White	Black	Hhldr of Hispanic origin	Total	Total	White	Black	Hhldr of Hispanic origin		
<b>Overall Opinion of Structure</b>												
1 1 (worst).....	3.2	2.5	1.2	.8	.7	.1	.1	.3	.1	-	-	-
2 2.....	1.6	1.1	.7	.3	.2	-	-	.3	-	-	-	-
3 3.....	5.6	4.2	2.0	1.1	.9	-	.1	.7	.4	.4	-	.2
4 4.....	7.7	5.0	3.1	2.4	2.1	.2	.9	.1	.1	.1	-	-
5 5.....	37.4	29.1	19.2	11.1	9.2	.9	2.7	3.4	.9	.7	.9	-
6 6.....	28.4	20.3	15.1	9.0	7.5	.9	.6	1.9	.6	.5	.1	.2
7 7.....	73.4	51.4	38.6	20.2	18.6	2.4	2.6	3.6	2.1	1.7	.2	.6
8 8.....	133.3	96.2	72.9	36.0	30.2	2.9	4.9	7.2	2.9	1.8	.8	.2
9 9.....	75.5	54.2	43.6	20.4	18.1	1.2	1.8	3.5	1.8	1.5	.3	.4
10 10 (best).....	131.0	97.7	81.3	34.0	28.7	3.8	4.5	5.2	2.5	2.5	-	.3
11 Not reported.....	4.3	2.4	2.1	.4	.3	-	.1	-	-	-	-	-
<b>Neighborhood Conditions</b>												
12 With neighborhood.....	495.4	380.3	276.9	134.8	113.9	12.7	18.1	25.7	11.2	9.0	1.6	2.0
13 No problems.....	282.8	204.7	156.5	73.5	60.9	7.3	10.9	15.8	7.2	5.4	1.2	1.3
14 With problems <sup>1</sup> .....	210.7	153.8	119.0	60.7	52.4	5.3	7.1	9.8	4.0	3.5	.4	.7
15 Crime.....	53.9	36.2	25.0	12.9	10.4	1.5	.9	2.0	.7	.5	.2	-
16 Noise.....	31.4	18.9	14.3	7.1	5.7	.4	.7	1.2	.4	.4	-	-
17 Traffic.....	31.2	22.9	17.5	11.1	9.6	1.0	.8	.8	.3	.3	-	.2
18 Litter or housing deterioration.....	36.6	27.3	23.5	9.4	8.3	.9	1.1	1.2	.5	.4	.1	.2
19 Poor city or county services.....	5.6	4.5	3.6	1.3	1.1	.2	.4	.2	.2	.2	-	.2
20 Undesirable commercial, institutional, industrial.....	6.2	4.8	4.0	1.8	1.8	-	.7	.2	-	-	-	-
21 People.....	75.1	54.6	42.8	21.4	19.3	1.0	2.8	4.0	1.2	1.1	.2	-
22 Other.....	47.4	37.7	30.3	16.1	14.0	1.5	.7	2.4	1.4	1.4	-	.2
23 Type of problem not reported.....	4.1	2.8	2.5	1.1	1.0	.2	-	.2	.2	.2	-	-
24 Presence of problems not reported.....	1.9	1.9	1.5	.6	.5	-	.2	.2	-	-	-	-
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst).....	6.9	5.1	3.5	1.0	1.0	-	-	.1	.1	-	-	-
26 2.....	6.5	3.6	3.0	.9	.9	-	.1	-	-	-	-	-
27 3.....	10.2	8.3	5.5	2.7	2.7	-	.6	.8	.2	.2	-	.2
28 4.....	11.9	7.9	5.9	2.4	2.2	.1	.4	.4	.1	.1	-	-
29 5.....	41.5	28.0	20.1	10.0	8.8	.7	1.7	2.2	.6	.4	.2	-
30 6.....	32.5	22.8	18.1	9.2	7.5	1.0	1.5	1.8	.7	.5	-	-
31 7.....	65.0	47.3	36.4	18.5	14.9	2.1	1.6	3.0	1.9	1.4	.5	.4
32 8.....	117.1	82.9	59.7	31.1	26.1	3.1	3.9	7.4	3.1	2.1	.9	.2
33 9.....	75.8	58.5	47.4	24.4	21.6	1.0	2.0	3.8	1.6	1.6	-	-
34 10 (best).....	127.9	95.9	77.4	34.6	28.3	4.5	6.2	6.3	3.0	2.7	.1	1.2
35 No neighborhood.....	1.0	1.0	1.0	.4	.4	-	-	-	-	-	-	-
36 Not reported.....	5.0	2.9	1.9	.4	.2	-	.3	.4	.2	.1	.1	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
1.0	.7	-	.6	-	.7	.1	-	.4	-	-	.1	1
.2	.2	.2	-	.2	.5	.3	-	.2	.1	-	-	2
1.5	.9	.5	.4	.1	1.5	.3	-	.4	.1	.8	.2	3
1.8	1.1	.9	.1	.4	2.6	1.7	-	.7	-	.2	.1	4
6.5	5.1	3.8	1.5	.2	8.2	2.9	-	3.7	.5	1.4	.3	5
3.3	2.2	1.5	.7	.4	8.0	3.3	-	2.1	.3	1.7	.5	6
9.2	5.8	3.2	2.6	.9	22.0	9.8	-	8.7	2.3	2.4	1.3	7
16.1	9.8	6.5	3.3	1.3	37.1	13.6	-	15.8	4.7	4.3	3.2	8
7.2	4.2	3.1	.8	.6	21.3	9.2	-	9.0	3.6	1.7	1.3	9
11.2	5.8	4.2	1.3	.8	33.3	8.2	-	21.0	11.6	2.6	1.4	10
.3	.1	-	-	-	1.9	.8	-	1.3	.9	-	-	11
57.6	35.8	23.8	11.2	4.8	135.0	49.2	5.2	62.0	23.5	15.0	8.8	12
32.4	20.2	13.9	5.7	2.4	78.1	30.2	3.8	34.8	15.3	8.4	4.8	13
25.0	15.4	9.5	5.5	2.5	57.0	19.0	1.4	27.4	8.2	6.5	4.0	14
9.2	7.0	3.9	2.8	1.6	17.8	6.3	1.5	7.0	1.8	2.7	1.7	15
3.5	2.4	1.3	.9	.5	12.5	6.5	3.3	4.0	.8	.9	1.1	16
4.6	2.6	2.0	.6	-	8.3	3.5	2.3	3.7	1.5	.6	.5	17
2.8	1.3	.7	.5	.2	9.3	2.5	3.3	5.9	2.2	.3	.8	18
.7	.5	-	.5	-	1.1	.2	-	.9	.1	-	-	19
.5	.3	.3	-	.2	1.4	.4	-	.8	-	.1	.1	20
7.8	4.8	3.6	1.0	.6	20.5	7.5	1.5	10.1	3.3	1.6	1.3	21
5.0	2.9	2.2	.6	.3	9.8	2.5	2.2	5.8	2.1	.9	.8	22
.1	-	-	-	-	1.2	.3	-	.4	-	.4	.2	23
.2	.2	.2	-	-	-	-	-	-	-	-	-	24
1.5	1.4	.4	.9	.3	1.8	.8	.3	.6	.6	.4	.2	25
.8	.5	.4	.1	.2	2.9	.8	-	1.4	.2	.4	.2	26
2.0	1.2	.7	.5	.1	1.9	.5	-	.6	.2	.6	.3	27
1.7	.9	.8	.2	.1	4.0	1.4	2.2	1.9	.5	.2	.4	28
5.8	3.7	2.3	1.3	.7	13.5	5.0	7.7	6.1	1.9	1.4	.9	29
2.9	2.1	1.4	.8	.2	9.7	4.5	1.1	3.2	1.0	1.5	.5	30
7.8	5.0	3.6	1.2	.9	17.8	7.2	7.7	7.4	2.0	2.2	.9	31
15.8	10.2	7.1	3.0	1.2	34.2	13.0	1.8	15.9	5.7	3.4	2.0	32
7.4	4.0	2.5	1.2	.4	17.2	8.3	.9	6.5	2.0	1.6	.8	33
12.2	6.8	4.5	2.1	.7	32.0	8.0	.8	18.3	9.8	3.2	2.5	34
-	-	-	-	-	-	-	-	-	-	-	-	35
.7	.1	-	-	-	2.1	.9	.4	1.2	.7	-	-	36

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	501.4	321.8	179.8	34.7	14.1	2.5	42.8	58.9	48.2	70.9	127.7	51.8	174.4	50.5	237.5
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	29.45	26.38	34.96	18.78	25.15	58.23	39.78	33.37	27.98	34.34	30.26	38.09	34.10	30.78	26.04
Neighborhood crime .....	30.46	28.14	34.82	18.74	22.07	41.49	33.15	39.44	23.38	26.65	27.81	34.16	40.14	32.73	25.33
Any condition(s) .....	45.98	42.52	52.15	33.88	31.55	78.06	52.88	52.30	41.01	46.82	45.47	53.82	54.65	48.51	40.82
Both conditions present .....	13.93	11.98	17.42	3.64	15.67	23.85	20.25	20.50	10.34	14.16	12.59	18.43	19.58	14.99	10.55
No conditions present .....	53.48	56.94	47.29	66.14	67.59	23.94	48.23	46.85	58.21	51.97	54.08	45.53	44.32	51.49	58.85
Not reported .....	.54	.54	.55	—	.86	—	1.09	.85	.78	1.21	.44	.64	1.03	—	.33
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	14.97	14.35	18.07	9.48	15.66	19.04	20.98	15.00	10.77	14.43	13.82	16.62	16.37	16.84	13.03
Neighborhood crime .....	22.38	21.32	24.27	11.71	18.24	41.49	25.41	26.32	17.18	17.70	18.58	24.55	30.08	22.80	18.80
Unsatisfactory neighborhood shopping .....	9.19	9.65	8.36	13.55	15.46	18.23	15.94	13.36	7.59	14.29	9.77	16.42	10.94	9.08	7.30
Unsatisfactory public elementary school .....	3.91	4.29	3.21	1.83	1.23	8.63	5.06	3.84	3.95	.92	2.76	4.59	3.67	6.85	3.37
Unsatisfactory public transportation .....	.89	.87	.94	.48	—	—	4.21	1.99	.77	2.34	.22	2.67	2.24	—	.13
Any condition(s) .....	38.54	38.23	39.11	31.98	36.12	54.94	46.61	42.08	31.01	38.66	34.91	43.06	44.23	40.57	34.35
Two or more conditions .....	10.91	10.32	11.99	5.05	11.53	23.69	18.66	15.72	7.65	8.88	9.00	16.30	15.41	13.41	7.46
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	6.21	5.44	7.60	1.38	.86	19.04	9.75	9.29	5.35	5.79	5.67	10.99	7.80	7.45	4.98
Neighborhood crime .....	8.63	8.86	11.79	3.51	2.94	33.25	13.05	12.72	7.64	6.01	8.35	15.08	12.86	8.48	6.71
Unsatisfactory public elementary school .....	1.95	1.89	2.06	.91	1.23	8.63	3.19	1.31	2.67	.29	1.90	2.23	1.67	4.73	1.73
Any condition(s) .....	12.44	10.31	16.28	4.88	4.18	46.71	17.52	17.03	11.08	8.52	11.99	20.05	16.10	14.72	10.39
Two or more conditions .....	4.14	3.71	4.91	.92	.86	14.22	8.47	6.29	4.34	3.29	3.62	7.81	5.95	5.35	2.92
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	.74	.73	.75	—	.86	—	1.09	.85	.78	1.38	.94	.86	1.39	.22	.42
Neighborhood crime .....	1.25	.90	1.87	.89	1.90	—	1.35	1.98	1.29	2.10	1.69	2.28	1.68	.32	1.11
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16 .....	38.06	38.29	40.45	46.82	34.83	61.53	45.71	51.18	59.49	5.42	45.02	49.42	39.93	37.55	39.79
Satisfactory public elementary school .....	29.58	29.95	28.83	36.06	24.73	52.89	34.42	42.70	43.17	3.72	32.37	39.25	31.45	24.75	30.19
Unsatisfactory public elementary school .....	3.91	4.29	3.21	1.83	1.23	8.63	5.06	3.84	3.95	.92	2.76	4.59	3.67	6.85	3.37
So bothered they want to move .....	1.95	1.89	2.06	.91	1.23	8.63	3.19	1.31	2.67	.29	1.90	2.23	1.67	4.73	1.73
Not reported .....	.40	.41	.37	—	—	—	.28	.39	.81	—	.39	1.07	.38	.31	.41
Not reported or don't know .....	5.58	4.05	8.31	8.92	8.87	—	6.23	4.62	12.37	.79	9.90	5.59	4.81	5.95	6.23
Public elementary school less than 1 mile .....	25.99	26.19	25.63	26.28	8.75	57.07	31.53	33.42	40.57	3.11	26.91	34.34	27.77	27.01	25.92
Public elementary school 1 mile or more .....	11.10	10.74	11.74	18.05	18.91	4.48	10.80	15.84	13.65	1.38	14.36	12.90	10.64	9.90	11.17
Not reported .....	1.98	1.36	3.08	2.49	6.18	—	3.38	2.10	5.28	.94	3.75	2.18	1.52	.64	2.70
Households without children aged 0-16 .....	60.94	61.71	59.55	53.18	65.17	38.47	54.29	48.84	40.51	94.58	54.98	50.58	60.07	62.45	60.21
Households with children aged 4-16 .....	32.69	33.54	31.17	39.24	29.42	52.89	38.78	43.79	45.64	4.84	34.81	42.33	33.15	27.80	34.10
Attend public school (K-12) .....	26.29	26.73	25.51	30.70	24.22	52.89	33.52	38.30	37.48	3.30	28.11	39.15	27.27	20.83	27.34
Attend private school (K-12) .....	3.59	4.77	1.49	6.36	2.37	—	.98	4.15	1.18	.63	2.60	.92	3.20	4.48	3.72
Attend ungraded school, preschool, etc .....	.89	.83	1.00	2.23	—	—	.37	.59	.81	.28	1.18	.21	.78	.31	1.15
Does not attend school .....	2.22	2.08	2.46	1.89	—	—	1.32	1.58	3.13	.60	2.62	2.25	1.54	1.48	2.63
Not reported .....	1.08	.82	1.50	.82	3.69	—	2.58	.78	3.77	.32	1.42	.65	.78	1.58	1.23
<b>Public Transportation as a Percent of Total</b>															
With public transportation .....	38.74	35.83	43.92	22.77	5.12	45.82	64.20	62.75	54.49	48.45	38.87	58.74	74.05	32.23	17.70
Household uses it at least weekly .....	2.55	1.52	4.39	—	—	13.98	9.48	12.03	5.54	1.98	3.44	11.87	6.84	.51	.20
Satisfactory public transportation .....	2.38	1.52	3.92	—	—	13.98	9.48	11.10	5.19	1.98	3.31	10.85	6.45	.20	.20
Unsatisfactory public transportation .....	.14	—	.38	—	—	—	—	.93	—	—	.13	1.02	.39	—	—
Not reported .....	.03	—	.09	—	—	—	—	—	.34	—	—	—	—	.31	—
Household uses it less than weekly .....	6.85	5.95	8.48	2.61	1.05	—	18.23	14.22	12.22	10.82	6.67	16.37	15.49	2.09	1.93
Satisfactory public transportation .....	5.86	4.83	7.71	1.69	1.05	—	12.37	13.16	11.19	7.87	6.28	14.57	13.66	1.46	1.47
Unsatisfactory public transportation .....	.88	.75	.55	.48	—	—	3.31	1.08	.77	2.02	.09	1.34	1.62	—	.13
Not reported .....	.31	.37	.21	.48	—	—	.55	—	.26	.94	.30	.46	.20	.63	.33
Household does not use .....	28.68	28.02	29.86	20.17	4.06	31.85	37.61	36.05	35.75	35.00	27.32	30.20	50.70	29.09	15.05
Not reported .....	.65	.35	1.20	—	—	—	.90	.45	.98	.64	1.43	.30	1.02	.53	.51
No public transportation .....	58.64	62.34	52.03	73.81	91.56	49.80	34.18	35.67	42.88	49.32	56.84	39.27	24.04	66.29	78.75
Not reported .....	2.62	1.82	4.05	3.62	3.31	4.38	1.65	1.58	2.63	2.22	4.29	1.98	1.90	1.48	3.55
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping .....	90.00	89.70	90.55	86.45	82.83	91.77	82.70	86.08	90.67	84.17	88.86	82.94	87.47	90.92	92.27
Less than 1 mile .....	70.81	66.87	77.31	57.41	34.19	68.07	67.73	72.12	73.76	68.41	71.86	66.35	69.48	71.89	74.76
1 mile or more .....	18.33	21.63	12.45	28.07	48.64	13.69	13.97	13.34	15.70	14.67	16.23	15.25	17.03	17.50	16.31
Not reported .....	1.08	1.20	.79	.98	—	—	.99	.63	1.21	1.09	.78	1.34	.96	1.53	1.20
Unsatisfactory neighborhood shopping .....	9.19	9.85	8.36	13.55	15.46	18.23	15.94	13.38	7.59	14.29	9.77	16.42	10.94	9.08	7.30
Not reported or don't know .....	.81	.68	1.09	—	1.71	—	1.36	.56	1.74	1.54	1.37	.64	1.59	—	.42

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 2-4. Neighborhood Quality—Owner Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	321.8	25.8	11.5	.6	25.9	27.2	24.2	58.5	34.9	18.6	106.9	26.9	156.5
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	26.36	18.79	19.40	39.42	39.10	33.57	24.35	35.57	22.98	39.53	31.57	22.32	24.15
Neighborhood crime .....	26.14	14.15	16.63	100.00	32.35	37.86	23.04	26.95	14.39	35.41	41.21	27.53	22.66
Any condition(s) .....	42.52	29.72	26.27	100.00	53.31	51.02	39.60	47.98	31.41	54.73	54.49	37.49	37.64
Both conditions present .....	11.98	3.22	9.77	39.42	18.14	20.41	7.79	14.54	5.96	20.21	18.29	12.36	9.17
No conditions present .....	56.94	70.28	72.68	-	44.88	47.80	59.43	51.02	68.14	43.47	44.37	62.51	62.04
Not reported .....	.54	-	1.05	-	1.81	1.18	.98	1.00	.45	1.80	1.14	-	.33
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	14.35	10.26	8.75	39.42	17.46	19.57	10.40	14.71	10.78	18.08	17.15	14.03	12.91
Neighborhood crime .....	21.32	9.94	10.47	100.00	23.39	28.88	16.73	18.58	9.34	26.27	31.73	20.66	17.39
Unsatisfactory neighborhood shopping .....	9.65	15.73	18.99	62.93	18.12	15.12	10.41	14.61	13.29	18.47	11.35	8.13	8.09
Unsatisfactory public elementary school .....	4.29	.61	1.51	-	6.16	4.51	3.68	1.12	.46	3.66	4.17	9.74	3.27
Unsatisfactory public transportation .....	.87	.61	-	-	5.20	1.78	.99	2.27	-	3.46	2.28	-	.15
Any condition(s) .....	38.23	33.46	33.89	100.00	46.47	48.99	34.00	40.02	30.17	46.80	46.61	37.81	33.89
Two or more conditions .....	10.32	3.69	4.68	62.93	17.68	17.64	6.54	9.17	3.69	17.74	16.13	13.16	7.05
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	5.44	.62	1.05	39.42	7.69	12.22	3.92	5.42	1.89	11.51	7.60	5.92	4.65
Neighborhood crime .....	6.86	2.43	3.62	62.93	9.21	10.55	4.91	5.82	3.22	16.53	11.64	5.07	5.28
Unsatisfactory public elementary school .....	1.89	.61	1.51	-	3.53	.78	2.20	.35	-	-	1.96	5.76	1.40
Any condition(s) .....	10.31	3.04	5.13	62.93	13.39	15.80	7.43	7.98	4.75	16.72	14.78	11.21	8.77
Two or more conditions .....	3.71	.62	1.05	39.42	7.03	7.73	3.61	3.28	.38	9.31	6.23	4.84	2.45
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.73	-	1.05	-	1.81	1.18	.98	1.00	1.57	1.80	1.51	-	.46
Neighborhood crime .....	.90	.57	2.34	-	2.23	1.67	1.95	1.25	.76	2.90	1.49	-	.60
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	38.29	50.31	34.67	39.42	43.97	46.51	54.82	6.02	56.02	37.25	37.46	43.13	39.31
Satisfactory public elementary school .....	29.95	40.60	24.60	39.42	33.18	39.76	42.63	4.32	43.70	32.18	29.74	29.40	31.57
Unsatisfactory public elementary school .....	4.29	.61	1.51	-	6.16	4.51	3.68	1.12	.46	3.66	4.17	9.74	3.27
So bothered they want to move .....	1.89	.61	1.51	-	3.53	.76	2.20	.35	-	-	1.96	5.76	1.40
Not reported .....	.41	-	-	-	-	-	.65	-	-	1.12	.29	.59	.41
Not reported or don't know .....	4.05	9.09	8.55	-	4.64	2.24	8.61	.59	11.87	1.43	3.55	3.99	4.47
Public elementary school less than 1 mile .....	26.19	27.45	5.97	39.42	31.76	32.76	39.34	3.58	32.95	23.75	26.46	30.23	27.48
Public elementary school 1 mile or more .....	10.74	19.94	21.11	-	9.92	12.70	12.44	1.67	19.04	12.33	10.06	11.70	10.07
Not reported .....	1.36	2.82	7.59	-	2.29	1.05	3.13	.77	4.04	1.17	.94	1.19	1.77
Households without children aged 0-16 .....	61.71	49.69	65.33	60.58	56.03	53.49	45.08	93.98	43.98	62.75	62.54	56.87	60.69
Households with children aged 4-16 .....	33.54	42.40	28.02	39.42	39.54	43.63	45.04	5.31	45.66	37.25	32.88	36.16	34.75
Attend public school (K-12) .....	26.73	33.41	22.63	39.42	36.07	36.69	39.71	3.63	36.33	33.49	25.94	26.38	28.52
Attend private school (K-12) .....	4.77	7.30	2.91	-	1.18	7.43	1.12	.76	5.26	1.96	4.45	7.21	4.67
Attend ungraded school, preschool, etc .....	.83	2.99	-	-	-	.83	-	.35	1.97	-	.71	.59	1.03
Does not attend school .....	2.08	1.31	-	-	-	1.25	2.08	.72	1.89	.59	1.60	1.74	2.02
Not reported .....	.82	1.10	3.53	-	2.26	.40	2.61	.19	1.71	1.22	.73	2.18	.63
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	35.83	19.26	6.30	39.42	63.98	59.18	57.01	49.44	30.06	55.11	70.53	25.73	18.22
Household uses it at least weekly .....	1.52	-	-	-	6.58	9.37	3.80	.76	1.26	8.12	4.29	.37	.13
Satisfactory public transportation .....	1.52	-	-	-	6.58	9.37	3.80	.76	1.26	8.12	4.29	.37	.13
Unsatisfactory public transportation .....	-	-	-	-	-	-	-	-	-	-	-	-	-
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly .....	5.95	1.84	1.29	-	16.34	12.75	9.95	11.00	4.04	16.58	13.41	1.22	2.07
Satisfactory public transportation .....	4.83	1.23	1.29	-	11.71	10.97	8.46	8.18	4.04	12.70	11.28	.63	1.49
Unsatisfactory public transportation .....	.75	.61	-	-	3.72	1.78	.89	1.88	-	2.61	1.92	-	.15
Not reported .....	.37	-	-	-	.91	-	.50	.64	-	1.27	.22	.59	.43
Household does not use .....	28.02	17.42	5.01	39.42	39.57	36.61	43.26	36.69	24.76	29.56	52.10	24.13	15.80
Not reported .....	.35	-	-	-	1.48	.45	-	.78	-	.65	.72	-	.22
No public transportation .....	62.34	77.74	69.63	60.58	34.21	38.89	40.50	48.84	67.40	43.09	27.69	73.86	79.32
Not reported .....	1.82	3.00	4.07	-	1.81	1.94	2.49	1.72	2.54	1.80	1.78	.42	2.46
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	89.70	84.27	78.90	37.07	79.62	84.30	87.25	84.20	85.63	79.74	87.11	91.87	91.61
Less than 1 mile .....	68.87	51.85	34.50	-	60.55	68.62	65.78	68.01	63.00	57.45	65.67	67.87	71.73
1 mile or more .....	21.63	31.11	44.40	37.07	17.86	15.68	19.62	15.13	21.01	21.08	20.41	21.14	18.60
Not reported .....	1.20	1.31	-	-	1.21	-	1.84	1.06	1.62	1.22	1.04	2.88	1.27
Unsatisfactory neighborhood shopping .....	9.65	15.73	18.99	62.93	18.12	15.12	10.41	14.61	13.29	18.47	11.35	8.13	8.09
Not reported or don't know .....	.66	-	2.10	-	2.25	.58	2.35	1.20	1.08	1.80	1.53	-	.30

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 3-4. Neighborhood Quality—Renter Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	179.8	8.9	2.6	1.9	17.0	29.7	22.0	12.5	92.8	33.2	67.5	23.8	81.1
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	34.98	18.70	50.25	63.60	40.82	33.18	31.97	28.58	33.00	37.29	38.10	40.44	29.71
Neighborhood crime.....	34.62	32.08	45.84	24.78	34.37	40.89	23.75	25.25	32.88	33.47	38.44	38.67	30.48
Any condition(s) .....	52.15	45.92	54.85	69.23	51.71	53.48	42.57	41.42	50.77	53.31	54.62	61.12	48.98
Both conditions present.....	17.42	4.88	41.44	19.15	23.47	20.58	13.15	12.39	15.08	17.44	21.62	17.99	13.23
No conditions present.....	47.29	54.08	45.35	30.77	48.29	45.98	58.87	58.42	48.79	48.69	44.24	38.88	52.70
Not reported.....	.55	-	-	-	-	.54	.58	2.16	.44	-	.84	-	.33
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	16.07	7.20	45.84	13.22	26.33	10.81	11.17	13.10	14.97	15.80	15.12	20.08	13.27
Neighborhood crime.....	24.27	16.87	41.44	24.78	28.49	23.98	17.68	13.88	22.08	22.47	27.47	25.25	21.53
Unsatisfactory neighborhood shopping .....	8.38	7.20	-	5.47	12.61	11.75	4.50	12.81	8.44	15.27	10.29	10.17	5.79
Unsatisfactory public elementary school .....	3.21	5.39	-	11.10	3.39	3.22	4.25	-	3.62	5.11	2.87	3.55	3.56
Unsatisfactory public transportation .....	.94	-	-	-	2.69	2.18	.53	2.68	.30	2.22	2.18	-	.10
Any condition(s) .....	38.11	27.68	45.84	42.08	48.82	35.78	27.73	32.27	36.69	40.97	40.48	43.72	35.24
Two or more conditions.....	11.99	9.00	41.44	12.49	22.87	13.96	8.87	7.52	11.01	15.50	14.28	13.69	8.25
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	7.80	3.80	-	13.22	12.91	6.60	6.91	7.55	7.09	10.70	8.11	9.21	5.82
Neighborhood crime.....	11.79	6.84	-	24.78	18.91	14.71	10.83	6.89	10.28	14.27	14.81	12.37	9.49
Unsatisfactory public elementary school .....	2.08	1.79	-	11.10	2.68	1.81	3.19	-	2.82	3.48	1.21	3.55	2.38
Any condition(s) .....	16.26	10.24	-	42.08	23.82	18.16	15.10	11.06	14.72	20.79	18.20	18.74	13.52
Two or more conditions.....	4.91	1.79	-	7.02	10.67	4.96	5.13	3.38	4.84	6.97	5.51	5.92	3.84
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.75	-	-	-	-	.54	.58	3.15	.70	.34	1.20	.48	.33
Neighborhood crime.....	1.87	1.80	-	-	-	2.22	.58	6.07	2.03	1.94	1.98	.68	2.09
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	40.45	36.68	35.55	67.84	48.38	55.42	64.50	2.81	40.88	58.23	43.84	31.18	40.72
Satisfactory public elementary school.....	28.93	22.88	25.29	56.74	38.32	45.39	43.78	.89	28.11	43.21	34.18	19.44	27.52
Unsatisfactory public elementary school .....	3.21	5.39	-	11.10	3.39	3.22	4.25	-	3.62	5.11	2.87	3.55	3.56
So bothered they want to move .....	2.08	1.79	-	11.10	2.68	1.81	3.19	-	2.82	3.48	1.21	3.55	2.38
Not reported.....	.37	-	-	-	.72	.75	.55	-	.54	1.03	.51	-	.39
Not reported or don't know.....	8.31	8.43	10.25	-	8.64	6.80	16.50	1.72	9.15	7.91	6.81	8.18	9.64
Public elementary school less than 1 mile .....	25.83	22.88	20.89	62.11	31.18	34.03	41.82	.89	24.83	40.28	29.84	23.33	22.93
Public elementary school 1 mile or more .....	11.74	12.58	14.66	5.73	12.14	18.33	14.98	-	12.60	13.22	11.55	7.84	13.30
Not reported.....	3.08	1.25	-	-	5.03	3.07	7.60	1.72	3.65	2.75	2.45	-	4.49
Households without children aged 0-16 .....	69.55	63.32	64.45	32.16	51.64	44.58	35.50	97.39	59.12	43.77	56.16	68.82	59.28
Households with children aged 4-16 .....	31.17	30.04	35.55	58.74	37.63	43.93	48.29	2.81	30.72	45.17	33.59	17.81	32.86
Attend public school(K-12).....	25.51	22.84	31.14	58.74	29.65	39.79	35.03	1.72	25.02	42.31	29.38	14.49	25.05
Attend private school (K-12).....	1.49	3.81	-	-	.88	1.15	1.23	-	1.60	.34	1.23	1.35	1.89
Attend ungraded school, preschool, etc.....	1.00	-	-	-	.94	.37	1.69	-	.88	.33	.83	-	1.37
Does not attend school.....	2.48	3.59	-	-	3.34	1.88	4.29	-	2.90	3.18	1.46	1.14	3.79
Not reported.....	1.50	-	4.41	-	3.04	1.12	5.05	.89	1.31	.33	.86	.84	2.37
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	43.92	33.00	-	47.85	64.53	66.03	51.72	43.83	42.19	60.78	79.83	39.66	16.69
Household uses it at least weekly .....	4.39	-	-	17.97	13.85	14.47	7.45	7.72	4.26	13.97	10.88	.87	.33
Satisfactory public transportation .....	3.92	-	-	17.97	13.85	12.69	6.72	7.72	4.09	12.38	9.88	-	.33
Unsatisfactory public transportation .....	.38	-	-	-	-	1.78	-	-	.17	1.59	1.02	-	-
Not reported.....	.09	-	-	-	-	-	.72	-	-	-	-	.87	-
Household uses it less than weekly .....	8.48	4.84	-	16.06	15.57	15.57	14.71	9.99	7.87	16.25	18.77	3.09	1.68
Satisfactory public transportation .....	7.71	3.05	-	13.38	15.17	14.18	6.41	7.13	15.82	17.45	2.41	1.44	1.44
Unsatisfactory public transportation .....	.55	-	-	2.69	.41	.53	2.68	.13	.63	1.16	-	.10	.10
Not reported.....	.21	1.79	-	-	-	-	.90	.41	-	.17	.87	.14	.14
Household does not use .....	29.86	28.16	-	29.89	34.82	35.54	27.50	26.12	28.29	30.55	48.49	34.78	13.60
Not reported.....	1.20	-	-	-	.45	2.07	-	1.97	-	1.49	1.14	1.08	1.08
No public transportation .....	52.03	61.59	100.00	48.72	34.08	32.72	45.48	51.80	52.98	37.14	18.26	57.84	77.66
Not reported.....	4.05	5.40	-	5.83	1.39	1.25	2.80	4.57	4.95	2.06	2.10	2.71	5.85
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	90.55	82.80	100.00	94.53	87.39	87.72	94.42	84.04	90.06	84.73	88.03	89.83	93.55
Less than 1 mile .....	77.31	73.58	32.81	87.51	78.68	75.33	82.82	70.30	75.20	71.33	75.51	78.49	80.59
1 mile or more .....	12.45	19.22	67.19	7.02	8.05	11.19	11.39	12.47	14.43	11.89	11.67	13.34	11.89
Not reported.....	.79	-	-	-	.88	1.20	.50	1.27	.46	1.41	.84	-	1.08
Unsatisfactory neighborhood shopping .....	8.38	7.20	-	5.47	12.81	11.75	4.50	12.81	8.44	15.27	10.29	10.17	5.79
Not reported or don't know.....	1.09	-	-	-	-	.54	1.08	3.15	1.48	-	1.68	-	.67

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 4-4. Neighborhood Quality—Occupied Units with Black Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	56.9	27.2	29.7	3.3	-	.2	7.6	6.6	17.1	15.7	33.8	6.1	16.2
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	33.37	33.57	33.18	8.21	...	55.06	33.87	48.63	24.05	40.70	36.93	26.72	28.72
Neighborhood crime.....	39.44	37.86	40.89	34.32	...	55.06	48.74	49.30	31.36	49.25	43.07	32.88	34.95
Any condition(s).....	52.30	51.02	53.48	42.52	...	55.06	54.79	64.24	43.29	62.78	56.29	49.29	46.42
Both conditions present.....	20.50	20.41	20.58	-	...	55.06	27.81	33.69	12.12	27.18	23.71	10.31	17.25
No conditions present.....	46.85	47.80	45.98	57.48	...	44.94	45.21	35.76	56.71	37.22	42.77	50.71	52.57
Not reported.....	.85	1.18	.54	-	...	-	-	-	-	-	.94	-	1.01
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	15.00	19.57	10.81	-	...	55.06	13.49	23.73	2.29	14.86	17.58	7.84	11.62
Neighborhood crime.....	26.32	28.88	23.98	17.84	...	55.06	36.24	31.72	17.29	35.56	28.61	21.00	23.46
Unsatisfactory neighborhood shopping.....	13.36	15.12	11.75	4.62	...	-	25.87	28.41	9.49	21.81	17.29	8.46	4.90
Unsatisfactory public elementary school.....	3.84	4.51	3.22	4.83	...	-	4.28	3.14	4.44	4.09	1.89	8.64	5.01
Unsatisfactory public transportation.....	1.99	1.78	2.18	-	...	-	4.79	3.14	-	6.47	3.36	-	-
Any condition(s).....	42.08	48.99	35.76	22.46	...	55.06	61.06	60.13	27.34	52.31	46.53	33.90	33.83
Two or more conditions.....	15.72	17.64	13.96	4.83	...	55.06	23.62	23.74	6.18	23.28	18.26	8.64	11.16
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	9.29	12.22	6.60	-	...	55.06	4.70	15.52	1.57	12.80	10.01	5.21	8.34
Neighborhood crime.....	12.72	10.55	14.71	9.67	...	55.06	16.82	13.50	10.66	20.33	14.43	7.19	10.44
Unsatisfactory public elementary school.....	1.31	.76	1.81	4.83	...	-	1.57	-	3.15	1.41	.65	6.02	.98
Any condition(s).....	17.03	15.80	18.16	9.67	...	55.06	18.39	16.99	13.52	24.14	18.61	15.03	13.93
Two or more conditions.....	6.29	7.73	4.96	4.83	...	55.06	4.70	12.03	1.86	10.39	6.48	3.40	5.83
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.85	1.18	.54	-	...	-	-	-	-	-	.94	-	1.01
Neighborhood crime.....	1.96	1.67	2.22	-	...	-	-	4.00	1.38	1.69	2.11	-	2.47
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	51.16	46.51	55.42	45.41	...	100.00	42.30	17.67	56.41	58.55	51.66	44.80	50.69
Satisfactory public elementary school.....	42.70	39.76	45.39	35.74	...	100.00	36.53	14.53	43.49	49.25	46.20	30.16	40.59
Unsatisfactory public elementary school.....	3.84	4.51	3.22	4.83	...	-	4.28	3.14	4.44	4.09	1.89	8.64	5.01
So bothered they want to move.....	1.31	.76	1.81	4.83	...	-	1.57	-	3.15	1.41	.65	6.02	.98
Not reported.....	.39	-	.75	-	...	-	-	-	1.30	1.42	.66	-	-
Not reported or don't know.....	4.62	2.24	6.80	4.83	...	-	1.49	-	8.48	5.22	3.56	6.00	5.09
Public elementary school less than 1 mile.....	33.42	32.78	34.03	35.74	...	55.06	24.98	11.04	32.84	40.59	36.41	33.88	27.77
Public elementary school 1 mile or more.....	15.64	12.70	18.33	9.67	...	44.94	15.87	6.63	19.64	16.40	14.38	10.92	18.82
Not reported.....	2.10	1.05	3.07	-	...	-	1.45	-	3.94	1.57	.87	-	4.11
Households without children aged 0-16.....	48.84	53.49	44.58	54.59	...	-	57.70	82.33	43.59	41.45	48.34	55.20	49.31
Households with children aged 4-16.....	43.79	43.63	43.93	40.55	...	100.00	36.91	17.67	46.84	50.19	44.61	36.16	45.22
Attend public school(K-12).....	38.30	38.69	39.79	35.71	...	100.00	35.45	17.67	41.29	48.78	40.56	31.74	38.05
Attend private school (K-12).....	4.15	7.43	1.15	-	...	-	-	-	.72	-	2.31	8.64	6.51
Attend ungraded school, preschool, etc.....	.59	.83	.37	-	...	-	-	-	1.32	.71	1.00	-	-
Does not attend school.....	1.58	1.25	1.88	4.83	...	-	1.45	-	1.58	1.41	1.07	1.80	2.65
Not reported.....	.78	.40	1.12	-	...	-	-	-	1.93	-	-	-	2.73
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	62.75	59.18	66.03	27.57	...	100.00	76.27	83.12	58.79	84.34	84.41	34.13	28.14
Household uses it at least weekly.....	12.03	9.37	14.47	-	...	55.06	20.48	11.67	9.33	26.57	19.17	-	2.28
Satisfactory public transportation.....	11.10	9.37	12.69	-	...	55.06	20.48	11.67	9.33	23.20	17.61	-	2.28
Unsatisfactory public transportation.....	.93	-	1.78	-	...	-	-	-	-	3.37	1.56	-	-
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	14.22	12.75	15.57	8.21	...	-	11.65	27.96	16.07	31.48	22.04	2.80	2.94
Satisfactory public transportation.....	13.16	10.97	15.17	8.21	...	-	6.85	24.82	16.07	28.38	20.25	2.80	2.94
Unsatisfactory public transportation.....	1.06	1.78	.41	-	...	-	4.79	3.14	-	3.10	1.79	-	-
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	-
Household does not use.....	36.05	36.61	35.54	19.36	...	44.94	44.16	43.49	32.60	26.29	42.79	31.33	22.17
Not reported.....	.45	.45	.45	-	...	-	-	-	.78	-	.40	-	.75
No public transportation.....	35.67	38.89	32.72	72.43	...	-	23.73	16.88	41.21	14.95	13.75	65.87	70.17
Not reported.....	1.58	1.94	1.25	-	...	-	-	-	-	.71	1.84	-	1.69
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	86.06	84.30	87.72	95.38	...	100.00	74.13	71.59	90.51	78.19	81.77	91.54	95.10
Less than 1 mile.....	72.12	68.62	75.33	72.71	...	44.94	67.08	59.69	81.78	62.57	65.58	71.41	87.34
1 mile or more.....	13.34	15.68	11.19	22.67	...	55.06	7.05	11.89	8.72	14.37	15.60	20.13	6.78
Not reported.....	.63	-	1.20	-	...	-	-	-	-	1.26	.58	-	.88
Unsatisfactory neighborhood shopping.....	13.36	15.12	11.75	4.62	...	-	25.87	28.41	9.49	21.81	17.29	8.46	4.90
Not reported or don't know.....	.56	.58	.54	-	...	-	-	-	-	-	.94	-	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	<b>46.2</b>	<b>24.2</b>	<b>22.0</b>	<b>1.8</b>	<b>.7</b>	<b>1.1</b>	<b>11.4</b>	<b>2.3</b>	<b>15.1</b>	<b>9.0</b>	<b>23.5</b>	<b>5.7</b>	<b>14.2</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	27.98	24.35	31.97	16.87	-	89.63	34.35	37.38	29.29	28.73	29.22	18.50	31.65
Neighborhood crime.....	23.38	23.04	23.75	-	17.95	30.28	23.49	33.97	20.78	25.10	26.79	37.17	15.38
Any condition(s) .....	41.01	39.60	42.57	16.87	17.95	89.63	44.46	52.28	39.94	37.43	44.63	41.76	39.20
Both conditions present.....	10.34	7.79	13.15	-	-	30.28	13.38	19.07	10.13	16.39	11.37	13.91	7.81
No conditions present .....	58.21	59.43	56.87	83.13	82.05	10.37	53.48	37.68	59.24	62.57	53.84	58.24	60.80
Not reported .....	.78	.98	.58	-	-	-	2.07	10.05	.82	-	1.53	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	10.77	10.40	11.17	-	-	20.37	13.94	27.20	10.59	13.27	12.81	3.65	11.82
Neighborhood crime.....	17.18	16.73	17.68	-	17.95	30.28	18.83	33.97	15.49	22.59	20.01	26.31	11.38
Unsatisfactory neighborhood shopping .....	7.59	10.41	4.50	8.24	-	30.28	11.01	29.50	6.54	12.43	9.49	1.94	8.25
Unsatisfactory public elementary school .....	3.95	3.98	4.25	-	-	-	4.57	-	4.71	7.92	2.69	14.82	2.44
Unsatisfactory public transportation .....	.77	.99	.53	-	-	-	3.11	-	.77	-	1.51	-	-
Any condition(s) .....	31.01	34.00	27.73	8.24	17.95	30.28	39.34	62.32	26.80	35.65	35.33	32.57	27.96
Two or more conditions .....	7.65	6.54	8.87	-	-	30.28	9.48	19.07	9.07	15.68	8.97	10.29	5.93
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	5.35	3.92	6.91	-	-	20.37	5.72	27.20	5.48	9.87	6.95	3.65	3.86
Neighborhood crime.....	7.64	4.91	10.63	-	-	30.28	10.52	19.07	10.06	16.12	9.74	9.23	5.03
Unsatisfactory public elementary school .....	2.67	2.20	3.19	-	-	-	3.50	-	3.90	6.56	1.70	8.58	2.44
Any condition(s) .....	11.08	7.43	15.10	-	-	30.28	13.07	27.20	13.22	20.23	12.16	13.94	9.76
Two or more conditions .....	4.34	3.61	5.13	-	-	20.37	6.67	19.07	5.49	10.91	6.22	5.59	1.57
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.78	.98	.58	-	-	-	2.07	10.05	.82	-	1.53	-	-
Neighborhood crime.....	1.29	1.95	.58	-	-	-	2.07	10.05	.82	-	2.54	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	59.49	54.92	64.50	57.32	83.67	100.00	63.65	14.13	57.04	67.16	66.54	54.59	58.82
Satisfactory public elementary school.....	43.17	42.63	43.78	42.68	50.07	100.00	44.94	9.28	37.91	54.39	52.28	20.58	43.87
Unsatisfactory public elementary school .....	3.95	3.68	4.25	-	-	-	4.57	-	4.71	7.92	2.69	14.82	2.44
So bothered they want to move .....	2.67	2.20	3.19	-	-	-	3.50	-	3.90	6.56	1.70	8.58	2.44
Not reported .....	.81	.85	.55	-	-	-	1.07	-	.81	1.35	.52	2.76	-
Not reported or don't know .....	12.37	8.61	16.50	14.64	33.60	-	14.14	4.85	14.43	4.85	11.56	19.19	12.51
Public elementary school less than 1 mile .....	40.57	39.34	41.82	25.81	-	100.00	40.76	9.28	32.79	46.51	50.56	39.52	31.38
Public elementary school 1 mile or more .....	13.65	12.44	14.98	25.49	67.34	-	14.68	4.85	16.14	18.13	11.34	15.06	17.98
Not reported .....	5.26	3.13	7.60	6.02	16.33	-	8.20	-	8.12	2.52	4.84	-	9.48
Households without children aged 0-16 .....	40.51	45.08	35.50	42.68	16.33	-	36.35	85.87	42.96	32.84	33.46	45.41	41.18
Households with children aged 4-16 .....	45.84	45.04	46.29	42.68	67.34	100.00	48.79	14.13	35.69	54.86	51.50	35.96	46.10
Attend public school(K-12) .....	37.48	39.71	35.03	25.49	67.34	100.00	40.69	9.28	29.76	53.63	44.40	23.40	37.11
Attend private school (K-12) .....	1.18	1.12	1.23	8.57	-	-	-	-	.75	-	.96	-	2.24
Attend ungraded school, preschool, etc .....	.81	-	1.69	-	-	-	-	-	1.41	-	.91	-	1.12
Does not attend school .....	3.13	2.08	4.29	8.62	-	-	1.92	-	1.47	1.23	2.45	7.44	2.37
Not reported .....	3.77	2.61	5.05	-	-	-	6.19	4.85	3.04	-	2.78	5.12	5.63
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	54.49	57.01	51.72	33.68	16.33	30.28	81.40	52.28	52.35	59.81	82.39	33.11	25.68
Household uses it at least weekly .....	5.54	3.80	7.45	-	-	9.91	12.64	18.18	7.03	8.54	10.21	2.78	-
Satisfactory public transportation .....	5.19	3.80	6.72	-	-	9.91	12.64	18.18	7.03	8.54	10.21	-	-
Unsatisfactory public transportation .....	-	-	-	-	-	-	-	-	-	-	-	-	-
Not reported .....	.34	-	.72	-	-	-	-	-	-	-	-	2.78	-
Household uses it less than weekly .....	12.22	9.95	14.71	-	-	-	27.80	4.85	12.19	15.32	22.83	-	1.98
Satisfactory public transportation .....	11.19	8.48	14.18	-	-	-	24.69	4.85	11.42	15.32	21.32	-	1.12
Unsatisfactory public transportation .....	.77	.99	.53	-	-	-	3.11	-	.77	-	1.51	-	-
Not reported .....	.26	.50	-	-	-	-	-	-	-	-	-	-	.86
Household does not use .....	36.75	43.26	27.50	33.68	16.33	20.37	40.96	29.25	30.13	35.75	47.89	30.33	22.91
Not reported .....	.98	-	2.07	-	-	-	-	-	3.00	-	1.46	-	.78
No public transportation .....	42.88	40.50	45.48	57.70	83.67	89.72	16.53	37.68	45.05	39.16	15.40	64.11	70.50
Not reported .....	2.63	2.49	2.80	8.62	-	-	2.07	10.05	2.60	1.23	2.20	2.78	3.81
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	90.67	87.25	94.42	91.76	83.67	69.72	85.92	55.60	90.46	87.57	88.08	96.06	90.10
Less than 1 mile .....	73.78	65.78	82.52	65.94	34.28	69.72	72.35	50.87	72.98	68.37	78.48	78.28	72.66
1 mile or more .....	15.70	19.62	11.39	25.81	49.39	-	13.57	4.73	15.23	21.20	10.63	19.78	15.13
Not reported .....	1.21	1.84	.50	-	-	-	-	-	2.25	-	.98	-	2.31
Unsatisfactory neighborhood shopping .....	7.59	10.41	4.50	8.24	-	30.28	11.01	29.50	6.54	12.43	9.49	1.94	8.25
Not reported or don't know .....	1.74	2.35	1.08	-	16.33	-	3.07	14.90	3.00	-	2.43	-	1.65

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 6-1. General Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>549.9</b>	<b>483.9</b>	<b>303.1</b>	<b>180.8</b>	<b>66.0</b>	<b>21.7</b>	<b>15.0</b>	<b>6.9</b>	<b>6.1</b>	<b>6.7</b>
<b>Units In Structure</b>										
1, detached.....	358.4	332.8	276.5	56.2	25.6	7.6	5.8	2.5	3.2	1.9
1, attached.....	16.6	14.5	4.5	10.0	2.0	.3	.1	-	.1	.1
2 to 4.....	34.5	25.6	2.0	23.6	8.9	2.1	1.6	.2	1.4	.5
5 to 9.....	43.3	34.3	.2	34.0	9.0	1.3	.4	-	.4	.9
10 to 19.....	48.2	36.2	.4	35.8	12.0	1.3	.3	-	.3	1.1
20 to 49.....	19.4	15.2	.7	14.5	4.2	.5	.3	-	.3	.3
50 or more.....	3.3	1.7	-	1.7	1.6	.5	.2	-	.2	.2
Mobile home or trailer.....	26.1	23.6	16.7	4.9	2.5	8.1	6.4	4.2	2.2	1.7
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994.....	-	-	-	-	-	-	-	-	-	-
1985 to 1989.....	72.0	62.7	37.4	25.3	9.4	.8	.8	.5	.3	-
1980 to 1984.....	112.6	97.4	47.4	50.0	15.2	5.3	4.8	2.8	2.1	.4
1975 to 1979.....	70.6	64.1	43.6	20.5	6.5	2.3	1.4	1.1	.3	1.0
1970 to 1974.....	53.7	47.9	32.8	15.1	5.8	1.7	.7	.4	.3	1.0
1960 to 1969.....	92.1	81.9	54.4	27.5	10.2	3.0	1.7	.6	1.1	1.3
1950 to 1959.....	68.7	62.8	46.5	16.3	5.9	2.4	1.2	1.0	.3	1.2
1940 to 1949.....	42.3	36.0	22.1	13.9	6.4	2.5	1.7	.1	1.8	.8
1930 to 1939.....	22.9	18.4	10.2	8.2	4.5	2.9	2.0	.3	1.8	.9
1920 to 1929.....	9.7	8.2	5.7	2.5	1.5	.5	.5	-	.5	-
1919 or earlier.....	5.4	4.7	3.2	1.5	.7	.4	.1	.1	-	.2
Median.....	1973	1973	1971	1976	1973	1967	1972	1979	1959	1962
<b>Rooms</b>										
1 room.....	1.8	.6	-	.6	1.2	1.0	.2	-	.2	.7
2 rooms.....	5.9	3.1	.4	2.7	2.8	1.0	.7	.2	.5	.4
3 rooms.....	56.1	44.3	3.2	41.1	11.8	2.7	1.5	.5	1.0	2.2
4 rooms.....	98.7	79.5	25.9	53.6	19.2	8.4	6.0	3.1	3.0	2.4
5 rooms.....	136.8	121.0	73.0	48.0	15.8	3.6	2.6	1.0	1.6	1.0
6 rooms.....	132.1	125.7	101.2	24.6	6.4	2.1	1.5	.4	1.1	.7
7 rooms.....	68.5	63.5	57.1	6.4	5.0	1.7	1.6	.2	.4	.1
8 rooms.....	31.4	29.8	27.0	2.8	1.8	.5	.2	-	-	.3
9 rooms.....	12.3	11.1	10.3	.8	1.2	.6	.6	.3	.3	-
10 rooms or more.....	6.3	5.6	5.1	.5	.7	.1	.1	-	-	-
Median.....	5.3	5.4	6.0	4.4	4.4	4.2	4.3	4.4	4.3	4.0
<b>Bedrooms</b>										
None.....	3.6	1.4	-	1.4	2.2	1.0	.2	-	.2	.7
1.....	87.5	66.6	5.2	61.4	20.9	3.8	2.3	1.0	1.3	1.6
2.....	155.3	132.7	60.1	72.6	22.7	10.6	7.6	3.2	4.4	3.0
3.....	251.0	234.4	192.3	42.1	16.7	4.9	3.9	2.0	1.9	1.0
4 or more.....	52.4	48.9	45.5	3.4	3.6	1.4	1.0	.8	.2	.4
Median.....	2.6	2.7	2.9	1.9	1.9	2.1	2.2	2.3	2.1	1.9
<b>Complete Bathrooms</b>										
None.....	1.5	.6	-	.6	.9	.7	.1	-	.1	.6
1.....	215.2	175.2	70.2	105.0	40.0	12.1	8.1	1.7	6.4	4.0
1 and one-half.....	58.0	52.2	35.2	17.1	5.8	2.1	1.5	1.3	.2	.6
2 or more.....	275.2	255.9	197.7	58.2	19.3	6.7	5.2	3.9	1.3	1.5
<b>Air Conditioning</b>										
No air conditioning.....	22.8	13.0	5.2	7.8	9.8	4.2	1.5	.2	1.3	2.7
With air conditioning.....	527.2	470.9	297.9	173.0	56.2	17.5	13.5	6.6	6.8	4.0
Central.....	432.1	383.7	242.4	141.3	48.4	11.9	9.0	5.1	3.9	2.9
1 room unit.....	40.8	35.3	18.9	16.5	5.5	3.2	2.5	1.1	1.4	.7
2 room units.....	35.0	32.9	21.3	11.6	2.1	1.8	1.4	.2	1.1	.4
3 room units or more.....	19.3	18.0	15.4	3.6	.2	.6	.6	.2	.5	-
<b>Main Heating Equipment</b>										
Warm-air furnace.....	416.7	367.9	230.4	137.5	48.7	11.5	7.4	4.7	2.7	4.1
Steam or hot water system.....	2.8	2.0	.5	1.5	.8	-	-	-	-	-
Electric heat pump.....	19.8	18.5	14.3	4.2	1.4	-	-	-	-	-
Built-in electric units.....	8.6	6.7	1.9	4.8	1.9	.3	.3	-	.3	-
Floor, wall, or other built-in hot air units without ducts.....	20.7	17.7	9.6	8.1	3.0	1.6	.6	.2	.4	-
Room heaters with flue.....	13.2	12.2	6.6	5.7	1.0	2.7	2.5	.1	2.4	.2
Room heaters without flue.....	48.6	44.4	29.3	15.1	4.2	3.8	2.9	.6	2.4	.9
Portable electric heaters.....	4.5	3.1	1.6	1.5	1.3	1.3	.5	.5	-	.7
Stoves.....	7.0	5.7	4.3	1.4	1.3	.4	.3	.3	-	.1
Fireplaces with inserts.....	1.5	1.5	1.5	-	-	-	-	-	-	-
Fireplaces without inserts.....	1.2	1.2	.6	.6	-	.3	.3	.3	-	-
Other.....	2.9	2.2	2.0	.1	.8	.4	.2	.2	-	.2
None.....	2.4	.9	.8	.2	1.5	.4	-	-	-	.4
<b>Main House Heating Fuel</b>										
Housing units with heating fuel.....	547.5	483.0	302.5	180.6	64.5	21.3	15.0	6.9	6.1	6.4
Electricity.....	293.4	255.4	133.1	122.2	35.1	6.0	3.4	1.9	1.5	2.6
Piped gas.....	211.7	190.8	142.0	46.8	20.9	7.8	5.6	1.4	4.2	2.2
Bottled gas.....	22.8	18.9	15.2	4.6	2.9	5.5	4.3	2.1	2.3	1.2
Fuel oil.....	5.7	4.8	1.9	2.8	1.1	.1	.1	-	.1	-
Kerosene or other liquid fuel.....	1.5	1.5	1.5	-	-	.8	.8	.8	-	-
Coal or coke.....	.2	.2	.2	-	-	-	-	-	-	-
Wood.....	9.7	8.5	6.8	1.7	1.2	.5	.5	.5	-	-
Solar energy.....	-	-	-	-	-	-	-	-	-	-
Other.....	2.5	2.2	1.8	.4	.3	.6	.2	.2	-	.4

**Table 6-1. General Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	483.9	303.1	180.8	---	---	15.0	6.9	6.1	---
<b>Race and Origin</b>										
White .....	---	422.5	276.8	145.7	---	---	13.1	6.7	6.4	---
Non-Hispanic .....	---	389.5	259.6	129.8	---	---	11.9	6.6	5.3	---
Hispanic .....	---	33.0	17.2	15.8	---	---	1.2	.1	1.1	---
Black .....	---	50.1	22.1	28.0	---	---	1.4	.1	1.3	---
Other .....	---	11.4	4.2	7.2	---	---	.5	-	.5	---
Total Hispanic .....	---	34.3	17.5	16.8	---	---	1.2	.1	1.1	---
<b>Persons Per Room</b>										
0.50 or less .....	---	315.4	205.8	109.6	---	---	7.8	3.4	4.4	---
0.51 to 1.00 .....	---	156.5	92.0	64.5	---	---	6.3	3.3	3.0	---
1.01 to 1.50 .....	---	10.4	4.7	5.7	---	---	.3	.1	.1	---
1.51 or more .....	---	1.6	.5	1.1	---	---	.6	-	.6	---
<b>Selected Subareas<sup>2</sup></b>										
Area one .....	---	167.1	97.8	69.3	---	---	3.7	.6	3.1	---
Area two .....	---	50.9	25.0	26.0	---	---	.9	.1	.8	---
Area three .....	---	212.8	137.9	74.8	---	---	4.4	2.3	2.1	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

<sup>2</sup>See inside back cover for details.

**Table 6-2. Quality Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>549.9</b>	<b>483.9</b>	<b>303.1</b>	<b>180.8</b>	<b>68.0</b>	<b>21.7</b>	<b>15.0</b>	<b>6.9</b>	<b>8.1</b>	<b>6.7</b>
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	4.9	3.1	1.4	1.7	1.9	.8	.5	-	.5	.2
Missing roofing material .....	6.9	4.7	2.1	2.5	2.2	1.2	.7	.1	.6	.5
Hole in roof .....	.8	.2	-	-	.4	.1	-	-	-	.1
Could not see roof .....	16.0	12.2	1.4	10.8	3.8	2.0	.8	.4	.5	1.1
Missing bricks, siding, other outside wall material .....	11.0	7.9	2.8	5.3	3.1	2.9	1.7	.8	1.0	1.2
Sloping outside walls .....	2.2	1.4	.5	.9	.9	.4	.3	-	.3	.7
Boarded up windows .....	4.3	1.0	.2	.7	3.3	1.1	.4	.3	.1	1.7
Broken windows .....	7.0	3.8	1.5	2.3	3.2	2.0	.5	.1	.4	1.5
Bars on windows .....	3.0	2.2	1.2	.9	.8	.4	.4	-	.4	.2
Foundation crumbling or has open crack or hole .....	7.1	5.3	1.4	3.9	1.8	1.4	.4	.2	.1	-
Could not see foundation .....	12.0	8.7	3.5	5.2	3.2	3.2	2.0	.5	1.5	1.2
None of the above .....	502.8	449.0	293.8	155.2	53.6	15.0	11.6	6.0	5.6	3.4
Could not observe or not reported .....	6.7	5.1	1.6	3.5	1.6	.8	.4	-	.4	.4
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	493.1	440.4	284.7	155.6	52.8	17.5	13.3	5.7	7.8	4.2
Not reported .....	2.2	1.3	.9	.4	.9	-	-	-	-	-
Usable fireplace .....	266.8	244.6	180.6	64.0	22.2	2.6	2.2	1.4	.8	.4
Separate dining room .....	253.5	226.5	159.6	68.9	25.0	6.1	4.9	2.1	2.8	1.2
With 2 or more living rooms or recreation rooms, etc. ....	146.5	135.1	116.3	18.8	11.3	2.2	1.9	1.1	.7	.4
Garage or carport included with home .....	335.1	318.4	251.1	65.3	18.7	3.2	2.7	1.1	1.6	.5
Garage or carport not included .....	201.5	188.8	52.0	114.8	34.7	15.1	12.3	5.8	6.5	2.8
Offstreet parking included .....	190.8	157.7	49.5	108.2	32.9	13.5	11.6	5.6	6.0	2.0
Offstreet parking not reported .....	2.2	2.1	.7	1.4	.1	.1	.1	-	.1	-
Garage or carport not reported .....	2.5	.6	-	.6	1.9	-	-	-	-	-
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	21.3	11.8	9.5	...	...	1.2	.4	.8	...
Holes in floors .....	7.7	6.9	2.7	4.1	.8	1.0	.9	.2	.7	.1
Open cracks or holes (interior) .....	39.0	33.9	18.6	15.4	5.0	4.1	1.8	.8	.9	2.4
Broken plaster or peeling paint (interior) .....	25.8	21.4	11.4	10.0	4.4	2.4	1.1	.4	.8	1.2
No electrical wiring .....	-	-	-	-	-	-	-	-	-	-
Exposed wiring .....	7.2	6.3	3.7	2.6	1.0	1.5	.6	.4	.3	.9
Rooms without electric outlets .....	6.1	5.1	1.6	3.3	1.0	.6	.3	.2	.1	.4
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	11.8	8.5	4.2	4.3	3.3	-	-	-	-	-
About the same .....	451.7	400.8	245.9	154.9	50.9	8.5	5.0	1.3	3.7	3.5
Newer .....	8.6	7.4	5.0	2.4	1.2	1.8	1.6	1.1	.7	-
Very mixed .....	54.1	46.6	33.9	12.7	7.5	7.7	6.4	3.4	3.0	1.3
No other residential buildings .....	21.7	18.2	14.5	3.7	3.5	3.7	1.7	1.1	.6	1.9
Not reported .....	4.0	3.2	2.0	1.2	.8	-	-	-	-	-
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	511.6	452.4	284.1	168.2	59.2	15.7	11.2	5.7	5.5	4.5
1 Building .....	9.1	6.7	3.6	3.1	2.3	2.1	1.6	.8	1.0	.5
More than 1 building .....	7.5	5.1	2.1	3.0	2.3	.7	.7	-	.7	-
No buildings within 300 feet .....	17.3	14.5	11.6	2.9	2.8	2.5	.8	.6	.2	1.7
Not reported .....	6.5	5.9	4.1	1.9	.5	.7	.6	-	.6	.1
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet .....	526.1	464.2	289.9	174.4	63.9	18.5	13.6	6.3	7.3	4.9
No bars on windows .....	473.9	416.5	256.6	159.9	57.3	15.7	11.9	5.7	6.3	3.7
1 building with bars .....	18.1	15.4	12.9	2.5	2.7	1.0	.5	.4	.1	.5
2 or more buildings with bars .....	32.7	29.3	16.7	10.6	3.4	1.8	1.1	.2	.9	.7
Not reported .....	3.5	3.0	1.6	1.4	.5	-	-	-	-	-
<b>Conditions of Streets</b>										
No repairs needed .....	387.8	344.6	220.0	124.5	43.3	10.6	6.4	1.6	4.8	4.2
Minor repairs needed .....	113.4	97.9	62.6	35.3	15.4	7.6	5.9	3.7	2.1	1.8
Major repairs needed .....	26.9	22.3	16.7	5.7	4.5	2.0	1.4	1.0	.4	.6
No streets within 300 feet .....	19.7	16.4	4.3	12.0	3.4	1.2	1.0	.5	.5	.2
Not reported .....	4.1	3.6	1.9	1.8	.8	.3	.3	-	.3	-
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	443.2	395.2	254.2	141.0	48.1	11.1	7.1	2.5	4.5	4.0
Minor accumulation .....	91.8	77.3	45.2	32.1	14.5	7.9	5.6	3.9	1.8	2.1
Major accumulation .....	14.6	10.1	5.3	4.8	4.5	2.5	1.9	.5	1.5	.6
Not reported .....	2.3	2.2	1.0	1.2	.2	.2	.2	-	.2	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	---	<b>483.9</b>	<b>303.1</b>	<b>180.8</b>	---	---	<b>15.0</b>	<b>6.9</b>	<b>8.1</b>	---
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100.....	---	12.2	8.3	3.9	---	---	.5	.4	.1	---
\$100 to \$199.....	---	48.7	39.6	7.1	---	---	.8	.5	.1	---
\$200 to \$249.....	---	25.9	20.7	5.2	---	---	1.5	1.0	.5	---
\$250 to \$299.....	---	29.4	18.4	13.0	---	---	1.2	.7	.5	---
\$300 to \$349.....	---	36.6	13.8	22.7	---	---	.7	.5	.2	---
\$350 to \$399.....	---	35.3	10.7	24.6	---	---	.9	-	.9	---
\$400 to \$449.....	---	34.2	10.2	24.0	---	---	1.5	.4	1.1	---
\$450 to \$499.....	---	30.9	13.7	17.2	---	---	.8	.3	.3	---
\$500 to \$599.....	---	46.9	22.9	24.0	---	---	1.8	.6	1.0	---
\$600 to \$699.....	---	32.7	20.1	12.7	---	---	1.3	1.1	.2	---
\$700 to \$799.....	---	30.1	22.0	8.1	---	---	.8	.7	.1	---
\$800 to \$999.....	---	40.2	33.6	6.6	---	---	-	-	-	---
\$1000 to \$1249.....	---	24.9	23.3	1.6	---	---	.2	.2	-	---
\$1250 to \$1499.....	---	10.0	9.6	.3	---	---	-	-	-	---
\$1500 or more.....	---	11.5	10.9	.8	---	---	-	-	-	---
No cash rent.....	---	9.2	-	9.2	---	---	2.9	-	2.9	---
Mortgage payment not reported.....	---	27.3	27.3	-	---	---	.5	.5	-	---
Median (excludes no cash rent).....	---	456	520	419	---	---	409	412	407	---
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs.....	---	---	542	---	---	---	---	422	---	---
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	---	---	499	---	---	---	---	314	---	---
<b>Rent Reductions</b>										
No subsidy or income reporting.....	---	---	---	167.4	---	---	---	---	---	---
Rent control.....	---	---	---	-	---	---	---	---	---	---
No rent control.....	---	---	---	167.3	---	---	---	---	---	---
Reduced by owner.....	---	---	---	10.1	---	---	---	---	---	---
Not reduced by owner.....	---	---	---	154.5	---	---	---	---	---	---
Owner reduction not reported.....	---	---	---	2.7	---	---	---	---	---	---
Rent control not reported.....	---	---	---	.1	---	---	---	---	---	---
Owned by public housing authority.....	---	---	---	5.4	---	---	---	---	---	---
Other, Federal subsidy.....	---	---	---	4.0	---	---	---	---	---	---
Other, State or local subsidy.....	---	---	---	.5	---	---	---	---	---	---
Other, income verification.....	---	---	---	1.1	---	---	---	---	---	---
Subsidy or income verification not reported.....	---	---	---	2.4	---	---	---	---	---	---
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	<b>483.9</b>	<b>303.1</b>	<b>180.8</b>	---	---	<b>15.0</b>	<b>6.9</b>	<b>8.1</b>	---
<b>Household Income</b>										
Less than \$5,000.....	---	23.3	9.2	14.1	---	---	2.4	.3	2.2	---
\$5,000 to \$9,999.....	---	34.8	17.5	17.3	---	---	1.2	.3	.9	---
\$10,000 to \$14,999.....	---	43.3	20.8	22.5	---	---	1.6	.7	1.0	---
\$15,000 to \$19,999.....	---	35.7	15.0	20.7	---	---	2.1	.8	1.2	---
\$20,000 to \$24,999.....	---	47.3	24.0	23.2	---	---	2.3	1.0	1.3	---
\$25,000 to \$29,999.....	---	44.3	25.0	19.3	---	---	1.0	.6	.5	---
\$30,000 to \$34,999.....	---	40.5	23.1	17.4	---	---	.5	.3	.2	---
\$35,000 to \$39,999.....	---	34.8	23.8	11.0	---	---	1.2	.6	.6	---
\$40,000 to \$49,999.....	---	52.8	38.2	14.6	---	---	.9	.9	-	---
\$50,000 to \$59,999.....	---	39.1	30.2	8.9	---	---	.2	.2	-	---
\$60,000 to \$79,999.....	---	50.5	42.8	7.7	---	---	1.5	1.2	.3	---
\$80,000 to \$99,999.....	---	16.9	15.0	1.9	---	---	.1	-	.1	---
\$100,000 to \$119,999.....	---	6.2	7.6	.8	---	---	-	-	-	---
\$120,000 or more.....	---	12.4	11.0	1.5	---	---	-	-	-	---
Median.....	---	31 841	38 581	23 391	---	---	20 348	27 991	15 242	---
<b>As percent of poverty level:</b>										
Less than 50 percent.....	---	16.7	5.4	11.3	---	---	2.3	.3	2.1	---
50 to 99.....	---	27.0	11.9	15.1	---	---	1.9	.5	1.5	---
100 to 149.....	---	37.8	19.3	18.5	---	---	1.5	.8	.7	---
150 to 199.....	---	44.0	22.6	21.3	---	---	1.3	.4	1.0	---
200 percent or more.....	---	358.5	243.9	114.6	---	---	7.9	5.0	2.9	---
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000.....	---	24.4	9.3	15.0	---	---	2.7	.3	2.4	---
\$5,000 to \$9,999.....	---	36.7	18.2	18.4	---	---	1.8	.7	1.1	---
\$10,000 to \$14,999.....	---	45.0	20.7	24.2	---	---	1.9	.3	1.0	---
\$15,000 to \$19,999.....	---	36.4	15.8	20.6	---	---	1.9	.8	1.1	---
\$20,000 to \$24,999.....	---	48.5	24.6	24.0	---	---	2.2	1.0	1.2	---
\$25,000 to \$29,999.....	---	44.4	25.6	18.8	---	---	.8	.7	.1	---
\$30,000 to \$34,999.....	---	41.8	23.5	18.3	---	---	.5	.3	.2	---
\$35,000 to \$39,999.....	---	33.3	23.3	10.0	---	---	1.2	.6	.6	---
\$40,000 to \$49,999.....	---	52.1	38.3	13.7	---	---	.8	.8	-	---
\$50,000 to \$59,999.....	---	37.9	30.0	7.9	---	---	.2	.2	-	---
\$60,000 to \$79,999.....	---	47.0	41.0	6.0	---	---	1.5	1.2	.3	---
\$80,000 to \$99,999.....	---	16.5	14.5	2.0	---	---	.1	-	.1	---
\$100,000 to \$119,999.....	---	7.8	7.4	.5	---	---	-	-	-	---
\$120,000 or more.....	---	12.2	10.9	1.4	---	---	-	-	-	---
Median.....	---	30 791	37 957	22 519	---	---	19 495	27 477	12 816	---

**Table 6-3. Financial Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994—Con.**

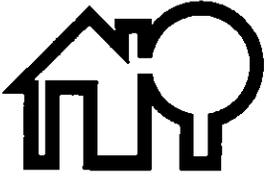
[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	...	...	303.1	...	...	...	...	6.9	...	...
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	...	...	9.1	...	...	...	...	2.3	...	...
\$10,000 to \$19,999 .....	...	...	10.1	...	...	...	...	1.3	...	...
\$20,000 to \$29,999 .....	...	...	12.9	...	...	...	...	1.2	...	...
\$30,000 to \$39,999 .....	...	...	18.1	...	...	...	...	.4	...	...
\$40,000 to \$49,999 .....	...	...	25.8	...	...	...	...	—	...	...
\$50,000 to \$59,999 .....	...	...	32.7	...	...	...	...	.1	...	...
\$60,000 to \$69,999 .....	...	...	44.2	...	...	...	...	.4	...	...
\$70,000 to \$79,999 .....	...	...	31.5	...	...	...	...	—	...	...
\$80,000 to \$99,999 .....	...	...	51.1	...	...	...	...	.7	...	...
\$100,000 to \$119,999 .....	...	...	21.9	...	...	...	...	.4	...	...
\$120,000 to \$149,999 .....	...	...	17.9	...	...	...	...	.1	...	...
\$150,000 to \$199,999 .....	...	...	14.6	...	...	...	...	—	...	...
\$200,000 to \$249,999 .....	...	...	4.1	...	...	...	...	—	...	...
\$250,000 to \$299,999 .....	...	...	4.4	...	...	...	...	—	...	...
\$300,000 or more .....	...	...	4.7	...	...	...	...	—	...	...
Time shared units .....	...	...	—	...	...	...	...	—	...	...
Median .....	...	...	69 706	...	...	...	...	19 153	...	...

<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

# Primary Metropolitan Statistical Area



## Milwaukee, WI

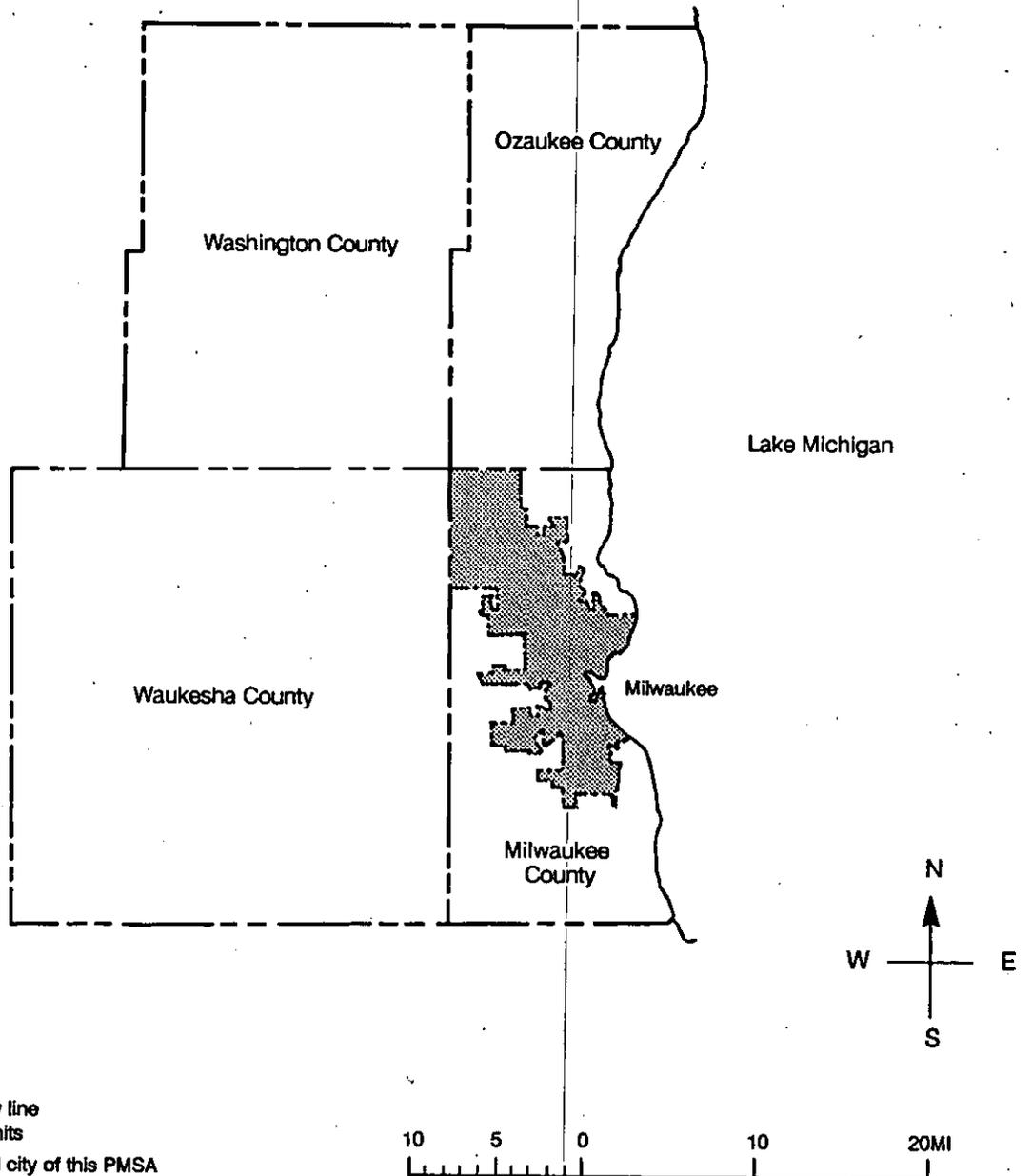


Table 1-1. General Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple							Male householder, no wife present			
		Total	With own children under 18					Total	With own children under 18			
			Total	Race of householder		Hhldr of Hispanic origin	Total		Race of householder		Hhldr of Hispanic origin	
		Total	White	Black		Total	White	Black				
<b>1 Total</b> .....	559.6	386.8	289.4	129.8	117.4	6.3	6.1	17.8	7.4	5.5	1.9	.6
<b>Tenure</b>												
2 Owner occupied.....	348.8	280.4	242.1	104.4	98.5	3.2	4.6	10.9	4.0	3.3	.7	.2
3 Percent of all occupied.....	62.0	72.6	83.7	80.5	83.9	38.6	75.0	61.4	53.6	60.4	34.2	36.2
4 Renter occupied.....	212.8	106.1	47.3	25.4	18.9	5.1	1.5	6.9	3.4	2.2	1.3	.4
<b>Units in Structure</b>												
5 1, detached.....	320.4	266.1	225.7	100.7	94.5	3.9	3.4	10.9	4.4	3.7	.7	.1
6 1, attached.....	22.7	15.9	10.5	4.1	4.0	.1	.1	.8	.1	.1	.1	.1
7 2 to 4.....	116.0	73.4	37.5	19.4	14.6	3.4	2.2	4.1	2.3	1.4	.8	.3
8 5 to 9.....	31.5	14.3	7.1	3.6	2.8	.6	.6	.8	.1	.1	.1	.1
9 10 to 19.....	18.5	5.8	2.8	1.0	.5	.2	.1	.8	.5	.3	.2	.1
10 20 to 49.....	22.2	6.0	3.2	.7	.7	-.1	.1	.2	-.1	-.1	-.1	-.1
11 50 or more.....	27.0	4.1	2.2	-.1	-.1	-.1	-.1	.4	-.1	-.1	-.1	-.1
12 Mobile home or trailer.....	3.1	.8	.5	.2	.2	-.1	-.1	-.1	-.1	-.1	-.1	-.1
<b>Year Structure Built<sup>1</sup></b>												
13 1990 to 1994.....	29.7	21.6	19.5	10.8	10.5	-.1	-.1	.3	.2	.2	-.1	-.1
14 1985 to 1989.....	24.0	16.6	14.5	7.7	7.5	-.1	-.1	.3	.3	.3	-.1	-.1
15 1980 to 1984.....	17.0	11.0	8.1	4.0	4.0	-.1	.2	.6	.2	.1	.2	-.1
16 1975 to 1979.....	43.3	28.4	23.5	10.9	10.2	.4	.3	.8	.3	.3	-.1	-.1
17 1970 to 1974.....	45.2	32.0	24.4	8.7	8.5	.1	.1	1.5	.6	.6	-.1	-.1
18 1960 to 1969.....	92.7	63.8	48.7	17.4	16.5	.4	.3	3.0	1.1	1.0	.8	.1
19 1950 to 1959.....	96.7	71.1	56.3	20.5	19.3	.8	.4	2.9	.9	.8	.1	.1
20 1940 to 1949.....	36.3	28.8	20.1	9.2	8.1	.8	.2	.8	.6	.3	.3	-.1
21 1930 to 1939.....	63.7	42.5	27.0	15.1	12.0	2.5	1.0	2.8	1.5	.9	.6	-.1
22 1920 to 1929.....	47.1	31.9	21.1	11.7	9.5	1.7	.8	1.9	.8	.3	.5	-.1
23 1919 or earlier.....	63.8	42.9	26.3	13.8	11.4	1.7	.8	2.9	.9	.8	.1	.5
24 Median.....	1957	1957	1959	1957	1959	1933	1922	1952	1948	1956	...	...
<b>Age of Householder</b>												
25 Under 25 years.....	28.7	15.2	4.7	2.7	1.8	.6	.5	1.7	.2	.1	.1	-.1
26 25 to 29.....	48.1	31.3	19.8	11.4	9.6	1.3	.3	2.3	1.5	1.0	.5	.1
27 30 to 34.....	64.8	48.2	34.6	26.9	24.3	1.6	.6	1.8	1.6	1.3	.3	.2
28 35 to 44.....	128.8	99.2	75.0	61.0	56.6	3.5	2.9	3.1	2.1	1.8	.4	.2
29 45 to 54.....	76.3	59.5	43.5	35.5	32.2	.9	1.2	3.9	1.5	1.0	.5	-.1
30 55 to 64.....	70.0	52.9	43.5	3.5	3.2	.1	.5	2.6	.5	.3	.1	-.1
31 65 to 74.....	68.7	41.6	35.0	-.1	.3	.2	-.1	.9	-.1	-.1	-.1	-.1
32 75 years and over.....	55.1	22.0	17.4	-.1	-.1	-.1	-.1	1.5	-.1	-.1	-.1	-.1
33 Median.....	46	45	47	39	39	37	40	45	37	37	...	...
<b>Persons 65 Years Old and Over</b>												
34 None.....	426.1	313.5	231.0	127.2	115.2	6.0	5.7	14.4	7.2	5.3	1.9	.4
35 1 person.....	89.9	29.0	16.5	2.2	2.1	.1	.4	2.7	-.1	-.1	-.1	-.1
36 2 persons or more.....	44.6	44.0	41.9	.3	.1	.2	-.1	.7	.2	.2	-.1	.2
<b>Persons</b>												
37 1 person.....	145.8	...	...	...	...	...	...	8.1	1.6	1.3	.3	...
38 2 persons.....	179.8	159.1	116.3	...	...	...	...	4.5	2.0	1.7	.4	...
39 3 persons.....	89.3	84.9	58.2	31.6	28.4	2.0	1.2	4.5	1.9	1.2	.4	...
40 4 persons.....	77.6	75.9	62.2	51.0	47.1	3.1	1.5	1.9	1.2	1.2	.3	...
41 5 persons.....	43.7	43.3	35.6	31.1	27.8	2.0	1.4	2.0	1.6	.8	.8	...
42 6 persons.....	18.4	18.4	12.5	11.3	10.4	.3	1.4	1.0	.6	.2	.2	...
43 7 persons or more.....	6.9	6.9	4.4	4.4	2.8	1.0	.5	.3	.3	.2	.1	...
44 Median.....	2.2	2.9	3.0	4.2	4.1	4.2	4.7	2.7	3.5	3.4	...	...
<b>Rooms</b>												
45 1 room.....	3.6	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
46 2 rooms.....	4.2	.7	.2	-.1	-.1	-.1	-.1	.3	.1	-.1	-.1	-.1
47 3 rooms.....	48.9	5.6	2.4	.3	.3	-.1	.1	.4	.1	.1	-.1	-.1
48 4 rooms.....	95.3	49.9	28.2	10.8	7.7	2.4	4	2.8	.9	.5	.4	.1
49 5 rooms.....	137.4	97.0	69.0	28.8	24.5	1.3	1.7	4.3	2.2	1.4	.8	.1
50 6 rooms.....	109.3	89.0	66.3	30.5	27.1	2.4	1.9	4.7	1.7	1.5	.2	.1
51 7 rooms.....	79.0	68.8	58.8	27.9	26.3	1.1	1.1	2.2	1.1	.8	.3	.2
52 8 rooms.....	48.7	41.5	35.6	18.5	17.7	.7	.7	1.2	.8	.8	-.1	-.1
53 9 rooms.....	21.9	20.7	18.1	9.3	8.8	-.1	-.1	.9	.4	.2	.2	-.1
54 10 rooms or more.....	15.4	13.4	10.8	5.7	5.1	.5	-.1	1.0	.2	.2	-.1	-.1
55 Median.....	5.4	6.0	6.2	6.4	6.5	5.7	5.9	5.7	5.7	5.9	...	...
<b>Persons Per Room</b>												
56 0.50 or less.....	388.2	225.4	169.9	31.9	30.4	1.5	.3	11.3	3.0	2.7	.3	-.1
57 0.51 to 1.00.....	161.4	151.4	113.1	91.8	83.3	5.5	4.9	6.0	3.9	2.8	1.1	.6
58 1.01 to 1.50.....	8.9	8.7	5.9	5.5	3.5	1.1	.9	.5	.5	.5	.5	-.1
59 1.51 or more.....	1.1	1.0	.5	.5	.2	.2	-.1	-.1	-.1	-.1	-.1	-.1

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

Family households - Con.					Nontfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nontfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
79.3	49.2	23.7	24.4	2.4	173.0	80.4	13.4	85.4	45.4	15.5	11.7	1
27.4	9.3	8.3	.8	.6	68.4	22.2	7.6	36.5	21.4	4.2	3.4	2
34.5	18.9	35.1	3.4	23.4	38.4	38.8	56.7	42.8	47.0	27.0	29.4	3
52.0	39.9	15.4	23.6	1.9	108.7	38.2	5.8	48.9	24.1	11.3	8.3	4
29.5	14.5	10.0	4.4	1.1	54.3	19.7	7.1	26.5	16.2	4.2	3.9	5
4.7	2.2	.8	1.4	.1	6.8	1.9	-	3.3	1.7	1.0	.8	6
31.8	22.2	8.1	13.3	1.1	42.8	14.6	1.3	19.9	8.4	4.8	3.6	7
6.5	5.5	2.1	3.3	.1	17.2	5.8	.7	6.9	2.5	3.0	1.4	8
2.3	2.0	1.2	.6	-	10.7	5.4	.6	4.3	1.5	.4	.8	9
2.6	1.9	1.1	.9	-	18.2	5.2	.8	8.4	3.8	1.4	1.2	10
1.6	.8	.3	.8	-	22.9	7.8	2.9	13.9	10.1	.8	.4	11
.4	.1	.1	-	-	2.3	-	-	2.2	1.1	.1	-	12
1.8	.9	.7	.2	-	8.1	3.0	.6	2.8	1.2	1.2	1.1	13
1.7	.8	.8	-	-	7.5	2.9	.8	3.2	2.6	1.0	.3	14
2.3	1.4	.9	.3	-	8.0	1.8	.4	3.1	1.8	.5	.6	15
2.0	1.6	1.3	.1	-	16.9	4.7	1.5	9.9	6.0	1.6	.7	16
6.1	2.6	1.3	1.4	.1	13.2	3.7	.9	8.4	4.9	.8	.4	17
12.1	8.5	4.8	3.7	.2	28.9	10.6	2.8	14.1	8.1	2.2	2.0	18
12.0	8.5	2.9	3.5	.2	25.8	8.6	2.3	13.4	7.7	1.8	1.7	19
5.9	2.8	1.6	1.1	-	9.4	3.7	.8	4.3	2.1	.3	1.1	20
12.6	9.3	2.6	6.5	.2	21.2	7.4	1.2	10.3	3.0	2.4	1.1	21
9.0	5.4	1.9	3.1	.5	15.2	5.4	1.0	7.2	3.6	1.4	1.1	22
13.7	9.6	4.8	4.5	1.3	20.9	8.6	1.1	8.7	4.4	2.1	1.6	23
1947	1941	1953	1957	-	1958	1956	1961	1959	1962	1958	1956	24
8.8	8.1	2.3	5.7	.2	13.6	4.0	...	3.3	...	3.8	2.5	25
9.1	8.7	2.5	5.9	.4	16.9	5.4	...	4.6	...	4.4	2.6	26
11.9	11.3	6.0	5.1	.7	16.6	8.5	...	4.5	...	1.9	1.8	27
21.0	18.3	9.6	6.5	.8	29.7	14.4	...	10.1	...	3.4	1.8	28
12.8	4.0	2.8	1.1	.2	18.0	9.2	...	7.4	...	...	...	29
6.9	.5	.3	-	.1	17.1	5.5	...	10.2	...	.8	1.6	30
5.7	.1	-	.1	-	27.1	8.0	8.0	...	...	.7	.7	31
3.1	.2	.2	-	-	33.2	5.4	5.4	16.0	18.0	.3	.7	32
40	33	36	31	-	50	44	73	27.4	27.4	2.2	.2	33
68.1	48.5	23.1	24.3	2.4	112.6	47.0	...	40.0	...	14.8	10.8	34
9.8	.5	.4	.1	-	59.9	13.4	13.4	45.4	45.4	.7	.4	35
1.4	.2	.2	-	-	.5	...	...	...	...	-	.5	36
...	...	...	...	...	145.8	60.4	13.4	85.4	45.4	...	...	37
34.8	14.6	7.9	6.1	.1	20.6	...	...	...	...	11.1	9.5	38
22.2	15.6	8.3	7.1	.6	4.5	...	...	...	...	2.8	1.7	39
11.8	10.0	4.3	5.4	.1	1.6	...	...	...	...	1.1	.5	40
5.5	4.6	2.0	2.5	.9	.5	...	...	...	...	.5	-	41
3.0	2.6	1.0	1.6	.5	...	...	...	...	...	-	-	42
2.1	1.3	.1	1.7	.3	...	...	...	...	...	-	-	43
2.7	3.1	3.0	3.4	-	1.5	...	...	...	...	2.2	2.1	44
...	...	...	...	...	3.8	2.9	.2	.6	.2	-	.1	45
.1	.1	-	-	-	3.5	1.7	.1	1.7	.6	-	-	46
2.8	2.2	.9	1.3	-	41.3	16.8	3.8	21.3	11.0	1.7	1.5	47
15.9	13.9	5.8	7.8	.1	45.4	14.8	2.6	23.8	11.3	3.1	3.7	48
23.6	14.9	6.9	7.5	.8	40.4	12.5	3.1	19.4	10.9	5.0	3.5	49
16.0	9.7	5.3	4.4	1.1	20.3	6.4	2.3	9.5	5.5	2.7	1.7	50
7.8	4.0	2.1	1.8	.2	10.2	3.3	.9	4.9	3.1	1.5	.5	51
4.8	2.6	1.5	1.1	.2	5.1	1.0	.4	2.8	1.7	1.1	.2	52
1.7	1.0	.7	.3	-	1.2	.4	-	.5	.5	.2	.1	53
1.6	.8	.7	.2	-	1.9	.7	-	.9	.7	.1	.3	54
5.3	5.1	5.3	4.9	-	4.3	4.1	4.5	4.3	4.5	5.1	4.6	55
44.2	19.6	12.4	6.7	.6	162.8	57.5	13.2	84.9	45.2	11.4	9.0	56
32.3	27.3	10.7	15.9	1.3	10.0	2.9	.2	.8	.2	3.9	2.6	57
2.3	1.9	.5	1.4	.5	.1	-	-	-	-	.1	-	58
.5	.5	.1	.4	-	.1	-	-	-	-	-	.1	59

**Table 1-2. Financial Characteristics by Family Type—Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		Hhldr of Hispanic origin
			White	Black			White	Black				
<b>1 Total</b>	<b>559.6</b>	<b>388.6</b>	<b>289.4</b>	<b>129.8</b>	<b>117.4</b>	<b>8.3</b>	<b>6.1</b>	<b>17.8</b>	<b>7.4</b>	<b>5.5</b>	<b>1.9</b>	<b>.8</b>
<b>Household Income</b>												
2 Less than \$5,000	8.5	3.1	1.0	.4	.2	-	.1	.2	-	-	-	-
3 \$5,000 to \$9,999	50.1	20.3	3.4	2.3	1.1	.9	.5	.8	.7	.4	.3	.1
4 \$10,000 to \$14,999	44.6	20.5	7.8	1.5	1.4	.1	.3	1.2	.5	.4	.1	.1
5 \$15,000 to \$19,999	40.5	21.6	11.9	3.4	2.6	.8	.5	.5	.4	-	.4	-
6 \$20,000 to \$24,999	44.2	26.3	16.7	4.2	3.2	.9	.4	1.5	1.1	1.0	.1	-
7 \$25,000 to \$29,999	48.7	27.3	18.7	5.3	4.5	.4	1.0	1.4	.3	.1	.2	-
8 \$30,000 to \$34,999	41.3	30.0	21.5	8.9	7.4	1.1	1.0	1.7	.9	.9	.2	.3
9 \$35,000 to \$39,999	32.4	23.1	17.8	9.7	7.5	1.5	.8	1.6	.9	.7	.2	-
10 \$40,000 to \$49,999	66.1	49.7	40.2	18.8	18.1	.4	.2	2.8	1.0	.7	.3	-
11 \$50,000 to \$59,999	52.4	43.8	38.2	19.0	18.1	.3	.2	2.4	.9	.6	.3	-
12 \$60,000 to \$79,999	64.1	57.1	51.6	28.5	27.1	.8	.7	1.6	.5	.5	-	-
13 \$80,000 to \$99,999	34.4	32.0	30.5	14.9	13.8	.9	.1	1.1	.1	.1	-	-
14 \$100,000 to \$119,999	12.0	11.2	10.6	4.8	4.4	.2	.2	.4	-	-	-	-
15 \$120,000 or more	22.4	20.6	19.5	8.1	8.0	-	-	.5	-	-	-	-
16 <b>Median</b>	<b>35 597</b>	<b>44 243</b>	<b>51 514</b>	<b>55 454</b>	<b>56 984</b>	<b>34 320</b>	<b>31 181</b>	<b>39 333</b>	<b>33 735</b>	<b>34 448</b>		
<b>As percent of poverty level:</b>												
17 Less than 50 percent	13.9	10.1	2.2	1.6	.4	.8	.3	.7	.4	.1	.3	.1
18 50 to 99	39.0	23.4	4.9	4.0	3.2	.6	1.1	.7	.6	.5	.1	.1
19 100 to 149	44.6	22.4	10.0	5.7	4.4	1.1	1.0	1.4	.6	.5	.2	.2
20 150 to 199	47.6	28.0	19.2	9.5	8.2	1.0	1.1	2.0	1.2	.9	.2	.2
21 200 percent or more	414.4	302.7	253.1	109.0	101.3	4.8	2.7	13.0	4.6	3.5	1.1	.1
<b>Monthly Housing Costs</b>												
22 Less than \$100	1.4	.4	-	-	-	-	-	-	-	-	-	-
23 \$100 to \$199	16.5	7.0	2.3	.5	.1	.3	.2	.2	.3	-	-	-
24 \$200 to \$249	13.4	4.7	2.7	.6	.6	-	.2	.9	.3	-	.3	-
25 \$250 to \$299	23.7	14.4	9.9	2.4	1.5	.7	.6	.9	.4	.2	.2	-
26 \$300 to \$349	39.8	22.3	14.1	2.5	1.9	.4	.1	.8	.3	.3	.1	.1
27 \$350 to \$399	45.0	28.0	19.5	5.0	3.5	1.4	.7	1.3	.1	.1	.1	-
28 \$400 to \$449	40.9	25.8	16.8	4.1	3.4	.5	.6	1.1	.5	.3	.1	.5
29 \$450 to \$499	37.0	23.3	13.7	5.2	3.7	1.1	.1	1.2	.7	.3	.4	.2
30 \$500 to \$599	69.6	45.0	28.9	10.8	8.9	1.5	.6	2.5	.9	.7	.2	.1
31 \$600 to \$699	54.2	38.3	27.7	12.9	10.8	1.1	1.4	2.7	1.2	.7	.5	.1
32 \$700 to \$799	43.4	32.9	27.1	12.1	10.9	.6	.6	1.5	.6	.6	-	-
33 \$800 to \$999	62.6	47.5	39.9	21.7	21.4	.3	.6	2.7	1.3	1.1	.2	-
34 \$1,000 to \$1,249	40.2	35.3	30.9	19.3	19.0	-	.4	.6	.2	.2	-	-
35 \$1,250 to \$1,499	21.3	18.7	17.9	12.5	12.1	.2	-	.2	.2	.2	-	-
36 \$1,500 or more	22.6	20.6	19.6	12.3	12.0	.2	.2	.4	.1	.1	-	-
37 No cash rent	3.7	1.9	1.4	.3	.3	-	-	-	-	-	-	-
38 Mortgage payment not reported	24.2	20.5	17.2	7.5	7.3	-	.3	.9	.5	.5	-	-
39 <b>Median (excludes no cash rent)</b>	<b>569</b>	<b>629</b>	<b>700</b>	<b>845</b>	<b>889</b>	<b>488</b>	<b>560</b>	<b>580</b>	<b>619</b>	<b>668</b>		
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs	716	780	783	976	995	-	652	663	-	-	-	-
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs	656	692	715	890	909	-	600	587	-	-	-	-
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>												
42 Less than 5 percent	6.6	6.0	5.8	1.2	1.2	-	-	.2	-	-	-	-
43 5 to 9 percent	42.7	38.0	31.9	10.0	8.2	1.4	.7	2.1	.5	.4	.1	-
44 10 to 14 percent	68.3	59.1	50.9	20.2	17.9	1.6	.7	3.4	.4	-	.4	-
45 15 to 19 percent	94.7	74.3	63.3	28.6	26.0	2.0	.7	3.0	1.5	1.1	.5	.2
46 20 to 24 percent	94.2	64.5	51.3	27.4	26.0	.7	.8	2.2	1.0	.8	.2	.1
47 25 to 29 percent	64.5	40.5	28.6	15.4	14.3	.8	1.0	1.8	.8	.7	.1	-
48 30 to 34 percent	41.4	22.6	15.3	8.2	7.3	.6	1.0	1.5	.9	.9	-	-
49 35 to 39 percent	29.6	13.5	8.5	2.9	2.4	.4	.2	.4	.1	.1	-	-
50 40 to 49 percent	31.3	16.8	8.3	3.5	3.2	.2	.3	.9	.8	.7	.1	-
51 50 to 59 percent	17.9	8.6	3.1	1.5	1.2	.4	.1	.4	.2	.2	.2	-
52 60 to 69 percent	10.2	5.6	1.4	.9	.9	-	.1	.3	.1	.1	.1	.1
53 70 to 99 percent	16.2	8.6	2.0	1.0	.7	.1	.1	.8	.5	.2	.3	.1
54 100 percent or more <sup>1</sup>	12.9	5.1	2.1	.9	.7	.1	.1	.1	-	-	-	-
55 Zero or negative income	1.0	.8	.4	-	-	-	-	-	-	-	-	-
56 No cash rent	3.7	1.9	1.4	.3	.3	-	-	-	-	-	-	-
57 Mortgage payment not reported	24.2	20.5	17.2	7.5	7.3	-	.3	.9	.5	.5	-	-
58 <b>Median (excludes 3 previous lines)</b>	<b>23</b>	<b>20</b>	<b>19</b>	<b>20</b>	<b>20</b>	<b>18</b>	<b>25</b>	<b>20</b>	<b>25</b>	<b>27</b>		
59 <b>Median (excludes 4 lines before medians)</b>	<b>22</b>	<b>20</b>	<b>19</b>	<b>20</b>	<b>20</b>	<b>18</b>	<b>25</b>	<b>20</b>	<b>25</b>	<b>27</b>		

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Total	Living alone				Other nonfamily		Total	
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female		
		White	Black			Total	65 and over	Total	65 and over				
79.3	49.2	23.7	24.4	2.4	173.0	60.4	13.4	65.4	45.4	15.5	11.7	1	
1.9	1.4	.5	.8	—	5.4	2.0	.3	3.1	2.1	.1	.1	2	
16.2	15.2	4.1	10.5	.3	29.8	9.1	3.8	19.6	14.9	.7	.5	3	
11.5	8.9	4.4	4.4	.7	24.1	7.3	2.6	16.2	11.8	—	.7	4	
9.1	6.3	2.4	3.6	.5	18.9	5.8	2.5	11.4	5.3	1.0	.8	5	
8.0	3.8	2.1	1.7	.4	17.9	6.9	1.8	9.2	3.5	1.3	.6	6	
7.2	3.4	2.6	.8	.1	19.4	6.4	1.1	11.5	4.8	.5	1.0	7	
6.8	3.4	2.1	1.3	—	11.3	4.4	—	4.2	1.3	1.8	.9	8	
3.7	1.8	1.4	.4	—	9.2	4.9	.5	2.6	.6	.9	.8	9	
6.7	2.6	1.9	.7	.4	16.4	6.5	.3	4.1	.7	2.7	3.0	10	
3.2	1.0	1.0	—	—	8.6	4.1	—	1.4	—	2.2	.9	11	
3.9	1.2	1.2	—	—	7.0	1.2	.2	1.5	.1	2.6	1.7	12	
.4	—	—	—	—	2.3	.7	—	.1	—	.8	.7	13	
.2	—	—	—	—	.8	.5	.2	.2	.2	.1	—	14	
.6	.2	.2	—	—	1.8	.6	—	.4	.2	.8	—	15	
20 611	14 455	21 235	11 034	—	22 308	24 418	14 867	16 689	12 434	45 488	41 642	16	
7.2	6.5	1.3	4.9	—	3.8	1.8	.3	1.8	1.2	.1	.1	17	
17.8	16.1	5.6	9.6	1.4	15.6	5.2	.7	9.0	6.2	.8	.8	18	
10.9	8.4	3.0	5.4	.1	22.3	5.8	3.7	15.8	12.0	.1	.8	19	
6.8	4.3	2.9	1.4	.2	19.6	5.3	1.5	12.5	8.2	.9	.8	20	
36.6	14.0	10.8	3.1	.7	111.7	42.2	7.2	46.3	17.9	13.5	9.6	21	
.4	.4	.3	.1	.1	1.1	.4	—	.7	.7	—	—	22	
4.5	3.9	.7	2.9	.1	9.5	2.9	1.2	6.3	4.5	.1	.1	23	
1.1	.6	.3	.3	—	8.6	3.3	1.3	5.0	3.9	.2	.1	24	
3.7	1.2	.6	.4	—	9.3	3.4	1.4	5.6	4.3	.1	.2	25	
7.4	4.5	2.0	2.3	.1	17.4	5.3	2.0	10.8	6.1	.9	.5	26	
7.2	4.7	1.7	3.0	.5	17.0	6.1	1.5	9.8	6.3	.3	.9	27	
7.9	5.1	1.9	2.9	.3	15.2	6.0	2.0	7.7	3.1	.8	.9	28	
8.4	5.9	1.4	4.4	.1	13.7	4.8	.8	7.0	2.9	1.1	.8	29	
13.7	9.0	4.2	4.6	.4	24.7	7.9	1.4	11.1	3.6	3.1	2.6	30	
8.0	5.0	3.3	1.7	.8	15.9	5.1	.7	6.7	3.3	2.7	1.4	31	
4.4	2.2	1.5	.7	—	10.5	2.7	.3	4.7	1.6	2.3	.9	32	
5.0	2.8	2.6	.3	—	15.0	5.4	.5	5.4	2.3	2.1	2.2	33	
3.7	2.3	1.8	.5	.2	4.9	2.0	.1	1.7	1.5	.8	.4	34	
.6	.4	.4	—	—	2.6	1.3	.2	.8	.2	.4	.2	35	
.8	.4	.4	—	—	2.1	.5	.7	.7	.5	.7	.2	36	
.5	.4	.2	.2	—	1.7	1.1	—	.5	.2	—	.1	37	
2.4	.5	.5	—	—	3.7	2.2	—	1.0	.6	.2	.2	38	
486	482	561	450	—	471	462	377	425	372	646	580	39	
603	843	883	—	—	482	649	381	393	355	—	—	40	
533	687	818	—	—	452	623	373	386	349	—	—	41	
4.0	.8	.5	.1	.1	.8	.2	—	.5	.5	—	—	42	
4.9	1.0	.3	.6	.1	4.7	2.0	.4	2.3	.7	.2	.1	43	
6.0	3.5	2.5	1.0	.2	9.2	4.8	1.4	3.3	1.0	.7	.4	44	
11.0	6.0	3.2	2.7	.1	20.4	8.9	.4	8.3	4.0	2.0	1.2	45	
10.2	6.1	3.0	2.8	.2	29.8	11.3	1.9	15.2	5.4	2.2	1.1	46	
5.8	4.2	2.8	1.4	.6	24.0	8.9	2.4	10.7	4.4	2.2	2.2	47	
4.7	3.8	2.0	1.6	.4	18.8	6.2	1.1	10.3	5.8	1.4	.9	48	
9.6	7.2	3.4	3.7	.5	16.1	4.2	2.2	9.0	5.2	1.8	1.1	49	
5.1	3.9	1.9	1.9	.9	14.5	2.9	.8	8.7	5.7	1.7	1.1	50	
3.9	3.8	1.2	2.6	.6	9.3	3.0	1.6	4.4	3.4	.9	1.1	51	
5.8	3.8	1.4	3.9	.2	4.6	.7	.3	2.9	2.3	.7	.2	52	
2.9	2.8	.8	1.8	.1	7.8	2.4	.6	4.5	3.3	.3	.4	53	
.5	.1	—	.1	—	1.1	1.4	.5	3.8	3.0	1.2	1.4	54	
.5	.4	.2	.2	—	.1	.1	—	—	—	—	—	55	
2.4	.5	.5	—	—	1.7	1.1	—	.5	.2	.2	.1	56	
30	39	34	45	—	3.7	2.2	—	1.0	.8	.2	.2	57	
29	37	33	42	—	29	26	31	31	36	31	33	58	
					28	25	30	30	34	29	30	59	

**Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		Hhldr of Hispanic origin
			White	Black			White	Black				
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	346.8	280.4	242.1	104.4	98.5	3.2	4.6	10.9	4.0	3.3	.7	.2
<b>Value</b>												
2 Less than \$10,000.....	.9	.8	.6	.3	.2	.1	—	—	—	—	—	—
3 \$10,000 to \$19,999.....	7.0	3.9	2.4	.2	—	—	—	.2	—	—	—	—
4 \$20,000 to \$29,999.....	7.3	5.0	3.3	1.6	1.0	.4	.3	.4	.2	.2	—	.2
5 \$30,000 to \$39,999.....	13.5	8.8	8.1	3.7	2.9	.8	1.3	.7	.2	.2	—	—
6 \$40,000 to \$49,999.....	14.5	10.0	7.9	3.5	2.6	.4	.7	.5	.3	.1	.2	—
7 \$50,000 to \$59,999.....	17.4	13.1	9.8	3.6	3.1	.4	.4	1.3	.5	.2	.3	—
8 \$60,000 to \$69,999.....	25.7	19.5	15.2	7.7	7.2	.3	.4	.5	.2	.2	—	—
9 \$70,000 to \$79,999.....	25.5	17.5	15.1	5.6	4.9	.3	.4	.9	—	—	—	—
10 \$80,000 to \$99,999.....	58.5	45.2	38.9	15.1	14.6	—	.3	2.1	.8	.8	—	—
11 \$100,000 to \$119,999.....	45.3	38.7	33.3	12.1	12.1	—	—	1.0	.2	.7	—	—
12 \$120,000 to \$149,999.....	54.4	47.8	42.9	18.9	18.5	.2	—	1.3	.7	—	—	—
13 \$150,000 to \$199,999.....	45.1	40.8	38.3	20.0	19.4	—	.5	.8	.7	.5	.1	—
14 \$200,000 to \$249,999.....	16.5	15.5	14.7	7.2	7.2	—	—	.6	—	—	—	—
15 \$250,000 to \$299,999.....	7.7	7.1	6.5	2.4	2.4	—	—	.2	.2	.2	—	—
16 \$300,000 or more.....	7.7	6.0	5.1	2.6	2.4	—	—	.3	—	—	—	—
17 Median.....	101 407	107 970	111 836	117 971	121 031	—	49 252	88 148	—	—	—	—

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
27.4	9.3	6.3	.8	.8	66.4	22.2	7.6	36.5	21.4	4.2	3.4	1
.2	—	—	—	—	.1	—	—	.1	.1	—	—	2
1.3	.5	—	—	—	3.0	.5	—	2.5	1.8	—	—	3
1.3	.3	.1	—	—	2.4	.2	—	2.0	.8	—	—	4
1.1	.8	.8	—	—	3.8	1.1	.8	1.9	.9	.5	.2	5
1.5	.2	.2	—	—	4.5	1.6	1.0	2.3	1.4	.8	—	6
1.9	.2	.2	—	—	4.4	2.1	.7	2.1	1.3	.2	—	7
3.8	1.2	1.1	.1	.2	8.2	2.1	.8	3.4	2.4	.4	.2	8
1.5	.2	.2	—	—	7.9	2.0	.9	4.8	2.6	.2	—	9
4.1	1.3	1.2	.2	.2	13.3	5.2	.8	8.0	4.0	—	.2	10
4.4	2.1	2.1	—	—	6.5	1.7	.8	4.0	2.5	.3	.5	11
3.4	1.9	1.9	—	—	6.7	2.5	.7	2.8	1.9	.8	.7	12
1.5	.4	.4	—	—	4.5	2.1	1.0	1.1	.8	1.0	.2	13
.3	.2	.2	—	—	.9	.4	.2	.5	.2	—	—	14
.5	—	—	—	—	.8	.2	—	.2	.2	—	—	15
.8	.2	.2	—	—	1.6	.5	.2	.9	.8	.2	.2	16
65 223	101 466	106 084	—	—	61 642	85 791	77 898	78 393	78 448	109 377	—	17





Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple					Male householder, no wife present				
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin
				Total	Race of householder				Total	Race of householder		
			White	Black			White	Black				
<b>Overall Opinion of Structure</b>												
1 (worst).....	3.5	2.2	.8	.7	.4	.2	-	-	-	-	-	-
2.....	.8	.6	.1	-	-	-	-	-	-	-	-	-
3.....	3.8	2.8	1.6	.9	.6	.2	-	.1	-	-	-	-
4.....	6.4	4.5	2.3	1.5	1.2	.1	.1	.7	.5	.3	.2	.1
5.....	28.2	18.8	10.6	8.0	4.8	.7	.1	1.1	.8	.4	.3	.1
6.....	23.2	15.6	9.8	5.8	5.0	.4	.3	1.1	.8	.4	.3	.1
7.....	59.2	37.3	25.1	14.1	13.0	.9	.7	3.0	1.2	1.2	.8	.2
8.....	136.1	95.5	69.5	33.5	29.9	2.1	1.3	5.5	2.7	1.9	.8	.2
9.....	90.1	62.3	50.9	23.6	21.8	1.5	.7	2.1	.8	.7	.1	.1
10 (best).....	205.5	145.1	116.5	43.8	40.5	2.1	3.0	5.1	1.5	1.0	.5	.1
11 Not reported.....	2.6	1.7	1.3	.3	.3	-	-	-	-	-	-	-
<b>Neighborhood Conditions</b>												
<b>With neighborhood</b>												
12 No problems.....	555.3	383.9	287.7	129.5	117.2	8.3	6.1	17.4	7.3	5.3	1.9	.6
13 With problems <sup>1</sup> .....	336.6	227.5	175.7	73.7	68.0	3.0	3.8	11.2	3.7	3.1	.6	.5
14 Crime.....	218.5	156.2	111.8	55.8	49.2	5.3	2.2	6.2	3.5	2.2	1.3	.1
15 Noise.....	55.2	37.0	20.1	10.6	7.6	2.0	1.0	2.0	1.2	.8	.4	.1
16 Traffic.....	44.7	28.5	18.0	8.2	6.5	1.1	.3	1.4	.7	.5	.2	.1
17 Litter or housing deterioration.....	39.5	27.9	21.3	11.4	10.6	.5	-	1.3	.5	.4	.1	-
18 Poor city or county services.....	17.6	14.2	9.8	3.2	2.8	.4	.3	.2	-	-	-	-
19 Undesirable commercial, institutional, industrial.....	3.2	2.0	.9	.4	.4	-	-	.2	.2	-	.2	-
20 People.....	8.9	5.9	4.8	2.5	2.2	.2	-	.3	.1	-	.1	-
21 Other.....	85.2	60.9	39.4	19.3	15.9	3.1	.5	2.6	1.6	.9	.8	.1
22 Type of problem not reported.....	41.2	31.0	25.7	13.6	13.1	.4	.3	.3	-	-	-	-
23 Presence of problems not reported.....	1.0	.9	.9	.6	.6	-	.1	-	-	-	-	-
24	.2	.2	.2	-	-	-	-	-	-	-	-	-
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst).....	12.6	9.4	3.4	2.1	.8	1.0	.5	.1	-	-	-	-
26.....	5.3	4.4	2.2	.7	.6	.2	-	-	-	-	-	-
27.....	7.1	4.5	1.8	1.0	.7	.3	.1	.5	.2	.2	.2	.1
28.....	12.1	8.5	4.7	2.8	2.7	-	.5	.5	.3	.1	.1	.1
29.....	35.8	24.7	16.4	7.2	5.8	1.0	.1	1.0	.5	.3	.3	.1
30.....	29.6	19.0	12.3	6.4	5.6	.5	.7	1.0	.3	.2	.1	.1
31.....	56.6	34.9	26.0	15.8	13.7	1.9	.5	2.6	1.1	.9	.2	.1
32.....	127.1	84.2	63.5	29.0	25.9	1.5	.9	4.8	2.1	1.6	.5	.1
33.....	79.7	57.1	45.4	21.1	20.0	.8	.7	2.5	1.5	1.5	.1	.3
34 10 (best).....	189.2	137.1	112.1	43.5	41.5	1.2	2.0	4.4	1.3	.8	.5	.1
35 No neighborhood.....	.8	.6	.6	-	-	-	-	-	-	-	-	-
36 Not reported.....	3.5	2.1	1.1	.3	.3	-	-	.4	.1	.1	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
1.4	1.4	.1	1.2	—	1.3	.7	.1	.6	.3	—	—	1
.5	.3	.1	.1	—	.2	—	—	—	—	—	—	2
1.1	.8	.1	.7	.1	1.0	.3	—	.2	.5	.5	—	3
2.1	1.8	.3	1.5	.1	1.9	.7	—	.6	.1	.4	.3	4
7.5	6.5	1.6	4.8	.1	9.4	2.7	.6	5.1	2.3	.9	.6	5
4.7	3.5	1.7	1.8	.2	7.6	3.5	.2	2.2	.7	1.1	.9	6
8.2	6.4	3.8	2.2	.2	21.9	10.0	1.2	7.2	2.6	3.2	1.5	7
20.5	11.5	6.9	4.8	.4	40.6	18.2	2.3	15.7	9.0	4.0	1.7	8
9.3	5.1	3.6	1.5	.1	27.8	9.2	1.6	13.3	6.6	2.5	2.9	9
23.5	11.7	5.4	5.7	.9	60.4	16.9	7.3	37.1	23.3	2.7	3.7	10
.5	.3	—	.3	—	.9	.4	.1	.5	.5	.1	—	11
78.7	48.8	23.7	24.0	2.4	171.5	59.7	13.3	84.7	45.0	15.4	11.7	12
40.5	23.1	12.6	10.1	1.7	109.2	37.4	10.4	55.5	34.8	7.3	6.0	13
38.2	25.7	11.1	13.9	.7	62.3	22.3	2.9	26.2	10.2	8.1	5.7	14
14.8	11.3	3.0	7.9	.3	18.2	6.8	.6	7.9	3.7	2.1	1.4	15
9.2	5.6	1.6	4.0	—	16.2	6.1	.9	6.0	2.2	2.9	1.1	16
5.3	3.1	1.3	1.8	—	11.6	5.5	.7	4.1	1.6	1.5	.5	17
4.4	2.7	.9	1.8	.3	3.5	.8	.3	1.7	.7	.4	.5	18
.9	.7	.4	.3	—	1.2	.4	.1	.6	.3	.1	—	19
.7	.2	.2	—	—	3.0	1.1	.3	1.4	.4	—	.5	20
18.9	13.2	5.6	7.2	.5	24.3	8.1	1.5	10.9	4.1	2.6	2.5	21
5.0	3.2	2.6	.6	—	10.2	3.4	.9	4.0	1.3	1.6	1.1	22
—	—	—	—	—	.1	—	—	.1	.1	—	—	23
—	—	—	—	—	—	—	—	—	—	—	—	24
5.9	4.9	.9	3.9	—	3.2	1.2	.4	1.8	.6	.3	.2	25
2.1	1.7	.5	1.2	—	1.0	.5	—	.2	.1	—	.2	26
2.2	2.0	.6	1.4	.2	2.6	.7	—	.8	.2	.6	.5	27
3.3	2.3	1.0	1.3	.3	3.8	1.8	.1	1.1	.3	.4	.4	28
7.3	5.0	1.9	2.8	.1	11.1	4.4	.4	5.4	2.2	.7	.7	29
5.6	3.9	1.9	1.9	.6	10.8	4.1	.4	4.7	2.0	1.5	.3	30
8.3	4.7	2.3	2.3	.3	21.7	9.7	1.7	8.1	3.4	2.9	1.1	31
16.0	8.3	4.8	3.3	.3	42.9	16.8	3.6	20.4	8.9	3.0	2.7	32
9.3	6.3	5.0	1.3	.3	22.8	6.8	1.6	10.5	5.6	3.2	2.1	33
20.8	9.7	4.8	4.6	.4	52.1	13.7	4.9	32.0	21.4	2.9	3.4	34
—	—	—	—	—	.2	—	—	—	—	—	—	35
.8	.4	—	.4	—	1.4	.6	.1	.7	.4	.1	—	36

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	559.6	346.8	212.8	26.1	3.1	7.4	12.6	69.9	15.5	123.8	104.6	52.9	233.4	139.2	120.0
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	38.50	30.70	51.22	20.26	2.21	60.59	62.43	59.88	35.85	35.15	42.03	55.30	49.18	31.50	32.65
Neighborhood crime.....	28.01	23.54	35.31	13.99	-	46.23	56.08	49.01	28.92	22.87	27.32	43.95	44.47	20.98	15.43
Any condition(s).....	49.75	42.74	61.19	30.15	2.21	67.53	77.71	72.39	43.85	44.44	49.91	65.51	64.57	42.88	40.23
Both conditions present.....	16.78	11.50	25.34	4.10	-	39.30	40.80	36.50	20.92	13.59	19.44	33.74	29.07	9.60	7.85
No conditions present.....	49.94	57.09	38.30	69.28	97.79	32.47	22.29	26.99	54.51	55.36	49.83	33.87	34.99	56.83	59.53
Not reported.....	.30	.17	.51	.59	-	-	-	.62	1.64	.20	.26	.62	.44	.29	.23
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	18.42	15.10	23.83	9.31	2.21	26.52	41.58	32.19	15.39	12.51	19.11	28.67	24.64	15.53	13.96
Neighborhood crime.....	19.37	15.88	25.06	8.23	-	30.06	45.37	37.90	19.39	14.28	19.11	32.22	33.53	12.54	7.88
Unsatisfactory neighborhood shopping.....	7.33	7.05	7.78	8.17	-	8.70	19.53	12.78	7.26	6.87	5.56	14.34	8.80	4.47	5.68
Unsatisfactory public elementary school.....	3.36	3.81	2.62	1.78	-	4.83	8.80	3.37	4.94	.34	2.56	4.51	5.11	2.03	2.77
Unsatisfactory public transportation.....	2.51	2.33	2.80	.59	-	4.32	6.55	3.61	6.08	3.04	1.72	6.35	3.11	2.69	2.41
Any condition(s).....	37.04	33.86	42.20	23.33	2.21	40.00	65.46	53.88	34.11	26.54	33.57	50.49	49.89	30.51	28.65
Two or more conditions.....	11.16	8.37	15.70	4.73	-	16.60	38.68	26.15	12.39	8.43	10.88	25.00	19.50	6.31	5.03
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	7.23	5.19	10.54	3.49	-	10.67	24.18	19.88	12.49	3.62	7.03	14.63	11.81	4.04	4.03
Neighborhood crime.....	8.46	5.29	13.62	.57	-	16.59	26.17	25.24	13.66	4.54	8.72	20.92	17.32	3.22	1.58
Unsatisfactory public elementary school.....	1.19	1.19	1.19	-	-	4.83	5.98	2.66	2.63	.34	.59	2.26	2.21	.38	.64
Any condition(s).....	12.31	8.73	18.16	4.06	-	16.59	30.58	30.13	19.20	6.05	11.68	25.44	21.82	6.21	5.42
Two or more conditions.....	4.17	2.61	6.71	-	-	10.67	22.34	16.23	7.71	2.44	4.31	11.12	8.59	1.43	.84
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	.38	.17	.71	.59	-	-	-	.62	1.64	.31	.26	.62	.61	.29	.23
Neighborhood crime.....	.50	.23	.94	1.16	-	-	.96	1.20	1.64	.42	.67	1.08	.71	.43	.46
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16.....	34.11	34.31	33.78	42.59	4.42	31.27	51.65	55.02	59.08	1.80	40.17	56.11	35.33	29.24	36.72
Satisfactory public elementary school.....	26.07	26.34	25.62	34.44	4.42	12.34	38.76	43.09	49.56	1.46	29.84	43.30	24.21	24.21	29.01
Unsatisfactory public elementary school.....	3.36	3.81	2.62	1.76	-	4.83	8.80	3.37	4.94	.34	2.56	4.51	5.11	2.03	2.77
So bothered they want to move.....	1.19	1.19	1.19	-	-	4.83	5.98	2.66	2.63	.34	.59	2.26	2.21	.38	.64
Not reported.....	.18	.20	.17	-	-	-	-	-	1.46	-	.11	.43	.29	.15	-
Not reported or don't know.....	4.68	4.15	5.54	6.39	-	14.10	4.10	6.56	4.58	-	7.77	8.31	6.01	3.00	4.94
Public elementary school less than 1 mile.....	22.15	22.10	22.23	19.33	-	24.34	37.13	36.43	39.72	1.64	25.60	38.71	25.32	22.20	18.89
Public elementary school 1 mile or more.....	10.98	11.35	10.39	20.95	4.42	4.68	13.50	16.21	17.72	.16	13.34	15.47	8.80	6.50	16.53
Not reported.....	.98	.66	1.16	2.32	-	2.28	1.02	2.38	1.64	-	1.23	1.94	1.21	.54	1.30
Households without children aged 0-16.....	65.89	65.69	68.22	57.41	95.58	68.73	48.35	44.98	40.92	98.20	59.83	43.89	64.67	70.76	63.28
Households with children aged 4-16.....	28.51	29.23	27.34	36.22	4.42	24.92	43.24	47.65	50.93	1.29	29.87	48.57	29.61	23.31	31.06
Attend public school (K-12).....	21.30	20.59	22.47	28.89	4.42	20.85	33.73	43.00	44.20	1.11	23.92	42.56	21.96	18.37	21.96
Attend private school (K-12).....	6.09	7.90	3.16	5.24	-	1.79	6.64	3.49	7.41	.17	3.82	2.45	5.83	4.85	7.51
Attend ungraded school, preschool, etc.....	.69	.85	.42	2.35	-	1.90	3.48	.17	-	-	.70	.65	.63	.30	1.11
Does not attend school.....	1.07	.90	1.34	1.17	-	-	.96	1.46	-	-	1.29	2.38	1.13	.24	1.89
Not reported.....	.57	.42	.81	1.16	-	2.28	-	1.38	.85	-	.67	1.42	.92	.31	.41
<b>Public Transportation as a Percent of Total</b>															
With public transportation.....	67.95	57.76	84.56	27.31	56.46	87.31	88.87	85.61	85.94	71.62	75.49	92.58	96.53	80.84	29.99
Household uses it at least weekly.....	16.34	8.13	29.73	1.72	28.80	53.75	33.11	46.84	37.72	13.71	26.12	48.97	31.24	9.86	3.79
Satisfactory public transportation.....	15.38	7.44	26.32	1.72	28.80	52.11	29.25	44.26	33.10	12.58	25.19	46.27	29.79	8.85	3.19
Unsatisfactory public transportation.....	.94	.65	1.41	-	-	1.64	3.86	2.40	4.62	1.13	.81	2.70	1.40	.91	.60
Not reported.....	.02	.04	-	-	-	-	.18	-	-	-	.12	-	.05	-	-
Household uses it less than weekly.....	25.78	24.81	27.35	5.87	-	16.29	40.49	35.08	25.52	26.93	22.08	27.14	35.38	32.74	10.55
Satisfactory public transportation.....	24.15	23.01	26.01	5.28	-	13.61	37.80	33.87	23.78	25.01	20.91	24.16	33.71	30.90	8.62
Unsatisfactory public transportation.....	1.51	1.68	1.22	.59	-	2.67	2.69	1.21	-	1.91	.91	2.99	1.61	1.69	1.80
Not reported.....	.12	.12	.13	-	-	-	-	-	1.75	-	.26	-	.05	.15	.12
Household does not use.....	25.68	24.76	27.19	19.71	27.65	17.27	15.26	13.70	21.23	30.89	27.29	15.81	29.70	38.15	15.65
Not reported.....	.14	.06	.28	-	-	-	-	-	1.46	.10	-	.66	.21	.09	-
No public transportation.....	31.67	42.01	14.80	71.54	43.54	12.69	11.13	3.77	12.43	28.05	23.99	6.80	3.04	18.88	69.50
Not reported.....	.38	.23	.64	1.16	-	-	-	.62	1.64	.32	.52	.62	.44	.29	.51
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping.....	92.15	92.68	91.28	91.24	100.00	89.71	79.52	85.65	91.11	92.93	93.69	85.04	90.47	95.03	93.99
Less than 1 mile.....	75.96	71.32	83.53	61.53	66.77	83.82	72.69	79.66	82.89	76.42	83.06	75.33	84.59	82.48	68.21
1 mile or more.....	15.78	20.92	7.44	29.12	33.23	5.89	6.83	5.99	8.21	16.08	10.24	9.12	5.53	12.19	27.32
Not reported.....	.39	.44	.31	.59	-	-	-	-	-	.44	.39	.59	.35	.36	.46
Unsatisfactory neighborhood shopping.....	7.33	7.05	7.78	8.17	-	8.70	19.53	12.78	7.26	6.87	5.56	14.34	8.80	4.47	5.68
Not reported or don't know.....	.53	.28	.94	.59	-	1.59	.95	1.60	1.64	.20	.75	.62	.73	.50	.33

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 2-4. Neighborhood Quality—Owner Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	346.8	18.0	3.1	1.1	3.3	17.4	8.4	85.6	28.8	8.4	106.0	91.0	94.7
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	30.70	9.30	2.21	28.53	55.78	50.90	29.50	31.28	24.39	44.55	40.02	26.18	28.14
Neighborhood crime.....	23.54	12.71	-	35.60	60.33	51.32	28.83	21.96	15.73	30.87	42.01	20.24	15.31
Any condition(s).....	42.74	20.32	2.21	64.13	82.12	71.73	39.77	41.38	30.68	52.48	60.00	38.02	36.71
Both conditions present.....	11.50	1.69	-	33.99	33.99	30.48	18.55	11.86	9.48	22.74	22.04	8.40	6.74
No conditions present.....	57.09	78.83	97.79	35.87	17.88	27.15	60.23	58.46	69.34	47.52	39.82	61.68	63.16
Not reported.....	.17	.85	-	-	-	1.12	-	.15	-	-	.18	.30	.14
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	15.10	5.92	2.21	18.07	48.21	31.30	14.65	12.11	11.97	22.21	21.07	12.84	13.61
Neighborhood crime.....	15.88	8.47	-	17.80	47.83	42.63	23.92	14.12	8.73	19.09	32.28	11.70	7.92
Unsatisfactory neighborhood shopping.....	7.05	8.48	-	-	28.94	8.82	9.65	6.38	4.90	18.97	7.77	5.10	5.73
Unsatisfactory public elementary school.....	3.81	2.54	-	-	18.78	2.60	1.92	.49	2.88	5.10	7.11	2.23	3.09
Unsatisfactory public transportation.....	2.33	.85	-	-	6.85	2.17	4.85	3.58	1.90	14.44	3.69	2.34	1.99
Any condition(s).....	33.88	22.03	2.21	35.87	82.40	58.92	35.65	28.72	25.08	52.66	49.89	28.30	28.75
Two or more conditions.....	8.37	4.24	-	-	45.02	20.49	12.81	8.25	4.15	17.28	17.01	5.54	4.62
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	5.19	1.69	-	-	12.04	15.33	12.28	3.04	1.19	6.48	9.06	4.03	3.24
Neighborhood crime.....	5.29	-	-	-	15.98	19.84	16.24	4.19	1.62	12.29	14.25	2.10	1.17
Unsatisfactory public elementary school.....	1.19	-	-	-	9.93	1.88	1.92	.49	-	-	2.62	.58	.66
Any condition(s).....	8.73	1.69	-	-	21.97	22.45	18.68	5.67	1.62	16.35	18.29	5.06	4.45
Two or more conditions.....	2.61	-	-	-	15.98	12.52	9.86	2.05	1.19	2.40	6.57	1.65	.62
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.17	.85	-	-	-	1.12	-	.15	-	-	.18	.30	.14
Neighborhood crime.....	.23	.85	-	-	-	1.12	-	.15	-	-	.18	.52	.14
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	34.31	51.69	4.42	18.07	66.90	37.65	58.86	2.21	38.04	37.44	30.53	31.98	39.74
Satisfactory public elementary school.....	26.34	42.36	4.42	18.07	40.25	31.03	53.08	1.72	27.12	28.31	18.25	26.47	31.71
Unsatisfactory public elementary school.....	3.81	2.54	-	-	18.78	2.60	1.92	.49	2.88	5.10	7.11	2.23	3.09
So bothered they want to move.....	1.19	-	-	-	9.93	1.88	1.92	.49	-	-	2.62	.58	.66
Not reported.....	.20	-	-	-	-	-	-	-	.44	-	.30	.23	-
Not reported or don't know.....	4.15	6.78	-	-	9.87	4.03	3.88	-	8.04	4.04	5.17	3.27	4.95
Public elementary school less than 1 mile.....	22.10	25.43	-	-	50.21	27.64	39.88	1.98	23.72	31.35	22.97	25.23	20.71
Public elementary school 1 mile or more.....	11.35	24.56	4.42	18.07	12.74	6.99	18.98	.23	14.32	4.55	6.47	6.35	17.81
Not reported.....	.86	1.70	-	-	3.94	3.02	-	-	-	1.54	1.08	.40	1.22
Households without children aged 0-16.....	65.69	48.31	95.58	81.93	33.10	62.35	41.14	97.79	61.96	62.56	69.47	68.02	60.26
Households with children aged 4-16.....	29.23	45.75	4.42	18.07	47.34	32.67	52.60	1.72	27.97	35.90	26.26	25.78	34.00
Attend public school (K-12).....	20.59	34.73	4.42	18.07	21.42	28.53	48.19	1.47	20.88	23.99	15.54	19.88	24.84
Attend private school (K-12).....	7.90	5.93	-	-	18.55	5.37	6.42	.25	4.17	6.58	8.84	5.98	8.69
Attend ungraded school, preschool, etc.....	.85	3.39	-	-	13.42	-	-	-	1.71	2.68	1.27	.17	.88
Does not attend school.....	.90	1.69	-	-	-	-	-	-	1.22	-	.77	.23	1.57
Not reported.....	.42	.85	-	-	-	1.12	-	-	-	2.68	.79	.17	.37
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	57.78	16.99	58.46	53.58	77.14	91.86	79.88	67.70	49.95	86.90	95.31	77.98	25.08
Household uses it at least weekly.....	6.13	.85	28.80	17.98	3.94	28.80	29.52	9.12	7.64	27.03	18.82	6.83	2.14
Satisfactory public transportation.....	7.44	.85	28.80	-17.98	3.94	28.87	24.87	8.00	6.44	22.09	17.48	5.97	1.98
Unsatisfactory public transportation.....	.85	-	-	-	-	1.01	4.65	1.12	.73	4.93	1.24	.86	.16
Not reported.....	.04	-	-	-	-	.71	-	-	.46	-	.12	-	-
Household uses it less than weekly.....	24.81	3.41	-	-	63.84	38.58	21.08	28.34	18.61	24.60	39.49	35.78	9.57
Satisfactory public transportation.....	23.01	2.58	-	-	57.00	37.42	21.08	25.88	15.44	15.10	37.04	34.07	7.73
Unsatisfactory public transportation.....	1.88	.85	-	-	6.85	1.16	-	2.48	1.17	9.51	2.45	1.48	1.83
Not reported.....	.12	-	-	-	-	-	-	-	-	-	-	.23	-
Household does not use.....	24.78	12.73	27.65	35.60	9.35	24.68	29.30	30.23	25.70	35.27	37.00	35.38	13.38
Not reported.....	.06	-	-	-	-	-	-	-	-	-	-	-	-
No public transportation.....	42.01	82.16	43.54	46.42	22.88	7.03	20.12	32.15	50.05	13.10	4.50	21.71	74.58
Not reported.....	.23	.85	-	-	-	1.12	-	.15	-	-	.18	.30	.34
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	92.88	90.67	100.00	100.00	71.06	88.89	90.35	93.47	95.10	81.03	91.86	94.59	94.13
Less than 1 mile.....	71.32	55.91	66.77	71.65	66.35	78.24	78.58	73.97	73.35	55.87	84.11	79.34	63.84
1 mile or more.....	20.92	33.90	33.23	28.35	4.71	10.85	13.76	19.04	21.75	25.16	7.37	14.83	29.71
Not reported.....	.44	.85	-	-	-	-	-	.48	-	-	.38	.42	.58
Unsatisfactory neighborhood shopping.....	7.05	8.48	-	-	28.94	8.82	9.65	6.38	4.90	18.97	7.77	5.10	5.73
Not reported or don't know.....	.28	.85	-	-	-	2.29	-	.15	-	-	.37	.30	.14

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 3-4. Neighborhood Quality—Renter Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>212.8</b>	<b>8.1</b>	<b>-</b>	<b>6.3</b>	<b>9.3</b>	<b>52.6</b>	<b>7.1</b>	<b>38.2</b>	<b>77.8</b>	<b>44.5</b>	<b>127.3</b>	<b>48.1</b>	<b>25.3</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	51.22	44.81	...	66.16	64.76	62.85	43.34	43.81	48.10	57.32	58.80	41.58	49.57
Neighborhood crime .....	35.31	16.88	...	48.06	54.60	48.25	29.03	24.82	31.32	46.45	48.51	22.37	15.90
Any condition(s) .....	61.19	52.19	...	68.12	78.16	72.81	48.66	51.27	56.54	67.96	68.38	52.09	53.46
Both conditions present .....	25.34	9.50	...	46.12	43.19	38.49	23.71	17.47	22.88	35.81	34.92	11.87	12.01
No conditions present .....	38.30	47.81	...	31.88	23.84	26.94	47.78	48.42	43.12	31.31	30.97	47.68	45.95
Not reported .....	.51	-	...	-	-	.46	3.56	.32	.35	.73	.65	.25	.59
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	23.83	16.92	...	27.99	39.93	32.48	16.26	13.40	21.57	29.89	27.61	20.61	15.28
Neighborhood crime .....	25.06	7.68	...	32.21	44.51	36.34	14.05	14.63	21.05	34.69	34.57	14.13	8.19
Unsatisfactory neighborhood shopping .....	7.78	7.48	...	10.21	16.23	14.08	4.44	7.95	5.79	13.47	9.67	3.28	5.50
Unsatisfactory public elementary school .....	2.62	-	...	5.67	6.00	3.62	8.50	-	2.45	4.40	3.44	1.65	1.57
Unsatisfactory public transportation .....	2.80	-	...	5.07	6.45	4.08	7.77	1.84	1.66	4.83	2.82	3.36	3.95
Any condition(s) .....	42.20	26.25	...	40.72	59.53	52.22	32.30	26.13	36.50	50.08	49.89	34.68	26.29
Two or more conditions .....	15.70	5.83	...	19.48	36.48	28.02	11.90	8.83	13.19	26.45	21.57	7.78	6.54
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	10.54	7.54	...	12.52	28.43	21.38	12.73	4.80	9.04	16.17	14.09	4.08	6.96
Neighborhood crime .....	13.62	1.85	...	19.47	29.73	27.08	10.62	5.33	11.17	22.55	19.88	5.35	3.13
Unsatisfactory public elementary school .....	1.19	-	...	5.67	4.59	2.92	3.46	-	.80	2.68	1.87	-	.59
Any condition(s) .....	18.16	9.39	...	19.47	33.59	32.67	19.84	6.90	15.15	27.15	24.76	8.40	9.05
Two or more conditions .....	6.71	-	...	12.52	24.58	17.46	5.18	3.33	5.39	12.75	10.26	1.02	1.63
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.71	-	...	-	-	.46	3.56	.66	.35	.73	.97	.25	.59
Neighborhood crime .....	.94	1.84	...	-	1.29	1.22	3.56	1.02	.90	1.28	1.15	.25	1.65
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	33.78	22.21	...	33.57	48.31	60.76	59.34	.88	40.90	59.62	39.33	24.05	25.38
Satisfactory public elementary school .....	25.62	16.70	...	11.34	38.24	47.08	45.41	.88	30.78	48.12	29.17	19.93	18.88
Unsatisfactory public elementary school .....	2.62	-	...	5.67	6.00	3.62	8.50	-	2.45	4.40	3.44	1.65	1.57
So bothered they want to move .....	1.19	-	...	5.67	4.59	2.92	3.46	-	.80	2.68	1.87	-	.59
Not reported .....	.17	-	...	-	-	-	3.18	-	-	.51	.28	-	-
Not reported or don't know .....	5.54	5.52	...	16.55	2.06	10.06	5.42	-	7.67	9.11	6.72	2.47	4.93
Public elementary school less than 1 mile .....	22.23	5.85	...	28.56	32.56	39.33	39.54	.88	26.25	40.09	27.27	16.45	12.09
Public elementary school 1 mile or more .....	10.39	12.87	...	2.33	13.76	18.26	16.23	-	13.00	17.52	10.74	6.79	11.72
Not reported .....	1.16	3.69	...	2.68	-	2.18	3.66	-	1.65	2.01	1.32	.82	1.57
Households without children aged 0-16 .....	66.22	77.79	...	66.43	53.69	39.24	40.68	99.12	59.10	40.38	60.67	75.95	74.62
Households with children aged 4-16 .....	27.34	14.84	...	26.11	41.81	52.60	48.96	.32	30.53	50.95	32.39	18.63	20.06
Attend public school (K-12) .....	22.47	9.32	...	21.33	38.04	47.79	41.86	.32	24.98	48.05	27.31	15.56	12.04
Attend private school (K-12) .....	3.16	3.68	...	2.10	2.47	2.88	8.59	-	3.70	1.68	3.31	2.75	3.10
Attend ungraded school, preschool, etc .....	.42	-	...	2.23	-	.23	-	-	.35	.27	.09	.55	2.05
Does not attend school .....	1.34	-	...	-	1.29	1.94	-	-	1.31	2.83	1.43	.26	3.09
Not reported .....	.81	1.85	...	2.68	-	1.46	1.86	-	.91	1.19	1.04	.56	.55
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	84.56	50.42	...	93.17	92.97	96.85	93.07	80.41	84.29	93.65	97.54	88.23	48.40
Household uses it at least weekly .....	29.73	3.69	...	59.86	43.32	52.86	47.38	23.96	32.49	53.09	41.59	15.60	9.98
Satisfactory public transportation .....	28.32	3.69	...	58.04	38.11	50.00	42.79	22.83	31.64	50.81	40.06	14.59	7.72
Unsatisfactory public transportation .....	1.41	-	...	1.93	5.21	2.88	4.59	1.15	.84	2.28	1.53	1.01	2.26
Not reported .....	-	-	...	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly .....	27.35	11.38	...	19.12	32.32	33.92	30.78	23.76	23.96	27.62	31.95	26.99	14.25
Satisfactory public transportation .....	26.01	11.38	...	15.98	31.08	32.70	26.98	23.06	22.79	25.86	30.93	24.90	11.97
Unsatisfactory public transportation .....	1.22	-	...	3.14	1.24	1.22	-	.69	.82	1.76	.92	2.08	1.89
Not reported .....	.13	-	...	-	-	-	3.80	-	.35	-	.10	-	.59
Household does not use .....	27.19	35.35	...	14.08	17.33	10.07	11.73	32.35	27.84	12.15	23.62	43.38	24.18
Not reported .....	.28	-	...	-	-	-	3.18	.32	-	.79	.38	.26	-
No public transportation .....	14.80	47.74	...	6.83	7.03	2.69	3.37	18.89	15.01	5.61	1.82	13.52	50.42
Not reported .....	.64	1.84	...	-	-	.46	3.56	.71	.70	.73	.65	.25	1.18
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	91.28	92.52	...	87.92	82.49	84.57	92.00	91.73	93.20	85.80	89.31	95.88	93.45
Less than 1 mile .....	83.53	74.12	...	85.93	74.91	80.12	90.33	81.89	86.41	78.99	84.89	88.43	75.10
1 mile or more .....	7.44	18.40	...	1.99	7.57	4.45	1.68	9.45	6.28	6.10	4.00	7.19	18.35
Not reported .....	.31	-	...	-	-	-	-	.39	.52	.71	.32	.25	-
Unsatisfactory neighborhood shopping .....	7.78	7.48	...	10.21	16.23	14.06	4.44	7.95	5.79	13.47	9.67	3.26	5.50
Not reported or don't know .....	.94	-	...	1.88	1.28	1.37	3.56	.32	1.00	.73	1.03	.88	1.05

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 4-4. Neighborhood Quality—Occupied Units with Black Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	69.9	17.4	52.8	.3	-	2.0	4.9	8.4	22.7	22.1	67.6	1.7	.5
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	59.88	50.90	62.85	51.61	-	83.87	60.27	59.70	51.64	65.20	60.50	30.56	77.43
Neighborhood crime.....	49.01	51.32	48.25	-	-	70.48	54.01	30.45	39.35	55.49	49.63	24.89	49.63
Any condition(s).....	72.39	71.73	72.61	51.61	-	83.87	69.46	63.50	62.13	76.30	73.25	37.56	77.43
Both conditions present.....	36.50	30.48	38.49	-	-	70.48	44.83	26.85	26.85	44.39	36.88	17.89	49.63
No conditions present.....	26.99	27.15	26.94	48.39	-	16.13	30.54	36.50	37.87	23.15	26.11	62.44	22.57
Not reported.....	.62	1.12	.46	-	-	-	-	-	-	.55	.64	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	32.19	31.30	32.48	-	-	41.05	48.34	31.39	24.52	39.62	32.95	12.56	-
Neighborhood crime.....	37.90	42.63	38.34	-	-	50.51	54.01	23.77	27.28	43.32	38.50	17.89	27.80
Unsatisfactory neighborhood shopping.....	12.76	8.82	14.06	-	-	20.27	21.89	18.49	8.03	13.96	13.19	-	-
Unsatisfactory public elementary school.....	3.37	2.60	3.62	-	-	18.00	3.68	-	3.33	4.83	3.26	-	27.80
Unsatisfactory public transportation.....	3.81	2.17	4.08	-	-	6.12	9.90	5.79	1.27	4.40	3.51	-	27.80
Any condition(s).....	53.88	58.92	52.22	-	-	57.89	67.38	37.80	42.10	57.23	54.87	23.57	27.80
Two or more conditions.....	26.15	20.49	26.02	-	-	33.67	46.74	27.41	16.65	35.38	26.63	6.88	27.80
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	19.88	15.33	21.38	-	-	33.67	32.70	20.00	16.79	26.94	20.37	6.88	-
Neighborhood crime.....	25.24	19.64	27.06	-	-	44.44	35.03	15.78	23.02	33.61	25.40	17.89	27.80
Unsatisfactory public elementary school.....	2.66	1.86	2.92	-	-	18.00	3.68	-	2.18	4.83	2.53	-	27.80
Any condition(s).....	30.13	22.45	32.67	-	-	44.44	37.47	20.00	28.04	40.29	30.47	17.89	27.80
Two or more conditions.....	16.23	12.52	17.46	-	-	33.67	30.26	15.78	12.92	22.67	16.38	6.88	27.80
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.62	1.12	.46	-	-	-	-	-	-	.55	.64	-	-
Neighborhood crime.....	1.20	1.12	1.22	-	-	-	-	1.43	1.24	1.64	1.24	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	55.02	37.65	60.76	51.61	-	75.78	64.89	5.91	69.78	77.37	55.25	39.05	78.17
Satisfactory public elementary school.....	43.09	31.03	47.08	51.61	-	21.89	54.64	5.91	52.88	59.44	43.32	31.88	50.37
Unsatisfactory public elementary school.....	3.37	2.60	3.62	-	-	18.00	3.68	-	3.33	4.83	3.26	-	27.80
So bothered they want to move.....	2.66	1.86	2.92	-	-	18.00	3.68	-	2.18	4.83	2.53	-	27.80
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Not reported or don't know.....	8.56	4.03	10.06	-	-	35.89	6.56	-	13.57	13.10	8.67	7.17	-
Public elementary school less than 1 mile.....	36.43	27.64	39.33	51.61	-	59.91	41.03	5.91	44.52	51.35	36.21	31.88	78.17
Public elementary school 1 mile or more.....	16.21	6.99	19.26	-	-	7.38	21.24	-	22.55	22.65	16.78	-	-
Not reported.....	2.38	3.02	2.18	-	-	6.49	2.62	-	2.71	3.37	2.28	7.17	-
Households without children aged 0-16.....	44.86	62.35	39.24	48.39	-	24.22	35.11	94.09	30.22	22.63	44.75	60.95	21.83
Households with children aged 4-16.....	47.65	32.67	52.80	51.61	-	75.78	56.17	5.91	56.37	70.37	48.00	24.89	78.17
Attend public school (K-12).....	43.00	28.53	47.79	51.61	-	60.62	56.17	5.91	52.41	64.49	43.19	24.89	78.17
Attend private school (K-12).....	3.49	5.37	2.88	-	-	6.67	4.02	-	3.32	1.65	3.43	6.88	-
Attend ungraded school, preschool, etc.....	.17	-	.23	-	-	-	-	-	-	.54	.18	-	-
Does not attend school.....	1.46	-	1.94	-	-	-	-	-	1.17	3.65	1.51	-	-
Not reported.....	1.38	1.12	1.46	-	-	8.49	-	-	.53	1.64	1.42	-	-
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	95.61	91.86	96.85	51.61	-	100.00	96.97	97.53	96.10	96.59	96.64	54.87	72.20
Household uses it at least weekly.....	48.84	26.80	52.86	-	-	80.89	51.41	32.09	56.41	64.42	48.09	12.67	-
Satisfactory public transportation.....	44.26	26.87	50.00	-	-	74.57	41.52	26.30	54.59	61.24	45.42	12.67	-
Unsatisfactory public transportation.....	2.40	1.01	2.86	-	-	6.12	9.90	5.79	1.27	3.18	2.48	-	-
Not reported.....	.18	.71	-	-	-	-	-	-	.55	-	.18	-	-
Household uses it less than weekly.....	35.08	38.58	33.92	51.61	-	13.40	39.16	41.98	28.39	28.22	35.49	14.16	50.37
Satisfactory public transportation.....	33.87	37.42	32.70	51.61	-	13.40	39.16	41.98	28.39	27.00	34.47	14.16	22.57
Unsatisfactory public transportation.....	1.21	1.16	1.22	-	-	-	-	-	-	1.22	1.03	-	27.80
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household does not use.....	13.70	24.66	10.07	-	-	5.92	6.40	23.46	11.30	3.95	13.26	28.04	21.83
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
No public transportation.....	3.77	7.03	2.69	48.39	-	-	3.03	2.47	3.90	2.86	2.51	45.13	27.80
Not reported.....	.62	1.12	.46	-	-	-	-	-	-	.55	.64	-	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	85.65	88.89	84.57	100.00	-	73.81	75.68	81.51	90.38	85.49	85.33	100.00	78.17
Less than 1 mile.....	79.68	78.24	80.12	100.00	-	73.81	69.29	69.25	86.15	79.38	79.36	100.00	50.37
1 mile or more.....	5.99	10.65	4.45	-	-	-	6.38	12.26	4.23	6.11	5.97	-	27.80
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Unsatisfactory neighborhood shopping.....	12.76	8.82	14.06	-	-	20.27	21.89	18.49	8.03	13.96	13.19	-	-
Not reported or don't know.....	1.60	2.29	1.37	-	-	5.92	2.44	-	1.58	.55	1.48	-	21.83

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	15.5	8.4	7.1	.2	-	.1	.1	1.1	4.1	3.5	10.6	1.8	2.5
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	35.85	29.50	43.34	-	-	-	100.00	-	29.95	42.06	40.80	33.44	19.58
Neighborhood crime.....	28.92	28.83	29.03	-	-	-	100.00	21.42	18.28	29.76	37.74	19.79	-
Any condition(s).....	43.85	39.77	48.66	-	-	-	100.00	21.42	29.95	51.63	51.35	40.08	19.58
Both conditions present.....	20.92	18.55	23.71	-	-	-	100.00	-	18.28	20.18	27.19	13.16	-
No conditions present.....	54.51	60.23	47.78	100.00	-	100.00	-	78.58	67.08	48.37	46.25	59.92	80.42
Not reported.....	1.64	-	3.58	-	-	-	-	-	2.97	-	2.39	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	15.39	14.65	16.26	-	-	-	100.00	-	9.07	19.39	19.61	16.69	-
Neighborhood crime.....	18.39	23.92	14.05	-	-	-	100.00	10.66	12.04	18.66	26.06	13.16	-
Unsatisfactory neighborhood shopping.....	7.26	9.85	4.44	-	-	-	-	27.45	-	5.50	7.65	6.63	-
Unsatisfactory public elementary school.....	4.94	1.92	8.50	-	-	-	100.00	-	3.12	10.12	7.23	-	-
Unsatisfactory public transportation.....	6.08	4.65	7.77	-	-	-	-	15.73	3.42	17.83	5.88	9.79	5.47
Any condition(s).....	34.11	35.65	32.30	-	-	-	100.00	43.18	15.45	45.81	41.03	33.12	5.47
Two or more conditions.....	12.39	12.81	11.90	-	-	-	100.00	10.66	9.07	13.56	15.84	13.16	-
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	12.49	12.28	12.73	-	-	-	100.00	-	9.07	19.38	15.37	16.69	-
Neighborhood crime.....	13.66	16.24	10.62	-	-	-	100.00	-	9.07	18.66	18.85	6.53	-
Unsatisfactory public elementary school.....	2.63	1.92	3.46	-	-	-	100.00	-	3.12	3.64	3.85	-	-
Any condition(s).....	19.20	18.66	19.84	-	-	-	100.00	-	9.07	28.96	25.19	18.69	-
Two or more conditions.....	7.71	9.86	5.18	-	-	-	100.00	-	9.07	7.08	10.15	6.53	-
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	1.64	-	3.58	-	-	-	-	-	2.97	-	2.39	-	-
Neighborhood crime.....	1.64	-	3.58	-	-	-	-	-	2.97	-	2.39	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-18.....	59.08	58.86	59.34	-	-	-	100.00	18.62	53.32	78.24	69.37	34.53	46.05
Satisfactory public elementary school.....	49.56	53.08	45.41	-	-	-	-	18.62	43.98	62.13	55.44	34.53	46.05
Unsatisfactory public elementary school.....	4.94	1.92	8.50	-	-	-	100.00	-	3.12	10.12	7.23	-	-
So bothered they want to move.....	2.63	1.92	3.46	-	-	-	100.00	-	3.12	3.64	3.85	-	-
Not reported.....	1.48	-	3.18	-	-	-	-	-	-	6.46	2.14	-	-
Not reported or don't know.....	4.58	3.86	5.42	-	-	100.00	-	-	6.22	5.99	6.70	-	-
Public elementary school less than 1 mile.....	39.72	39.88	39.54	-	-	100.00	-	18.62	29.58	63.62	49.16	34.53	12.31
Public elementary school 1 mile or more.....	17.72	18.98	16.23	-	-	-	100.00	-	20.76	14.62	17.82	-	33.74
Not reported.....	1.64	-	3.58	-	-	-	-	-	2.97	-	2.39	-	-
Households without children aged 0-18.....	40.92	41.14	40.66	100.00	-	-	-	61.38	46.68	21.76	30.63	65.47	53.95
Households with children aged 4-18.....	50.93	52.60	48.96	-	-	-	100.00	-	35.45	74.77	60.71	23.27	40.58
Attend public school (K-12).....	44.20	46.19	41.86	-	-	-	100.00	-	35.45	68.78	50.87	23.27	40.58
Attend private school (K-12).....	7.41	6.42	8.59	-	-	-	-	-	2.95	9.43	9.71	6.53	-
Attend ungraded school, preschool, etc.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Does not attend school.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Not reported.....	.85	-	1.86	-	-	-	-	-	-	-	1.25	-	-
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	85.94	79.86	93.07	-	-	-	100.00	65.91	85.31	91.06	96.46	82.71	57.14
Household uses it at least weekly.....	37.72	29.52	47.36	-	-	-	100.00	26.49	39.90	70.50	45.73	27.35	19.58
Satisfactory public transportation.....	33.10	24.87	42.79	-	-	-	100.00	10.75	36.49	59.15	41.98	17.56	14.12
Unsatisfactory public transportation.....	4.62	4.65	4.59	-	-	-	-	15.73	3.42	11.35	3.75	9.79	5.47
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	25.52	21.06	30.78	-	-	-	-	10.14	21.40	10.38	24.62	28.06	32.64
Satisfactory public transportation.....	23.78	21.06	26.96	-	-	-	-	10.14	14.77	10.38	23.47	28.06	26.78
Unsatisfactory public transportation.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Not reported.....	1.75	-	3.80	-	-	-	-	-	6.63	-	1.14	-	5.86
Household does not use.....	21.23	29.30	11.73	-	-	-	100.00	29.28	24.00	3.70	24.00	27.30	4.92
Not reported.....	1.46	-	3.18	-	-	-	-	-	-	6.48	2.14	-	-
No public transportation.....	12.43	20.12	3.37	100.00	-	-	-	34.09	11.72	8.94	1.13	17.29	42.86
Not reported.....	1.64	-	3.58	-	-	-	-	-	2.97	-	2.39	-	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	91.11	90.35	92.00	100.00	-	100.00	100.00	72.55	97.03	94.50	89.86	93.37	100.00
Less than 1 mile.....	82.89	76.58	90.33	100.00	-	100.00	100.00	72.55	92.04	85.09	88.06	93.37	68.22
1 mile or more.....	8.21	13.76	1.68	-	-	-	-	-	4.99	9.40	3.80	-	33.78
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Unsatisfactory neighborhood shopping.....	7.26	9.65	4.44	-	-	-	-	27.45	-	5.50	7.65	6.63	-
Not reported or don't know.....	1.64	-	3.58	-	-	-	-	-	2.97	-	2.39	-	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 6-1. General Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	565.1	536.4	321.9	214.5	28.7	14.3	11.9	2.0	9.8	2.5
<b>Units in Structure</b>										
1, detached.....	302.3	295.2	271.5	23.7	7.1	4.0	3.8	1.3	2.5	.1
1, attached.....	27.9	25.5	12.1	13.5	2.4	—	—	—	—	—
2 to 4.....	129.7	120.6	30.0	90.6	9.2	6.8	5.7	.7	5.1	1.1
5 to 9.....	28.6	27.0	.8	26.4	2.6	1.3	.8	—	.8	.7
10 to 19.....	19.4	17.6	2.4	15.2	1.8	1.1	.9	—	.9	.1
20 to 49.....	24.4	21.0	1.1	19.9	3.4	.9	.6	—	.6	.2
50 or more.....	29.7	27.4	2.2	25.2	2.3	.3	.1	—	.1	.1
Mobile home or trailer.....	2.0	2.0	2.0	—	—	—	—	—	—	—
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994.....	—	—	—	—	—	—	—	—	—	—
1985 to 1989.....	19.6	16.5	10.0	6.5	3.1	—	—	—	—	—
1980 to 1984.....	16.8	15.5	8.0	7.5	1.3	—	—	—	—	—
1975 to 1979.....	43.3	42.1	22.7	19.4	1.2	—	—	—	—	—
1970 to 1974.....	46.4	45.4	26.6	18.6	2.6	.1	.1	—	.1	—
1960 to 1969.....	92.1	90.0	52.6	37.4	2.2	.1	.1	—	.1	—
1950 to 1959.....	104.8	102.1	78.4	23.7	2.7	.7	.6	—	.6	.1
1940 to 1949.....	38.3	36.9	28.3	8.7	1.3	.1	.1	—	.1	—
1930 to 1939.....	70.5	65.8	34.0	31.7	4.7	2.7	2.1	.7	1.4	.6
1920 to 1929.....	54.4	51.1	27.6	23.5	3.3	2.6	2.2	—	2.2	.5
1919 or earlier.....	77.1	70.9	33.5	37.4	6.2	7.9	6.8	1.4	5.2	1.3
Median.....	1954	1954	1955	1953	1941	1919	1919	—	1919	—
<b>Rooms</b>										
1 room.....	6.6	5.4	—	5.4	1.1	1.6	1.0	—	1.0	.6
2 rooms.....	5.5	5.1	—	5.1	.4	1.9	.7	—	.7	.2
3 rooms.....	55.6	51.0	2.7	48.3	4.6	1.9	1.5	—	1.5	.4
4 rooms.....	101.0	93.9	25.4	68.5	7.1	2.5	2.1	.1	1.9	.4
5 rooms.....	144.1	137.1	82.2	54.9	7.0	4.0	3.7	.8	2.9	.3
6 rooms.....	109.1	104.3	83.6	20.7	4.8	1.9	1.6	.9	.7	.3
7 rooms.....	71.3	68.8	62.0	6.8	2.5	1.0	.9	.1	.8	.1
8 rooms.....	40.8	39.9	37.8	2.1	.9	.4	.4	.1	.2	—
9 rooms.....	20.4	20.3	18.4	1.9	.2	—	—	—	—	—
10 rooms or more.....	10.7	10.6	9.7	.8	.2	1.1	.1	—	.1	—
Median.....	5.3	5.3	6.1	4.2	4.7	4.6	4.7	—	4.4	—
<b>Bedrooms</b>										
None.....	10.1	8.7	—	8.7	1.4	1.9	1.2	—	1.2	.6
1.....	75.2	68.9	6.1	62.8	6.2	2.9	2.1	—	2.1	.8
2.....	174.8	163.5	67.8	95.7	11.4	4.6	4.0	.6	3.4	.6
3.....	225.8	217.7	179.3	38.3	8.2	3.4	3.1	1.1	2.0	.3
4 or more.....	79.2	77.7	68.7	9.0	1.5	1.5	1.4	.3	1.1	.1
Median.....	2.6	2.6	3.0	1.9	2.1	2.0	2.1	—	2.0	—
<b>Complete Bathrooms</b>										
None.....	5.1	4.0	.4	3.6	1.2	1.7	.8	—	.8	.9
1.....	310.3	291.6	113.7	178.0	18.7	10.4	8.9	.9	8.0	1.5
1 and one-half.....	151.7	148.7	123.5	25.2	3.0	.9	.9	.4	.5	—
2 or more.....	97.9	92.1	84.3	7.8	5.8	1.2	1.2	.7	.5	—
<b>Air Conditioning</b>										
No air conditioning.....	206.2	187.8	94.0	93.8	18.4	10.8	8.5	1.1	7.4	2.3
With air conditioning.....	358.9	348.7	227.9	120.7	10.3	3.5	3.4	.9	2.5	.1
Central.....	149.8	143.7	116.5	27.1	6.2	.8	.8	.2	.6	—
1 room unit.....	182.7	158.8	76.1	82.8	3.8	2.4	2.2	.4	1.9	.1
2 room units.....	39.7	39.4	29.7	9.7	.3	.3	.3	—	—	—
3 room units or more.....	6.8	6.8	5.6	1.1	—	—	—	—	—	—
<b>Main Heating Equipment</b>										
Warm-air furnace.....	417.6	399.5	275.5	124.0	18.1	8.8	7.5	1.5	5.9	1.3
Steam or hot water system.....	102.8	95.9	34.1	61.9	6.9	4.3	3.1	.5	2.6	1.2
Electric heat pump.....	3.0	2.7	1.8	1.1	.3	—	—	—	—	—
Built-in electric units.....	29.7	27.4	7.0	20.5	2.3	.3	.3	—	.3	—
Floor, wall, or other built-in hot air units without ducts.....	2.3	2.1	.4	1.7	.1	.3	.3	—	.3	—
Room heaters with flue.....	5.2	4.9	.6	4.2	.3	.7	.7	—	.7	—
Room heaters without flue.....	1.1	.9	.4	.5	.2	—	—	—	—	—
Portable electric heaters.....	.1	—	—	.1	—	—	—	—	—	—
Stoves.....	1.3	1.3	1.1	.2	—	—	—	—	—	—
Fireplaces with inserts.....	.7	.7	.7	—	—	—	—	—	—	—
Fireplaces without inserts.....	.8	.5	.4	.1	.3	—	—	—	—	—
Other.....	.4	.2	—	.2	.2	—	—	—	—	—
None.....	—	—	—	—	—	—	—	—	—	—
<b>Main House Heating Fuel</b>										
Housing units with heating fuel.....	564.7	536.2	321.9	214.3	28.5	14.3	11.9	2.0	9.8	2.5
Electricity.....	37.5	34.6	9.8	24.7	2.9	.3	.3	—	.3	—
Piped gas.....	441.7	419.5	258.0	161.5	22.3	11.4	9.4	1.2	8.2	2.0
Bottled gas.....	5.1	4.9	3.9	1.0	.1	—	—	—	—	—
Fuel oil.....	76.3	73.1	47.1	26.0	3.2	2.3	1.8	.8	1.0	.4
Kerosene or other liquid fuel.....	—	—	—	—	—	—	—	—	—	—
Coal or coke.....	—	—	—	—	—	—	—	—	—	—
Wood.....	2.9	2.9	2.7	.2	—	—	—	—	—	—
Solar energy.....	.2	.2	.2	—	—	—	—	—	—	—
Other.....	1.1	1.1	.2	.8	—	.4	.4	—	.4	—

**Table 6-1. General Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
Total .....	---	638.4	321.9	214.5	---	---	11.9	2.0	9.8	---
<b>Race and Origin</b>										
White .....	---	472.1	302.8	169.3	---	---	5.5	1.8	3.9	---
Non-Hispanic .....	---	459.7	297.7	162.0	---	---	5.4	1.8	3.8	---
Hispanic .....	---	12.4	5.1	7.4	---	---	.1	—	.1	---
Black .....	---	58.3	18.8	41.5	---	---	6.1	.4	5.7	---
Other .....	---	6.0	2.3	3.7	---	---	.3	—	.3	---
Total Hispanic .....	---	13.8	5.3	8.4	---	---	.1	—	.1	---
<b>Persons Per Room</b>										
0.50 or less .....	---	354.3	215.9	138.4	---	---	5.4	1.3	4.2	---
0.51 to 1.00 .....	---	173.1	102.7	70.3	---	---	5.5	.8	4.8	---
1.01 to 1.50 .....	---	8.1	3.3	4.8	---	---	.6	—	.6	---
1.51 or more .....	---	.9	—	.9	---	---	.3	—	.3	---
<b>Selected Subareas<sup>2</sup></b>										
Area one .....	---	244.3	112.7	131.6	---	---	9.7	1.3	8.4	---
Area two .....	---	133.2	85.6	47.7	---	---	.7	—	.7	---
Area three .....	---	103.0	78.8	24.1	---	---	1.0	.5	.5	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

<sup>2</sup>See inside back cover for details.

**Table 6-2. Quality Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>565.1</b>	<b>536.4</b>	<b>321.9</b>	<b>214.5</b>	<b>28.7</b>	<b>14.3</b>	<b>11.9</b>	<b>2.0</b>	<b>9.8</b>	<b>2.5</b>
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	.9	.7	.4	.4	.1	-	-	-	-	-
Missing roofing material .....	2.1	1.6	1.0	.6	.5	.8	.3	.1	.1	.3
Hole in roof .....	.1	-	-	-	.1	.1	-	-	-	.1
Could not see roof .....	41.1	36.1	3.3	32.8	5.0	2.7	1.7	.2	1.5	1.0
Missing bricks, siding, other outside wall material .....	7.1	6.4	1.8	4.7	.8	1.3	1.1	-	1.1	.2
Sloping outside walls .....	.4	.4	.2	.2	-	-	-	-	-	-
Boarded up windows .....	5.2	3.7	1.0	2.7	1.5	1.6	1.2	.1	1.0	.4
Broken windows .....	6.2	5.0	1.3	3.7	1.2	1.2	.8	.2	.4	.6
Bars on windows .....	.7	.5	.4	.1	.2	.4	-	-	-	-
Foundation crumbling or has open crack or hole .....	3.8	3.1	.9	2.2	.7	.4	.3	-	.3	.1
Could not see foundation .....	2.0	1.5	.6	.9	.5	.3	.3	-	.3	-
None of the above .....	481.1	461.5	292.8	168.6	19.6	8.3	7.8	1.5	6.3	.5
Could not observe or not reported .....	28.1	27.0	21.7	5.4	1.1	.1	.1	-	.1	-
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	389.1	371.0	253.3	117.7	18.2	9.0	7.9	2.0	5.8	1.2
Not reported .....	1.0	1.0	.5	.5	-	-	-	-	-	-
Usable fireplace .....	134.9	128.9	119.5	9.4	6.0	1.1	1.1	.5	.6	-
Separate dining room .....	258.8	247.8	180.4	67.2	11.2	5.1	4.2	1.0	3.2	.9
With 2 or more living rooms or recreation rooms, etc. ....	170.7	165.5	148.7	16.7	5.3	.9	.9	.4	.5	-
Garage or carport included with home .....	370.3	362.2	294.9	67.2	8.1	4.1	4.0	2.0	2.0	.2
Garage or carport not included .....	188.0	173.6	27.0	146.7	14.4	10.0	7.9	-	7.9	2.2
Offstreet parking included .....	115.5	108.4	19.7	88.7	7.1	2.9	2.6	-	2.6	.3
Offstreet parking not reported .....	1.7	1.7	.2	1.5	-	.1	.1	-	.1	-
Garage or carport not reported .....	.9	.8	-	.6	.3	-	-	-	-	-
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	7.1	.9	6.3	...	...	1.3	-	1.3	...
Holes in floors .....	3.5	3.1	.6	2.5	.4	.8	.3	-	.3	.3
Open cracks or holes (interior) .....	24.8	23.1	5.4	17.7	1.7	2.8	2.4	-	2.4	.4
Broken plaster or peeling paint (interior) .....	22.1	20.4	6.7	13.7	1.7	3.0	2.4	.4	2.0	.6
No electrical wiring .....	-	-	-	-	-	-	-	-	-	-
Exposed wiring .....	10.7	10.3	3.8	6.6	.4	.7	.7	.1	.5	-
Rooms without electric outlets .....	13.2	12.2	4.4	7.8	1.0	1.0	1.0	.1	.9	-
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	25.9	22.9	6.9	16.0	3.0	.3	.1	-	.1	.1
About the same .....	428.7	409.9	258.1	151.8	18.7	10.4	8.8	1.3	7.5	1.6
Newer .....	13.7	12.9	8.3	4.6	.8	.1	.1	-	.1	-
Very mixed .....	57.3	53.0	20.8	32.2	4.3	3.2	2.4	.5	1.9	.7
No other residential buildings .....	12.4	11.5	7.3	4.2	.9	.3	.3	.2	.1	-
Not reported .....	27.2	26.3	20.5	5.8	.9	-	-	-	-	-
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	519.2	493.4	292.7	200.7	25.8	11.7	10.0	1.8	8.2	1.6
1 building .....	5.8	4.4	.8	3.6	1.2	1.7	1.0	-	1.0	.7
More than 1 building .....	3.5	3.2	1.1	2.2	.2	.6	.4	-	.4	.1
No buildings within 300 feet .....	9.2	8.7	6.8	1.9	.5	.3	.3	.2	.1	-
Not reported .....	27.6	26.6	20.6	6.0	.9	-	-	-	-	-
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet .....	528.3	501.0	294.5	206.5	27.2	14.0	11.5	1.8	9.7	2.5
No bars on windows .....	517.5	492.0	291.5	200.5	25.5	12.2	10.1	1.3	8.9	2.1
1 building with bars .....	3.6	3.0	.9	2.2	.6	.8	.5	.4	.1	.1
2 or more buildings with bars .....	6.1	4.9	1.5	3.4	1.2	1.2	.9	.2	.7	.3
Not reported .....	1.1	1.1	.6	.5	-	-	-	-	-	-
<b>Conditions of Streets</b>										
No repairs needed .....	479.3	454.6	266.3	188.2	24.8	12.9	10.7	1.8	8.9	2.1
Minor repairs needed .....	43.4	41.3	27.8	13.6	2.1	1.5	1.1	.2	.9	.3
Major repairs needed .....	8.0	7.4	3.7	3.7	.6	-	-	-	-	-
No streets within 300 feet .....	7.5	7.1	4.0	3.2	.3	-	-	-	-	-
Not reported .....	26.9	26.0	20.2	5.8	.9	-	-	-	-	-
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	465.2	443.9	278.8	165.1	21.3	9.5	7.8	1.7	6.1	1.7
Minor accumulation .....	88.8	62.5	21.6	40.9	6.3	4.3	3.6	.3	3.3	.6
Major accumulation .....	4.2	4.1	1.2	2.9	.1	.8	.4	-	.4	.1
Not reported .....	26.8	25.9	20.3	5.6	.9	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	---	536.4	321.9	214.5	---	---	11.9	2.0	9.8	---
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100.....	---	1.2	.2	1.1	---	---	.3	---	.3	---
\$100 to \$199.....	---	24.9	7.7	17.2	---	---	1.2	---	1.2	---
\$200 to \$249.....	---	25.2	17.1	8.0	---	---	.6	.4	.2	---
\$250 to \$299.....	---	51.0	33.5	17.5	---	---	2.1	.1	2.0	---
\$300 to \$349.....	---	58.2	33.9	24.2	---	---	2.0	.2	1.9	---
\$350 to \$399.....	---	49.5	21.0	28.5	---	---	1.4	---	1.4	---
\$400 to \$449.....	---	46.5	16.6	29.9	---	---	.8	.1	.8	---
\$450 to \$499.....	---	40.9	13.4	27.5	---	---	1.3	.2	1.1	---
\$500 to \$599.....	---	59.6	27.8	31.9	---	---	1.2	.4	.8	---
\$600 to \$699.....	---	48.3	29.7	18.7	---	---	.3	.1	.2	---
\$700 to \$799.....	---	33.7	28.9	4.8	---	---	.2	---	.2	---
\$800 to \$999.....	---	38.5	36.0	2.5	---	---	---	---	---	---
\$1000 to \$1249.....	---	19.0	18.1	.9	---	---	---	---	---	---
\$1250 to \$1499.....	---	7.1	6.6	.5	---	---	---	---	---	---
\$1500 or more.....	---	6.4	6.3	.1	---	---	.4	.4	---	---
No cash rent.....	---	3.2	---	3.2	---	---	---	.1	---	---
Mortgage payment not reported.....	---	25.1	25.1	---	---	---	.1	.1	---	---
Median (excludes no cash rent).....	---	447	518	415	---	---	343	---	334	---
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs.....	---	---	547	---	---	---	---	---	---	---
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	---	---	506	---	---	---	---	---	---	---
<b>Rent Reductions</b>										
No subsidy or income reporting.....	---	---	---	187.4	---	---	---	---	---	---
Rent control.....	---	---	---	---	---	---	---	---	---	---
No rent control.....	---	---	---	187.4	---	---	---	---	---	---
Reduced by owner.....	---	---	---	13.2	---	---	---	---	---	---
Not reduced by owner.....	---	---	---	173.2	---	---	---	---	---	---
Owner reduction not reported.....	---	---	---	1.1	---	---	---	---	---	---
Rent control not reported.....	---	---	---	---	---	---	---	---	---	---
Owned by public housing authority.....	---	---	---	10.2	---	---	---	---	---	---
Other, Federal subsidy.....	---	---	---	11.7	---	---	---	---	---	---
Other, State or local subsidy.....	---	---	---	1.7	---	---	---	---	---	---
Other, income verification.....	---	---	---	2.8	---	---	---	---	---	---
Subsidy or income verification not reported.....	---	---	---	.9	---	---	---	---	---	---
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	536.4	321.9	214.5	---	---	11.9	2.0	9.8	---
<b>Household Income</b>										
Less than \$5,000.....	---	16.8	4.2	12.6	---	---	.7	---	.7	---
\$5,000 to \$9,999.....	---	73.3	20.0	53.3	---	---	4.1	.1	4.0	---
\$10,000 to \$14,999.....	---	46.8	20.6	26.2	---	---	1.0	---	1.0	---
\$15,000 to \$19,999.....	---	41.0	16.9	24.1	---	---	1.5	.2	1.3	---
\$20,000 to \$24,999.....	---	51.8	27.7	24.1	---	---	1.3	.3	1.0	---
\$25,000 to \$29,999.....	---	52.2	30.5	21.7	---	---	.5	.2	.3	---
\$30,000 to \$34,999.....	---	46.2	30.3	15.9	---	---	.8	---	.8	---
\$35,000 to \$39,999.....	---	40.0	30.1	9.9	---	---	.8	.3	.5	---
\$40,000 to \$49,999.....	---	58.8	46.3	12.5	---	---	.5	.5	.1	---
\$50,000 to \$59,999.....	---	43.0	34.5	8.5	---	---	.1	.1	---	---
\$60,000 to \$79,999.....	---	37.3	33.2	4.1	---	---	---	---	---	---
\$80,000 to \$99,999.....	---	14.3	13.7	.6	---	---	---	---	---	---
\$100,000 to \$119,999.....	---	8.4	6.4	---	---	---	---	---	---	---
\$120,000 or more.....	---	8.4	7.5	.9	---	---	---	---	---	---
Median.....	---	28 686	36 775	18 155	---	---	15 125	---	10 927	---
<b>As percent of poverty level:</b>										
Less than 50 percent.....	---	12.4	3.5	9.0	---	---	.5	---	.5	---
50 to 99.....	---	45.7	6.9	38.7	---	---	3.8	.1	3.7	---
100 to 149.....	---	46.3	17.6	28.7	---	---	1.7	.2	1.5	---
150 to 199.....	---	46.9	24.0	22.9	---	---	.6	---	.6	---
200 percent or more.....	---	385.2	269.9	115.3	---	---	5.2	1.7	3.5	---
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000.....	---	19.4	4.4	15.0	---	---	.7	---	.7	---
\$5,000 to \$9,999.....	---	75.8	20.3	55.5	---	---	4.3	.1	4.1	---
\$10,000 to \$14,999.....	---	49.0	20.9	28.1	---	---	1.0	---	1.0	---
\$15,000 to \$19,999.....	---	43.9	17.3	26.6	---	---	1.4	.2	1.2	---
\$20,000 to \$24,999.....	---	52.0	28.7	23.3	---	---	1.5	.4	1.0	---
\$25,000 to \$29,999.....	---	54.1	31.5	22.6	---	---	.8	.2	.6	---
\$30,000 to \$34,999.....	---	44.5	30.0	14.5	---	---	.7	---	.7	---
\$35,000 to \$39,999.....	---	39.3	30.2	9.0	---	---	.5	.1	.4	---
\$40,000 to \$49,999.....	---	55.3	46.1	9.1	---	---	.3	.2	.1	---
\$50,000 to \$59,999.....	---	39.6	33.4	6.2	---	---	.5	.5	---	---
\$60,000 to \$79,999.....	---	35.8	32.8	3.0	---	---	.1	.1	---	---
\$80,000 to \$99,999.....	---	13.2	12.6	.6	---	---	---	---	---	---
\$100,000 to \$119,999.....	---	6.2	6.2	---	---	---	---	---	---	---
\$120,000 or more.....	---	8.4	7.5	.9	---	---	---	---	---	---
Median.....	---	27 602	36 306	18 634	---	---	14 526	---	10 269	---

**Table 6-3. Financial Characteristics of 1988 Year-Round Housing Units and 1988 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	---	---	321.9	---	---	---	---	2.0	---	---
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	---	---	1.7	---	---	---	---	---	---	---
\$10,000 to \$19,999 .....	---	---	7.2	---	---	---	---	---	---	---
\$20,000 to \$29,999 .....	---	---	12.9	---	---	---	---	---	---	---
\$30,000 to \$39,999 .....	---	---	21.1	---	---	---	---	---	---	---
\$40,000 to \$49,999 .....	---	---	30.4	---	---	---	---	---	---	---
\$50,000 to \$59,999 .....	---	---	39.2	---	---	---	---	---	---	---
\$60,000 to \$69,999 .....	---	---	48.6	---	---	---	---	---	---	---
\$70,000 to \$79,999 .....	---	---	39.4	---	---	---	---	---	---	---
\$80,000 to \$89,999 .....	---	---	58.1	---	---	---	---	---	---	---
\$100,000 to \$119,999 .....	---	---	25.4	---	---	---	---	---	---	---
\$120,000 to \$149,999 .....	---	---	21.9	---	---	---	---	---	---	---
\$150,000 to \$199,999 .....	---	---	11.8	---	---	---	---	---	---	---
\$200,000 to \$249,999 .....	---	---	4.8	---	---	---	---	---	---	---
\$250,000 to \$299,999 .....	---	---	1.0	---	---	---	---	---	---	---
\$300,000 or more .....	---	---	2.5	---	---	---	---	---	---	---
Time shared units .....	---	---	---	---	---	---	---	---	---	---
Median .....	---	---	70 455	---	---	---	---	---	---	---

<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

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# Metropolitan Statistical Area



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## Phoenix, AZ

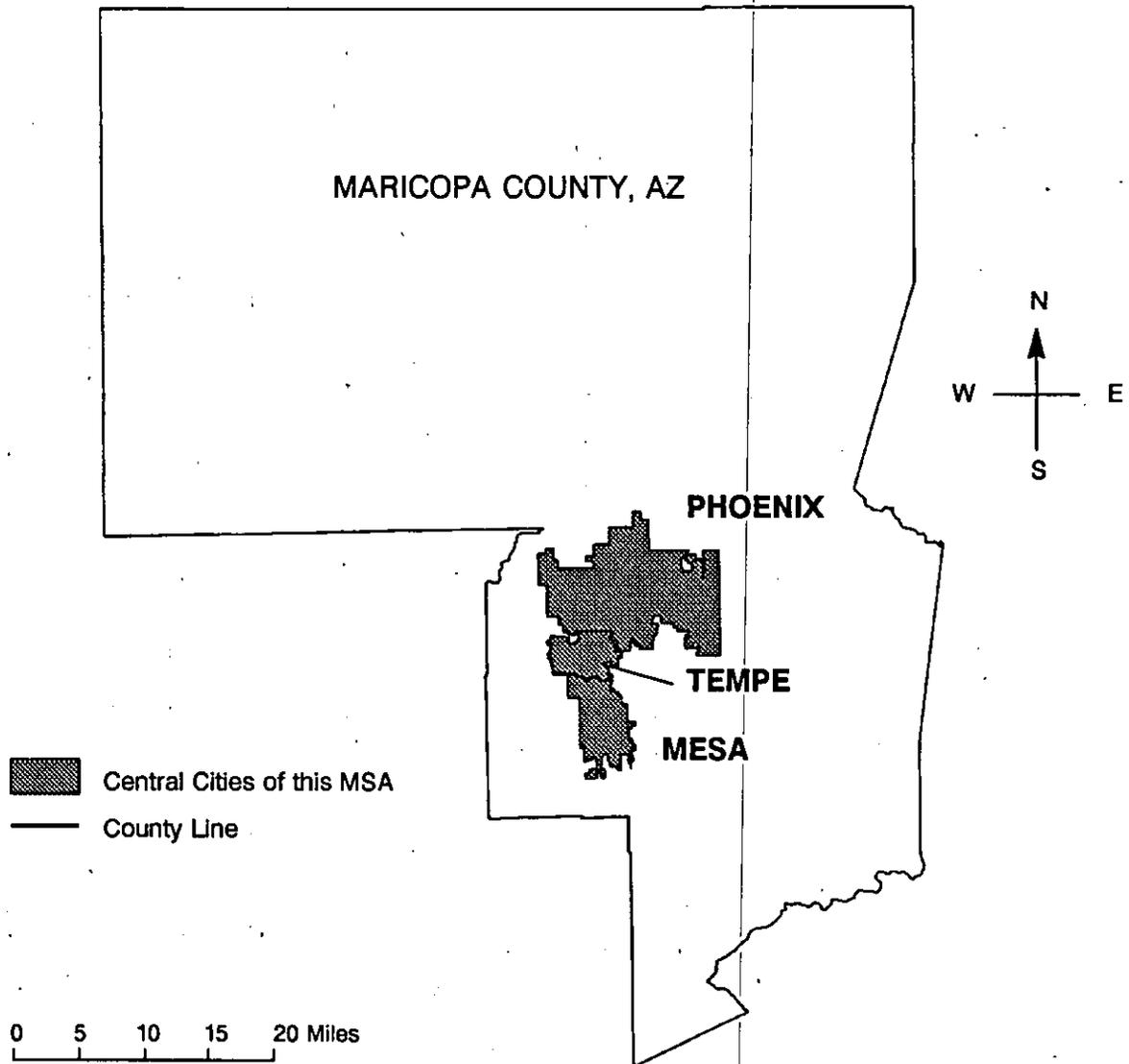


Table 1-1. General Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Total	Race of householder		Hispanic of origin		
Total	White	Black	Hispanic of origin	Total	White	Black		Hispanic of origin				
1 Total	896.7	612.9	483.7	227.5	208.5	5.4	49.3	34.5	17.3	15.1	.4	5.2
<b>Tenure</b>												
2 Owner occupied	580.0	437.4	373.1	161.0	149.9	2.8	28.2	20.5	9.8	8.8	.2	2.8
3 Percent of all occupied	64.7	71.4	77.1	70.7	71.9	52.5	67.2	69.3	56.6	58.1	55.2	53.0
4 Renter occupied	316.7	175.5	110.6	66.6	58.6	2.6	21.1	14.1	7.5	6.3	.2	2.4
<b>Units In Structure</b>												
5 1, detached	545.7	438.7	367.8	160.4	166.5	3.8	32.3	20.3	10.3	9.3	.2	2.5
6 1, attached	61.1	33.0	23.5	6.8	6.3	-.2	1.3	.8	.6	.2	-.2	.2
7 2 to 4	45.9	27.7	15.7	9.5	8.7	-.8	5.7	3.3	1.6	1.4	-.1	.3
8 5 to 9	46.9	24.1	13.7	6.4	6.8	-.6	2.2	3.0	1.7	1.7	-.1	.4
9 10 to 19	77.0	32.7	19.6	9.9	7.9	-.8	2.3	2.4	1.5	1.1	-.1	.4
10 20 to 49	46.5	17.9	11.1	3.3	2.9	-.2	1.0	1.9	.4	.2	-.1	.2
11 50 or more	5.4	2.1	1.5	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
12 Mobile home or trailer	68.1	36.6	30.8	9.2	9.2	-.1	4.6	2.8	1.2	1.2	-.1	1.2
<b>Year Structure Built<sup>1</sup></b>												
13 1990 to 1994	88.0	69.5	60.9	28.6	26.5	.9	3.7	2.8	1.3	1.1	-.1	-.1
14 1985 to 1989	154.0	104.7	83.7	44.2	40.7	1.3	3.3	5.9	4.1	3.7	-.2	1.0
15 1980 to 1984	148.4	96.3	78.4	40.2	39.1	1.0	5.9	5.4	3.2	3.0	-.2	1.1
16 1975 to 1979	116.4	62.3	47.2	26.8	26.8	-.4	4.2	4.1	2.0	1.8	-.2	.7
17 1970 to 1974	130.7	65.8	48.6	26.8	26.1	.9	6.1	5.4	2.2	1.9	-.1	.5
18 1960 to 1969	139.0	63.2	44.4	25.5	25.6	-.2	8.6	5.4	2.3	1.8	-.1	1.2
19 1950 to 1959	61.0	34.8	21.6	19.6	17.1	-.2	10.7	4.0	1.4	1.4	-.1	.3
20 1940 to 1949	22.4	15.7	9.3	6.1	6.1	-.2	3.9	1.2	.3	.4	-.1	.2
21 1930 to 1939	13.7	7.5	4.1	4.1	3.2	-.4	2.9	.3	.2	.2	-.1	.2
22 1920 to 1929	2.1	.8	.6	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1
23 1919 or earlier	2.1	.8	.6	.3	.3	-.1	-.1	-.1	-.1	-.1	-.1	-.1
24 Median	1978	1978	1978	1980	1980	-.1	1988	1976	1980	1980	-.1	-.1
<b>Age of Householder</b>												
25 Under 25 years	60.0	27.8	16.2	8.0	7.0	.8	2.6	3.6	1.9	1.7	-.1	.9
26 25 to 29	91.2	59.3	44.3	32.3	30.9	.2	9.1	4.4	1.9	1.3	-.1	.6
27 30 to 34	103.8	79.7	63.9	49.7	43.5	1.9	11.9	5.8	5.0	4.2	.4	1.8
28 35 to 44	197.1	156.6	118.5	95.6	88.3	2.1	16.6	10.9	7.0	6.8	-.1	1.7
29 45 to 54	152.9	114.9	94.0	38.5	33.9	.8	6.9	4.8	1.5	1.3	-.1	.2
30 55 to 64	112.8	77.9	68.0	4.7	4.3	-.1	1.9	1.3	-.1	-.1	-.1	-.1
31 65 to 74	99.9	62.5	53.7	.6	.6	-.1	-.1	2.0	-.1	-.1	-.1	-.1
32 75 years and over	78.9	34.2	27.1	-.1	-.1	-.1	-.1	1.8	-.1	-.1	-.1	-.1
33 Median	45	44	45	37	38	-.1	35	38	35	36	-.1	-.1
<b>Persons 65 Years Old and Over</b>												
34 None	703.3	501.8	392.6	225.1	208.2	5.4	48.6	30.0	17.3	15.1	.4	5.2
35 1 person	128.1	44.9	27.5	2.1	1.9	-.1	.7	3.4	-.1	-.1	-.1	-.1
36 2 persons or more	67.4	66.2	63.7	.4	.4	-.1	-.1	1.1	-.1	-.1	-.1	-.1
<b>Persons</b>												
37 1 person	219.8	...	...	...	...	...	...	...	...	...	...	...
38 2 persons	306.3	253.9	199.9	...	...	...	...	13.9	3.6	3.4	-.1	.4
39 3 persons	136.3	128.9	93.0	59.3	54.6	1.4	9.4	8.3	5.8	5.1	.2	1.4
40 4 persons	127.0	123.7	105.4	82.4	85.3	1.8	16.0	5.6	3.0	2.4	.2	.9
41 5 persons	63.4	62.7	50.3	45.6	42.2	1.0	12.4	3.2	2.6	2.4	-.1	1.6
42 6 persons	27.8	27.8	22.3	19.2	17.6	.4	6.4	2.4	1.7	1.2	-.1	.9
43 7 persons or more	18.1	18.0	12.7	11.0	8.7	.8	5.1	1.2	.6	.6	-.1	.6
44 Median	2.2	2.9	3.0	4.1	4.1	-.1	4.5	2.9	3.4	3.3	-.1	-.1
<b>Rooms</b>												
45 1 room	4.6	.5	.5	.2	-.1	-.1	-.1	-.1	-.1	-.1	-.1	-.1
46 2 rooms	9.0	.4	.2	.2	.2	-.1	.2	-.1	-.1	-.1	-.1	-.1
47 3 rooms	85.0	25.3	18.0	4.5	3.9	.2	3.5	3.2	1.7	1.3	-.1	.8
48 4 rooms	189.2	106.3	69.6	34.1	30.8	.8	14.7	9.5	3.8	3.2	-.1	1.4
49 5 rooms	178.4	121.4	91.8	40.4	37.4	1.0	9.8	5.2	2.9	2.7	.2	1.0
50 6 rooms	184.5	119.8	95.7	44.7	39.8	1.1	8.4	7.2	3.1	2.7	.2	.9
51 7 rooms	129.3	111.4	96.7	45.9	42.2	1.0	6.4	4.0	2.6	2.2	-.1	.9
52 8 rooms	89.4	79.7	69.9	33.4	30.6	1.0	4.8	2.7	1.7	1.7	-.1	.2
53 9 rooms	37.3	35.4	32.0	18.4	17.7	-.1	1.4	2.2	.9	.7	-.1	-.1
54 10 rooms or more	12.0	10.8	9.1	5.8	5.8	-.1	.2	.6	.6	.6	-.1	-.1
55 Median	5.4	5.9	6.1	6.3	6.3	-.1	5.1	5.4	6.6	6.6	-.1	-.1
<b>Persons Per Room</b>												
56 0.50 or less	606.7	346.0	278.1	61.9	58.5	.8	5.9	16.2	6.6	5.4	-.1	.8
57 0.51 to 1.00	257.9	235.2	183.0	144.9	131.8	3.5	30.2	16.0	9.6	8.3	.4	3.1
58 1.01 to 1.50	24.5	24.3	17.1	15.6	14.0	.8	9.8	2.0	1.7	1.5	-.1	1.4
59 1.51 or more	7.6	7.3	5.5	5.2	4.1	.5	3.5	.4	.2	-.1	-.1	-.1

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

Family households - Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Total	Living alone				Other nonfamily			
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female		
		White	Black			Total	65 and over	Total	65 and over				
94.6	55.9	43.6	6.1	15.7	283.8	91.2	16.6	128.6	63.6	38.0	26.1	1	
43.7	19.8	17.5	1.3	4.8	142.6	40.4	11.2	79.6	47.8	11.5	11.1	2	
48.2	35.5	40.1	22.0	30.6	50.2	44.3	67.4	61.9	75.2	30.4	42.5	3	
50.9	36.0	28.1	4.8	10.9	141.2	50.8	5.4	49.0	15.7	26.4	15.0	4	
50.5	25.3	20.5	2.5	6.8	107.0	35.7	6.1	48.5	28.3	14.5	8.3	5	
8.7	5.7	4.9	.8	.8	28.1	4.6	.3	17.8	7.1	3.7	2.0	6	
8.7	7.9	5.8	.9	3.5	18.2	4.6	1.0	9.7	4.4	1.8	2.1	7	
7.4	4.5	3.4	.4	.9	22.8	7.3	.8	8.2	2.8	4.6	2.7	8	
10.7	8.1	5.4	1.4	2.5	44.3	17.8	2.0	14.4	4.7	8.1	4.1	9	
4.9	3.6	3.1	.2	.9	28.6	11.0	.4	10.8	2.8	3.8	3.1	10	
.6	.2	.2	-	-	3.3	2.0	1.4	1.3	1.1	-	-	11	
3.1	.6	.3	-	.3	31.5	8.1	2.8	17.9	12.3	1.6	3.9	12	
5.7	3.3	2.8	-	1.3	18.6	4.8	.7	8.7	1.5	2.2	2.8	13	
15.1	10.7	9.1	1.1	.9	49.3	15.5	2.2	21.1	7.3	6.9	5.7	14	
16.6	10.0	8.1	1.0	1.8	50.0	16.1	1.9	20.8	10.0	8.7	4.6	15	
11.0	7.4	5.7	.9	2.6	34.1	12.3	1.5	18.1	9.7	3.9	1.8	16	
13.7	7.9	6.3	1.1	2.1	45.0	12.9	2.3	20.8	10.2	6.2	5.1	17	
17.4	8.7	5.2	1.7	3.2	45.8	16.3	4.7	21.1	11.9	3.7	4.7	18	
9.0	4.3	3.0	.2	1.6	26.3	7.4	1.6	13.7	10.0	4.4	.7	19	
5.2	3.2	2.5	.2	2.0	6.7	2.9	1.5	2.9	1.8	.5	.3	20	
1.0	.5	.3	-	.3	6.2	2.3	.3	3.2	1.2	.6	.2	21	
-	-	-	-	-	1.5	.6	-	.2	-	.8	-	22	
-	-	-	-	-	.3	-	-	.2	-	.2	-	23	
1975	1977	1978	---	1972	1976	1976	1971	1976	1973	1978	1980	24	
8.0	5.8	4.1	1.4	2.3	32.2	6.8	---	7.3	---	10.7	7.5	25	
10.6	8.7	7.6	.4	3.2	31.9	12.3	---	5.5	---	10.6	3.5	26	
10.1	9.0	6.6	.9	3.0	24.1	10.3	---	6.0	---	5.4	2.4	27	
29.2	24.1	18.9	2.2	5.3	40.5	19.4	---	11.4	---	3.9	5.9	28	
16.1	7.6	5.8	1.2	1.3	38.0	15.3	---	14.4	---	4.8	3.5	29	
8.5	.7	.7	-	.5	35.0	10.5	---	20.5	---	2.2	1.8	30	
6.8	-	-	-	-	37.4	8.8	8.8	27.5	27.5	.4	.6	31	
5.3	-	-	-	-	44.7	7.9	7.9	36.0	36.0	-	.8	32	
41	37	37	-	34	48	43	74	65	75+	29	34	33	
79.3	55.1	42.8	6.1	15.1	201.4	74.5	---	65.0	---	37.3	24.6	34	
14.0	.8	.8	-	.6	81.2	16.6	16.6	63.6	63.6	.5	.4	35	
1.4	-	-	-	-	1.2	---	---	---	---	.2	1.0	36	
---	---	---	---	---	219.8	91.2	16.6	128.6	63.6	---	---	37	
40.1	16.3	13.6	1.1	2.5	52.4	---	---	---	---	29.2	23.1	38	
27.6	18.0	14.2	2.6	2.6	7.4	---	---	---	---	5.3	2.1	39	
12.8	10.7	8.1	.8	4.8	3.3	---	---	---	---	2.9	.4	40	
9.3	6.9	5.2	1.0	3.6	.7	---	---	---	---	.3	.4	41	
3.0	2.5	1.4	.4	1.5	-	---	---	---	---	-	-	42	
2.0	1.5	1.1	.2	.9	.2	---	---	---	---	.2	-	43	
2.8	3.1	3.1	---	4.1	1.5	---	---	---	---	2.1	2.1	44	
-	-	-	-	-	4.1	3.1	.4	.7	.5	.3	-	45	
.2	.2	.2	-	.2	8.7	5.6	.8	1.5	.2	1.2	.4	46	
4.1	3.2	2.5	.3	1.9	59.7	27.4	5.6	23.1	8.3	5.0	4.2	47	
29.1	20.8	15.9	1.9	6.6	80.9	20.4	2.7	37.9	19.8	13.8	8.9	48	
24.3	12.6	10.3	2.1	2.3	55.0	10.9	2.1	29.8	15.3	6.9	7.3	49	
16.9	9.2	7.2	1.0	3.2	44.7	12.4	3.3	25.1	13.5	5.3	2.0	50	
10.7	5.2	4.5	.4	.5	17.9	6.9	.8	6.2	3.9	3.6	1.2	51	
7.1	2.5	1.2	.4	.4	9.7	2.8	.6	3.4	1.8	1.6	1.9	52	
1.2	1.0	1.0	-	-	2.0	1.6	.4	.2	.2	.2	-	53	
1.1	1.1	.8	-	.6	1.2	.2	-	.6	.2	.2	.2	54	
5.1	4.8	4.8	---	4.4	4.4	4.0	4.1	4.5	4.7	4.4	4.5	55	
51.8	23.2	19.1	1.5	3.6	260.6	88.1	16.3	127.9	63.0	25.0	19.7	56	
36.2	27.5	20.1	4.4	8.8	22.7	3.1	.4	.7	.5	12.5	6.4	57	
5.2	4.0	3.3	.2	2.2	.2	-	-	-	-	.2	-	58	
1.4	1.3	1.1	-	1.1	.3	-	-	-	-	.3	-	59	

Table 1-2. Financial Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		Hhldr of Hispanic origin
		Total	White	Black		Total	White	Black				
1 Total.....	896.7	612.9	463.7	227.5	208.5	5.4	49.3	34.5	17.3	15.1	.4	5.2
<b>Household Income</b>												
2 Less than \$5,000.....	28.7	12.3	7.0	2.1	1.9	-	.7	.3	-	-	-	.4
3 \$5,000 to \$9,999.....	62.3	22.1	10.9	6.1	6.1	-	3.6	1.4	.4	.2	-	1.0
4 \$10,000 to \$14,999.....	72.1	36.8	23.2	12.2	11.3	2.2	7.3	3.5	1.8	.9	-	1.5
5 \$15,000 to \$19,999.....	73.9	41.9	27.9	13.7	11.5	1.3	4.6	4.3	3.2	2.8	-	.8
6 \$20,000 to \$24,999.....	78.0	47.4	32.8	12.9	12.5	.4	5.1	2.7	.8	.7	-	.3
7 \$25,000 to \$29,999.....	89.7	59.8	47.0	21.4	20.4	-	5.3	2.4	1.8	1.8	-	.8
8 \$30,000 to \$34,999.....	85.8	41.5	29.8	12.2	9.3	.8	3.8	2.2	.8	.8	-	.2
9 \$35,000 to \$39,999.....	54.7	40.7	29.3	15.4	13.7	.2	4.1	3.0	.8	.8	-	.2
10 \$40,000 to \$49,999.....	92.5	72.1	60.3	31.7	29.1	.2	6.7	4.4	2.6	2.6	-	.4
11 \$50,000 to \$59,999.....	71.5	59.1	50.3	25.7	23.7	.8	2.7	3.2	1.7	1.5	-	.4
12 \$60,000 to \$79,999.....	90.8	76.1	69.3	36.2	33.0	.8	3.2	3.1	1.5	1.3	-	.4
13 \$80,000 to \$99,999.....	54.3	47.0	44.0	18.2	15.0	.6	1.3	2.2	1.6	1.4	-	.4
14 \$100,000 to \$119,999.....	23.5	21.8	20.2	8.3	8.3	-	.8	.6	.4	.4	-	.4
15 \$120,000 or more.....	38.8	34.6	31.6	13.4	12.8	.2	.2	1.2	.4	.4	-	.4
16 Median.....	33 315	40 561	45 625	45 625	48 028	-	28 125	35 752	34 591	37 415	-	-
<b>As percent of poverty level:</b>												
17 Less than 50 percent.....	33.3	21.3	11.5	7.4	7.0	-	4.1	.9	-	-	-	-
18 50 to 99.....	63.3	36.4	22.3	15.4	14.1	.9	8.2	3.6	2.7	1.8	-	2.3
19 100 to 149.....	78.4	46.1	30.9	22.6	20.3	.8	8.8	4.1	1.8	1.8	-	.3
20 150 to 199.....	92.1	63.3	44.1	26.9	24.8	.4	8.5	4.3	3.0	2.6	-	1.1
21 200 percent or more.....	631.6	445.8	374.9	155.3	142.3	3.2	19.8	21.7	10.0	9.4	2.2	1.4
<b>Monthly Housing Costs</b>												
22 Less than \$100.....	5.9	3.6	3.0	.2	-	-	-	-	-	-	-	-
23 \$100 to \$199.....	48.1	26.9	19.2	4.8	4.8	-	2.9	1.5	-	-	-	-
24 \$200 to \$249.....	44.8	26.3	22.5	4.8	4.8	-	2.8	1.4	.2	.2	-	.2
25 \$250 to \$299.....	41.0	24.3	20.2	3.1	2.5	-	2.0	2.3	.2	.2	-	.2
26 \$300 to \$349.....	42.0	22.5	18.1	4.4	4.0	-	2.7	1.6	.3	.3	-	.3
27 \$350 to \$399.....	54.0	27.8	19.7	7.2	6.5	-	5.0	.7	.2	.2	-	.2
28 \$400 to \$449.....	58.1	32.2	19.5	8.5	7.8	-	3.4	2.6	1.6	1.2	-	.8
29 \$450 to \$499.....	54.4	33.0	24.7	11.1	9.8	.4	2.8	3.1	1.8	1.6	-	.8
30 \$500 to \$599.....	99.1	60.2	38.9	21.1	18.1	1.2	7.2	4.8	3.3	2.9	-	.3
31 \$600 to \$699.....	78.0	52.6	37.3	21.4	19.4	.8	5.8	3.7	1.9	1.8	-	1.2
32 \$700 to \$799.....	69.7	50.3	36.7	21.1	18.4	1.0	3.5	2.2	1.8	1.6	-	.8
33 \$800 to \$999.....	115.0	94.2	80.8	46.3	43.2	.6	3.5	2.3	1.5	1.5	-	.2
34 \$1,000 to \$1,249.....	67.9	59.0	52.7	30.4	28.2	.2	3.3	2.9	1.3	1.3	-	.2
35 \$1,250 to \$1,499.....	28.1	25.1	22.4	10.5	10.5	-	.4	1.4	.8	.6	-	.6
36 \$1,500 or more.....	30.0	27.7	25.8	13.8	12.7	.4	.7	.4	.4	.4	-	.4
37 No cash rent.....	16.7	10.3	7.4	4.2	4.2	-	1.6	.8	.2	.2	-	.2
38 Mortgage payment not reported.....	44.0	37.3	32.9	15.2	14.2	.8	1.7	2.9	2.0	1.4	-	.4
39 Median (excludes no cash rent).....	571	650	696	784	798	-	519	548	599	619	-	-
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs.....	700	768	794	902	911	-	646	658	730	738	-	-
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	638	708	729	856	864	-	609	607	691	703	-	-
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>												
42 Less than 5 percent.....	17.2	14.2	13.7	2.9	2.5	.2	.5	-	-	-	-	-
43 5 to 9 percent.....	76.4	61.2	52.3	12.7	11.8	-	3.7	3.9	.4	.2	-	.1
44 10 to 14 percent.....	118.6	91.2	81.0	29.9	26.9	.8	5.8	3.5	.8	.6	-	.1
45 15 to 19 percent.....	134.0	105.5	91.3	44.3	41.3	.8	7.8	4.0	1.9	1.6	-	.1
46 20 to 24 percent.....	124.8	88.8	72.6	42.8	39.0	1.2	8.0	4.6	3.0	3.0	-	.7
47 25 to 29 percent.....	102.4	66.1	46.7	25.7	23.0	.6	5.7	4.9	2.9	2.7	-	.8
48 30 to 34 percent.....	63.8	34.5	22.0	12.6	11.1	.6	4.3	2.4	1.1	1.1	-	.6
49 35 to 39 percent.....	43.2	28.1	18.8	12.2	11.3	-	1.8	2.7	2.0	1.8	-	.6
50 40 to 49 percent.....	54.0	30.5	19.9	12.0	11.1	.2	3.7	1.3	1.1	1.1	-	.6
51 50 to 59 percent.....	31.0	13.5	7.6	4.8	4.1	.4	1.5	1.6	1.0	.8	-	.4
52 60 to 69 percent.....	15.9	9.1	5.8	3.3	3.3	-	1.7	.8	.4	.4	-	.4
53 70 to 99 percent.....	23.9	10.6	6.4	2.2	2.0	-	1.5	.9	.5	.3	-	.4
54 100 percent or more <sup>1</sup> .....	28.9	12.2	5.8	2.3	2.1	-	.9	.2	.2	.2	-	.2
55 Zero or negative income.....	3.9	1.8	1.0	.5	.5	-	.2	.3	-	-	-	.2
56 No cash rent.....	16.7	10.3	7.4	4.2	4.2	-	1.6	.8	.2	.2	-	.2
57 Mortgage payment not reported.....	44.0	37.3	32.9	15.2	14.2	.8	1.7	2.9	2.0	1.4	-	.4
58 Median (excludes 3 previous lines).....	23	21	19	22	22	-	23	24	29	27	-	-
59 Median (excludes 4 lines before mediana).....	22	20	19	22	21	-	23	24	28	27	-	-

Family households - Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Hhldr of Hispanic origin	Living alone				Other nonfamily		
	Total	Race of householder		Total		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
94.6	55.9	43.6	6.1	15.7	263.8	91.2	16.6	128.6	63.6	38.0	26.1	1
5.0	4.2	2.5	.8	1.1	16.4	6.9	1.7	8.9	5.6	.4	.2	2
9.8	8.0	5.0	1.6	4.4	40.2	11.4	3.9	26.8	16.6	1.6	.4	3
10.0	7.3	5.4	1.5	3.2	35.3	10.7	2.2	20.6	12.2	2.2	1.7	4
9.6	5.4	3.3	1.6	2.2	32.1	12.8	3.1	16.2	9.3	2.1	1.1	5
12.0	7.2	5.9	1.7	1.5	30.6	6.7	1.6	13.6	6.6	4.5	3.8	6
10.4	7.1	6.7	2.5	1.4	29.9	9.3	1.2	15.4	7.3	3.6	1.5	7
9.4	4.7	4.5	2.4	.8	24.4	7.1	.9	9.5	.9	3.3	4.4	8
8.4	3.9	3.7	1.4	.2	14.0	5.3	.8	4.1	1.7	2.5	2.1	9
7.5	3.6	2.4	1.4	.2	20.4	5.2	.2	6.7	2.1	5.3	3.2	10
5.5	1.3	1.3	1.3	1.3	12.4	4.6	.6	2.1	.2	2.5	3.2	11
3.7	1.5	1.3	1.3	1.3	14.7	4.1	.2	3.0	.8	5.4	2.2	12
.8	4	4	4	4	7.3	2.2	1.0	1.0	1.0	3.2	.9	13
.8	4	4	4	4	1.9	.6	.2	.7	.2	7	.7	14
1.7	1.3	1.3	1.3	1.3	4.2	2.3	1.0	.7	.2	6	.7	15
25 459	22 084	24 792	13 551	22 917	22 169	15 709	17 477	13 924	37 248	34 901	16	
9.0	8.2	4.7	1.4	3.9	12.0	6.0	1.3	5.0	2.4	.9	.2	17
10.5	7.8	5.8	1.2	3.6	26.9	7.9	2.1	16.9	10.5	1.7	.4	18
11.0	8.6	7.3	.9	3.5	30.3	7.7	2.3	18.6	10.4	2.1	1.7	19
14.9	9.8	7.3	2.1	2.3	28.8	9.2	1.2	16.2	10.2	2.2	1.1	20
49.2	21.5	19.6	.6	2.4	185.8	60.3	9.8	71.7	30.1	31.2	22.6	21
.5	.5	.2	.2	.2	2.3	.9	1.4	1.2	1.2	1.2	1.2	22
8.2	4.1	2.2	1.2	2.2	21.2	6.0	2.8	14.6	12.0	.4	.2	23
2.4	1.2	.7	.5	.5	16.4	4.8	2.4	12.1	10.0	.3	1.4	24
1.8	.5	.5	.5	.5	16.8	5.0	1.7	9.9	7.2	.6	1.1	25
2.6	2.5	1.8	1.4	1.4	19.5	8.7	2.0	8.8	4.2	1.0	.9	26
7.3	3.6	2.2	.6	2.2	26.4	11.0	2.2	11.8	5.1	2.4	1.2	27
10.1	6.3	4.1	.9	2.0	25.9	9.5	.4	10.8	4.3	3.4	2.4	28
5.2	3.0	2.8	.9	.9	21.4	5.7	.6	9.8	3.2	3.6	2.3	29
16.5	10.8	8.5	2.8	2.8	38.9	12.1	1.2	15.8	4.6	8.2	2.8	30
11.8	6.8	5.0	1.8	1.3	25.4	7.2	1.0	9.1	3.6	5.2	3.9	31
9.3	4.9	4.9	1.8	.8	19.5	4.3	1.0	8.8	2.4	3.2	3.2	32
11.1	4.7	4.6	1.8	1.1	20.8	6.2	1.7	6.0	1.7	5.4	3.2	33
3.5	2.8	2.2	1.1	.7	9.0	3.7	.6	1.6	.2	1.8	1.9	34
1.3	.9	.9	1.1	1.1	3.1	2.2	1.0	.4	1.0	.2	.2	35
1.4	1.4	1.4	1.1	1.1	2.4	1.7	.5	.2	.2	.2	.2	36
2.1	1.1	1.1	1.1	.2	6.5	1.2	.3	4.1	2.1	.9	.2	37
1.5	.8	.8	1.2	.2	6.7	1.4	1.8	3.3	1.8	1.3	.8	38
555	549	576	416	416	462	443	333	409	296	576	603	39
704	761	784	438	438	535	305	378	289	708	802	40	
637	693	716	397	397	486	300	352	269	642	759	41	
.4	2.1	1.3	.7	.7	3.0	1.5	1.4	1.1	.2	1.1	.2	42
5.0	2.5	2.3	.8	.8	15.3	6.4	1.2	7.6	5.1	.6	.6	43
6.8	4.4	3.7	1.5	1.5	27.4	9.0	2.1	12.7	6.8	3.1	2.6	44
10.2	4.4	3.7	.9	.9	28.4	13.6	3.0	11.1	4.2	2.9	.8	45
11.8	5.7	5.1	.9	.9	36.0	12.5	1.2	16.9	7.1	3.5	3.1	46
14.6	8.0	6.5	1.8	1.8	36.2	13.3	2.5	13.7	4.8	5.1	4.2	47
10.1	7.8	5.3	2.3	2.3	29.4	8.1	.8	14.7	8.1	4.4	2.3	48
4.8	3.4	3.0	1.2	1.2	17.1	4.9	.4	7.2	4.4	2.6	2.1	49
10.4	7.1	4.7	1.7	1.7	23.5	4.9	1.2	11.0	5.0	4.8	2.8	50
4.3	2.9	2.5	.9	.9	17.5	4.6	.8	7.8	3.9	4.3	1.0	51
2.5	1.8	1.2	.8	.8	6.7	1.2	1.2	2.8	1.4	1.5	1.2	52
3.4	2.4	1.9	.4	.4	13.3	2.6	1.2	7.5	4.3	4.3	2.7	53
6.3	5.6	4.1	2.5	2.5	14.8	5.0	.8	6.0	2.6	2.0	1.7	54
.6	.2	.2	1.1	1.1	2.0	1.1	.7	1.0	.8	.9	.2	55
2.1	1.1	1.1	.2	.2	6.5	1.2	.3	4.1	2.1	.9	.2	56
1.5	.8	.6	.2	.2	6.7	1.4	1.4	3.3	1.8	1.3	.8	57
29	33	32	35	35	28	25	26	29	30	33	33	58
26	31	30	32	32	27	24	25	28	29	32	31	59

**Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		Hhldr of Hispanic origin
			White	Black			White	Black				
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	580.0	437.4	373.1	161.0	149.9	2.8	28.2	20.5	9.8	8.8	.2	2.8
Value .....												
2 Less than \$10,000.....	20.4	11.8	8.7	2.7	2.7	-	2.7	1.9	1.2	1.2	-	1.2
3 \$10,000 to \$19,999.....	20.0	10.6	10.3	1.5	1.5	-	-	-	-	-	-	-
4 \$20,000 to \$29,999.....	14.1	6.9	5.2	.8	.8	-	.5	1.1	.2	.2	-	-
5 \$30,000 to \$39,999.....	11.7	7.2	4.2	1.4	1.0	-	.5	.9	.4	-	-	.4
6 \$40,000 to \$49,999.....	24.8	15.7	11.8	6.6	5.9	.2	2.9	1.1	-	-	-	-
7 \$50,000 to \$59,999.....	45.4	30.4	21.2	10.5	8.3	.4	4.4	2.6	2.2	1.8	.2	.6
8 \$60,000 to \$69,999.....	58.2	34.9	28.5	13.8	12.8	.2	4.9	1.3	.2	.2	-	-
9 \$70,000 to \$79,999.....	58.3	44.7	37.4	16.7	15.1	1.0	3.1	1.7	1.0	1.0	-	.2
10 \$80,000 to \$99,999.....	99.2	78.9	67.2	29.9	28.5	.2	3.9	2.8	1.5	1.5	-	.2
11 \$100,000 to \$119,999.....	70.8	58.1	53.0	25.3	24.0	.4	1.5	1.9	.4	.4	-	-
12 \$120,000 to \$149,999.....	63.8	55.1	48.5	20.0	19.6	-	1.9	2.3	1.4	1.4	-	.2
13 \$150,000 to \$199,999.....	47.4	40.5	37.0	15.5	14.4	.2	1.0	1.8	.7	.7	-	-
14 \$200,000 to \$249,999.....	18.0	15.9	13.4	5.4	4.5	.2	.2	.6	.4	.4	-	-
15 \$250,000 to \$299,999.....	11.8	10.4	9.8	4.3	4.1	.2	.4	.2	.2	-	-	-
16 \$300,000 or more.....	20.0	18.3	17.2	6.7	6.5	-	.4	.2	-	-	-	-
17 Median.....	88 269	94 689	97 683	97 827	98 775	-	66 459	78 134	76 780	79 463	-	-

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
43.7	19.8	17.5	1.3	4.8	142.6	40.4	11.2	79.8	47.8	11.5	11.1	1
1.3	.4	.4	—	.3	8.6	5.1	1.8	2.2	1.5	.5	.8	2
.3	—	—	—	—	9.5	2.7	.4	5.7	5.3	1.1	—	3
.7	.4	.4	—	—	7.2	1.5	1.5	5.5	3.2	.2	—	4
2.1	—	—	—	—	4.6	.3	.3	3.2	2.0	—	1.0	5
2.8	1.3	.6	.6	.6	9.1	2.0	.8	6.1	3.8	.8	.2	6
6.6	3.8	3.8	—	1.3	14.9	2.2	—	9.8	6.2	1.1	1.8	7
5.1	2.8	1.8	.8	.8	21.3	6.1	1.2	12.5	8.8	.8	1.9	8
5.8	2.3	2.3	—	.8	11.6	3.0	1.7	7.5	3.5	.4	.8	9
6.8	3.5	3.2	.2	.4	22.2	6.0	1.2	11.2	6.2	2.9	2.0	10
3.2	1.7	1.7	—	.4	12.7	4.1	.2	6.0	4.0	1.2	1.5	11
4.3	1.9	1.9	—	—	8.7	2.7	.4	5.0	3.4	.9	.2	12
1.7	.7	.7	—	—	6.9	1.6	.9	3.0	1.8	1.7	.7	13
1.9	—	—	—	—	2.2	1.3	1.1	.8	.8	—	—	14
.4	.4	—	—	—	1.4	1.0	—	.4	.4	—	—	15
1.0	1.0	1.0	—	—	1.8	.8	—	.8	.4	—	—	16
75 429	78 394	78 630	—	—	68 184	71 334	68 457	65 711	62 884	66 180	68 977	17

Table 1-3. Housing Quality by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple							Male householder, no wife present			
		Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18				
			Total	White	Black			Total	White	Black	Hhldr of Hispanic origin	
<b>1 Total</b>	<b>896.7</b>	<b>612.9</b>	<b>483.7</b>	<b>227.5</b>	<b>208.5</b>	<b>5.4</b>	<b>49.3</b>	<b>34.5</b>	<b>17.3</b>	<b>15.1</b>	<b>.4</b>	<b>5.2</b>
<b>Water Supply Stoppage</b>												
2 With hot and cold piped water	896.7	612.9	483.7	227.5	208.5	5.4	49.3	34.5	17.3	15.1	.4	5.2
3 No stoppage in last 3 months	840.6	582.2	461.8	216.0	197.9	4.8	46.5	32.4	15.8	13.7	.4	4.8
4 With stoppage in last 3 months	48.1	25.2	18.0	9.4	8.6	.5	2.3	1.7	1.3	1.3	—	.2
5 No stoppage lasting 6 hours or more	21.2	11.2	7.7	3.5	3.5	—	1.0	.6	.2	.2	—	—
6 1 time lasting 6 hours or more	12.6	7.3	5.7	3.3	3.0	—	.4	.7	.7	.7	—	—
7 2 times	3.0	1.6	1.0	.4	.2	—	.2	—	—	—	—	—
8 3 times	1.3	.5	.4	—	—	—	—	—	—	—	—	—
9 4 times or more	1.6	.8	.6	.4	.4	—	—	—	—	—	—	—
10 Number of times not reported	6.3	3.8	2.7	1.9	1.4	.5	.7	.4	.4	.4	—	.2
11 Stoppage not reported	10.0	5.4	3.9	2.2	2.0	.2	.5	.4	.2	.2	—	.2
<b>Flush Toilet Breakdowns</b>												
12 With one or more flush toilets	896.7	612.9	483.7	227.5	208.5	5.4	49.3	34.5	17.3	15.1	.4	5.2
13 With at least one working toilet at all times in last 3 months	835.9	573.1	454.8	211.5	193.6	4.6	42.9	32.7	15.6	13.9	.2	4.2
14 None working some time in last 3 months	52.5	34.2	23.8	14.6	13.6	.6	6.1	1.7	1.5	1.3	—	1.0
15 No breakdowns lasting 6 hours or more	20.1	12.1	8.6	4.2	3.9	.4	1.0	.5	.3	.3	—	.3
16 1 time lasting 6 hours or more	19.2	12.6	8.8	6.8	6.2	.2	2.2	.5	.5	.5	—	—
17 2 times	4.0	2.9	1.5	1.0	.9	—	1.0	—	—	—	—	—
18 3 times	.8	.6	—	—	—	—	—	.4	.4	.4	—	.4
19 4 times or more	1.9	1.4	.9	.7	.7	—	.5	—	—	—	—	—
20 Number of times not reported	6.5	4.5	4.1	1.9	1.9	—	1.3	.2	.2	—	—	.2
21 Breakdowns not reported	8.3	5.7	5.1	1.4	1.3	.2	.4	.2	.2	—	—	—
<b>Sewage Disposal Breakdowns</b>												
22 With public sewer	843.8	571.3	448.8	211.3	192.2	5.4	46.0	32.6	16.9	14.8	.4	5.0
23 No breakdowns in last 3 months	826.1	560.5	440.9	205.9	187.0	5.2	44.5	31.9	16.7	14.6	.4	5.0
24 With breakdowns in last 3 months	17.7	10.8	7.9	5.4	5.2	.2	1.5	.7	.2	.2	—	—
25 No breakdowns lasting 6 hours or more	5.5	3.4	2.0	1.2	1.2	—	.4	.5	—	—	—	—
26 1 time lasting 6 hours or more	6.3	4.9	3.8	3.1	2.9	.2	.2	—	—	—	—	—
27 2 times	1.6	.8	.8	.6	.6	—	.6	—	—	—	—	—
28 3 times	.3	.3	.2	.2	.2	—	.2	—	—	—	—	—
29 4 times or more	2.0	1.4	1.2	.4	.4	—	.2	—	—	—	—	—
30 With septic tank or cesspool	52.9	41.6	34.9	16.2	16.2	—	3.3	1.9	.4	.4	—	.2
31 No breakdowns in last 3 months	52.7	41.6	34.9	16.2	16.2	—	3.3	1.9	.4	.4	—	.2
32 With breakdowns in last 3 months	.2	—	—	—	—	—	—	—	—	—	—	—
33 No breakdowns lasting 6 hours or more	.2	—	—	—	—	—	—	—	—	—	—	—
34 1 time lasting 6 hours or more	—	—	—	—	—	—	—	—	—	—	—	—
35 2 times	—	—	—	—	—	—	—	—	—	—	—	—
36 3 times	—	—	—	—	—	—	—	—	—	—	—	—
37 4 times or more	—	—	—	—	—	—	—	—	—	—	—	—
<b>Heating Problems</b>												
38 With heating equipment and occupied last winter	793.2	549.3	440.2	204.8	188.9	4.8	42.7	29.5	15.1	13.2	.4	4.2
39 Not uncomfortably cold for 24 hours or more last winter	764.5	527.3	426.9	197.6	182.6	3.6	40.8	28.4	14.2	12.3	.4	4.2
40 Uncomfortably cold for 24 hours or more last winter <sup>1</sup>	26.7	20.5	12.2	6.8	5.9	.7	1.9	1.1	.9	.9	—	—
41 Equipment breakdowns	13.1	10.2	6.0	2.6	2.1	.4	.5	.4	.2	.2	—	—
42 No breakdowns lasting 6 hours or more	.6	.6	—	—	—	—	—	—	—	—	—	—
43 1 time lasting 6 hours or more	6.0	4.9	4.2	2.0	1.6	.4	.2	.2	.2	.2	—	—
44 2 times	.5	.3	.2	—	—	—	—	—	—	—	—	—
45 3 times	1.7	1.4	.4	.2	.2	—	—	—	—	—	—	—
46 4 times or more	1.6	1.2	.7	.2	—	—	.2	—	—	—	—	—
47 Number of times not reported	2.7	1.7	.6	.3	.3	—	.2	.2	.4	.4	—	—
48 Other causes	15.0	11.8	6.8	3.6	3.4	.4	1.2	.7	.7	.7	—	—
49 Utility interruption	1.6	1.1	.5	.2	.2	—	.3	.3	.3	.3	—	—
50 Inadequate heating capacity	5.9	5.1	3.0	1.6	1.6	—	1.1	—	—	—	—	—
51 Inadequate insulation	.7	.7	.4	.2	.2	—	.2	—	—	—	—	—
52 Other	6.3	4.6	2.7	1.6	1.4	.2	.2	.4	.4	.4	—	—
53 Not reported	.8	.3	—	—	—	—	—	—	—	—	—	—
54 Reason for discomfort not reported	.4	.4	.4	.4	.4	—	.2	—	—	—	—	—
55 Discomfort not reported	2.0	1.5	1.1	.4	.2	.2	—	—	—	—	—	—
<b>Selected Deficiencies<sup>1</sup></b>												
56 Signs of rats in last 3 months	16.8	13.7	8.1	5.2	4.7	.2	3.0	2.7	1.4	1.4	—	1.2
57 Holes in floors	8.2	5.7	3.6	2.5	2.2	—	1.6	.2	—	—	—	—
58 Open cracks or holes (interior)	48.6	34.1	23.7	14.1	13.1	—	4.5	2.2	1.7	1.5	—	.3
59 Broken plaster or peeling paint (interior)	33.6	24.1	15.8	8.8	8.2	.2	4.1	2.7	1.4	1.2	—	.2
60 No electrical wiring	—	—	—	—	—	—	—	—	—	—	—	—
61 Exposed wiring	8.6	5.8	3.9	2.3	2.0	—	1.5	.2	—	—	—	—
62 Rooms without electric outlets	14.1	11.5	7.0	5.3	4.9	—	4.0	1.9	1.0	1.0	—	1.0
<b>Selected Amenities<sup>1</sup></b>												
63 Porch, deck, balcony, or patio	778.7	542.7	439.3	201.3	186.1	4.6	39.2	26.7	13.5	12.2	.2	2.8
64 Not reported	1.1	.7	.3	.3	.3	—	—	—	—	—	—	—
65 Telephone available	806.9	555.3	442.3	205.4	188.3	4.6	43.6	30.8	15.1	13.3	.4	4.4
66 Usable fireplace	298.7	234.8	197.6	91.6	86.3	1.0	9.1	9.3	4.7	4.5	—	1.0
67 Separate dining room	368.4	278.5	235.7	106.4	97.5	1.9	15.0	12.7	6.9	6.3	—	2.1
68 With 2 or more living rooms or recreation rooms, etc.	340.4	278.2	240.6	109.1	102.6	2.2	12.5	11.6	6.3	5.9	.2	.8
69 Garage or carport included with home	696.0	496.0	408.4	184.5	169.4	4.2	28.6	24.2	13.0	11.5	.4	3.5
70 Garage or carport not included	198.9	115.7	74.3	42.2	38.3	1.2	20.6	10.3	4.3	3.7	—	1.7
71 Offstreet parking included	176.0	103.4	67.6	39.3	35.8	1.0	19.0	8.8	3.4	2.8	—	1.4
72 Offstreet parking not reported	6.2	3.2	1.5	.5	.5	—	.3	.7	.6	.6	—	.2
73 Garage or carport not reported	1.8	1.2	1.0	.8	.8	—	.2	—	—	—	—	—

Family households—Con.					Nonfamily households							
Female householder, no husband present					Living alone							
Total	With own children under 18			Hhldr of Hispanic origin	Total	Living alone				Other nonfamily		
	Total	Race of householder				Total	Male		Female		Male	Female
		White	Black				Total	65 and over	Total	65 and over		
94.6	55.9	43.8	6.1	15.7	283.8	91.2	16.6	128.6	63.6	38.0	26.1	1
94.6	55.9	43.8	6.1	15.7	283.8	91.2	16.6	128.6	63.6	38.0	26.1	2
88.0	50.9	39.6	5.5	14.8	258.4	84.5	16.3	119.6	60.3	33.7	20.6	3
5.6	4.6	3.7	.8	.8	20.8	4.6	.2	7.9	2.6	3.2	5.2	4
2.9	2.1	1.9	.2	.2	10.0	1.5	—	4.2	1.4	1.3	3.0	5
.9	.7	.8	—	.3	5.3	1.3	—	1.8	.6	1.3	.9	6
.6	.6	.6	—	—	1.4	—	—	.4	.2	.4	.6	7
.2	.2	.2	—	.2	.8	—	—	.4	.2	.2	.2	8
.2	.2	.2	—	.2	.6	—	—	.6	.4	—	.2	9
.8	.8	.2	.4	.2	2.5	1.9	.2	.4	.2	.4	.4	10
1.1	.4	.4	—	—	4.5	2.2	.2	1.1	.7	1.1	.2	11
94.6	55.9	43.8	6.1	15.7	283.8	91.2	16.6	128.6	63.6	38.0	26.1	12
85.6	49.6	39.1	5.6	13.3	262.8	84.8	15.5	119.9	59.4	35.7	22.4	13
8.7	6.1	4.4	.6	2.2	18.3	5.1	1.1	7.7	3.6	1.8	3.7	14
3.0	2.3	1.9	—	.9	8.0	2.4	.6	3.0	2.1	.3	2.2	15
3.4	2.3	1.4	.4	.7	6.3	1.5	.4	3.2	1.0	.7	.9	16
1.4	.7	.3	—	.3	1.2	.8	—	—	—	.2	.4	17
.2	.2	.2	—	—	.2	—	—	—	—	—	.2	18
.5	.5	.3	.2	.2	.5	—	—	.5	.2	—	—	19
.2	.2	.2	—	.2	2.1	.8	.2	1.0	.4	.6	—	20
.4	.2	.2	—	.2	2.7	1.3	—	.9	.6	.4	—	21
89.9	53.5	41.8	6.1	15.3	272.5	87.9	15.8	122.5	59.0	37.4	24.6	22
87.7	51.9	40.3	6.1	15.0	265.6	86.4	15.8	119.4	56.8	35.3	24.5	23
2.2	1.7	1.3	—	.3	6.9	1.5	.2	3.1	2.2	2.1	.2	24
.9	.4	.4	—	—	2.1	.2	—	1.5	1.5	.4	.2	25
1.1	1.1	1.0	—	.2	3.4	.5	.2	1.2	.7	1.7	—	26
.2	.2	—	—	.2	.8	.8	—	.2	—	—	—	27
.2	.2	—	—	.2	.6	.4	—	.2	—	—	—	28
4.8	2.3	2.0	—	.4	11.3	3.3	.8	6.1	4.6	.6	1.4	29
4.8	2.3	2.0	—	.4	11.1	3.3	.8	6.1	4.6	.4	1.4	30
—	—	—	—	—	.2	—	—	—	—	.2	—	31
—	—	—	—	—	.2	—	—	—	—	.2	—	32
—	—	—	—	—	—	—	—	—	—	—	—	33
—	—	—	—	—	—	—	—	—	—	—	—	34
—	—	—	—	—	—	—	—	—	—	—	—	35
—	—	—	—	—	—	—	—	—	—	—	—	36
—	—	—	—	—	—	—	—	—	—	—	—	37
79.6	45.9	36.6	5.0	13.4	243.9	77.0	16.2	118.1	62.3	28.9	19.9	38
72.1	41.1	32.5	5.0	11.8	237.2	74.2	16.0	115.4	61.7	28.3	19.2	39
7.2	4.8	4.1	—	1.6	6.2	2.2	.2	2.7	.6	.6	.7	40
3.8	2.8	2.8	—	.5	3.0	.7	—	1.8	.6	—	.5	41
.6	.2	.2	—	—	—	—	—	—	—	—	—	42
.5	.5	.5	—	.2	1.1	.2	—	.8	.6	—	.2	43
.2	.2	.2	—	—	.2	.2	—	—	—	—	—	44
1.0	.6	.6	—	—	.3	—	—	—	—	—	—	45
.5	.5	.5	—	.2	.4	.2	—	.2	—	—	.3	46
1.0	.8	.8	—	.2	1.0	.2	—	.8	—	—	—	47
4.4	2.9	2.2	—	1.4	3.2	1.5	.2	.9	—	.6	.2	48
.2	.2	.2	—	—	.5	.5	—	—	—	.2	—	49
2.0	1.2	.9	—	1.1	.8	.3	—	.2	—	.2	.2	50
.4	.4	.4	—	—	—	—	—	—	—	—	—	51
1.5	.8	.6	—	.2	1.7	.8	.2	.5	—	.4	—	52
.3	.3	.2	—	.2	.2	—	—	.2	—	—	—	53
—	—	—	—	—	—	—	—	—	—	—	—	54
.4	—	—	—	—	.5	.5	—	—	—	—	—	55
3.0	3.0	2.8	—	2.5	3.0	1.5	—	1.3	.3	—	.2	56
1.9	1.5	1.2	—	.5	2.5	2.0	—	.4	—	—	.2	57
8.2	6.3	4.3	.7	2.2	14.5	4.5	—	5.1	1.4	2.8	2.0	58
5.9	4.3	2.9	1.2	1.5	9.4	4.8	.2	2.3	.4	1.9	.3	59
—	—	—	—	—	—	—	—	—	—	—	—	60
1.7	.8	.5	—	.5	2.8	.9	.4	.6	.2	.5	.8	61
2.6	1.8	1.5	.2	.9	2.6	.2	—	1.8	.3	.4	.2	62
76.7	44.1	35.6	4.5	10.5	236.1	68.8	13.5	114.3	56.4	32.1	22.9	63
.4	—	—	—	—	.4	.2	—	.2	—	—	—	64
82.2	47.1	38.7	4.2	13.1	253.6	78.3	15.6	121.2	62.2	32.4	23.7	65
27.7	14.3	11.6	1.8	1.5	64.1	22.5	2.5	25.4	13.1	8.8	7.5	66
30.1	16.5	13.2	1.7	3.6	89.8	24.7	4.2	44.4	20.6	11.8	9.0	67
26.1	12.4	9.8	1.0	2.1	62.2	19.5	4.5	31.6	19.1	6.1	5.0	68
63.4	33.9	26.6	2.9	6.0	200.0	59.2	10.9	98.6	49.8	25.3	16.7	69
31.0	21.8	14.8	3.2	9.7	83.2	31.6	5.8	29.4	13.4	12.7	9.3	70
27.0	18.8	13.2	2.8	7.8	72.6	28.5	5.3	25.1	10.3	11.6	7.4	71
1.1	.4	.4	—	.4	2.9	1.4	—	1.0	.3	.3	.2	72
.2	.2	.2	—	—	.6	.2	—	.4	.4	—	—	73

Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin	
		White	Black			White		Black				
<b>Overall Opinion of Structure</b>												
1 1 (worst) .....	3.6	2.9	1.4	1.2	1.0	-	.8	.2	-	-	-	-
2 2 .....	4.9	3.4	2.1	1.9	1.9	-	.4	.2	-	-	-	-
3 3 .....	7.3	4.0	2.2	1.6	1.5	-	.8	.2	.2	.2	-	-
4 4 .....	9.2	5.4	3.1	1.5	1.3	-	.2	1.0	.2	.2	-	-
5 5 .....	51.7	33.2	23.5	14.0	12.8	.4	6.0	2.2	.5	.5	-	.3
6 6 .....	44.9	28.2	20.9	11.8	11.4	-	1.9	2.7	1.2	1.1	.2	-
7 7 .....	101.1	68.0	52.7	31.8	28.4	1.0	6.2	4.7	3.4	2.9	-	1.5
8 8 .....	231.6	154.9	119.0	62.2	58.3	1.9	11.6	11.5	6.4	5.4	-	2.5
9 9 .....	160.5	114.5	84.4	42.1	38.5	1.0	8.1	3.6	2.7	2.2	.2	.4
10 10 (best) .....	278.0	197.5	163.8	59.3	55.3	1.1	13.4	6.1	2.7	2.7	-	.4
11 Not reported .....	3.8	.9	.7	.2	.2	-	.2	-	-	-	-	-
<b>Neighborhood Conditions</b>												
12 With neighborhood .....	891.7	610.7	481.7	226.1	207.3	5.4	49.0	34.5	17.3	15.1	.4	5.2
13 No problems .....	504.0	334.1	259.3	115.8	106.8	2.5	26.6	18.7	8.2	6.5	.2	2.7
14 With problems <sup>1</sup> .....	375.8	269.3	206.1	109.3	99.5	2.9	22.0	15.3	9.0	8.7	.2	2.4
15 Crime .....	122.5	83.1	57.6	35.7	31.3	1.3	7.1	7.9	5.2	5.0	-	1.9
16 Noise .....	65.5	44.3	30.4	13.6	12.1	.2	3.6	4.0	1.5	1.5	-	.3
17 Traffic .....	62.5	47.0	38.0	19.5	18.8	.2	3.3	2.7	1.4	1.4	-	.2
18 Litter or housing deterioration .....	71.1	50.0	38.7	19.2	16.8	.8	4.2	1.9	1.5	1.5	-	.6
19 Poor city or county services .....	17.8	15.3	11.8	6.1	5.8	.2	1.5	1.4	.6	.6	-	-
20 Undesirable commercial, institutional, industrial .....	13.3	8.6	6.1	1.7	1.2	-	.3	.4	.2	.2	-	-
21 People .....	141.3	98.3	69.8	37.5	32.6	1.7	7.6	5.0	3.5	3.3	.2	1.7
22 Other .....	83.1	62.1	49.6	24.8	23.1	.2	4.7	3.2	2.3	2.1	.2	-
23 Type of problem not reported .....	5.0	2.6	1.7	.4	.4	-	.2	-	-	-	-	-
24 Presence of problems not reported .....	11.9	7.3	6.2	1.0	1.0	-	.4	.5	-	-	-	-
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst) .....	11.6	7.5	4.0	2.0	2.0	-	.8	.5	.5	.3	.2	.3
26 2 .....	12.1	7.7	4.8	3.6	3.3	-	-	.7	.7	.7	-	.2
27 3 .....	19.3	9.9	6.3	3.2	2.5	.2	.6	1.2	.8	.8	-	.8
28 4 .....	25.1	17.8	13.2	7.3	6.0	.2	3.3	1.5	.5	.5	-	.2
29 5 .....	70.7	46.9	35.0	19.2	17.7	.8	6.1	1.9	.2	.2	-	-
30 6 .....	54.9	32.9	25.7	12.1	11.1	-	2.6	1.7	1.1	1.1	-	.4
31 7 .....	102.0	68.1	51.5	26.1	23.1	1.0	5.1	5.0	2.6	2.4	-	.4
32 8 .....	216.7	142.7	112.1	57.5	52.3	2.0	8.9	10.7	5.7	4.7	-	1.3
33 9 .....	133.6	97.9	80.8	39.2	36.6	.2	5.8	3.8	2.0	1.8	.2	.4
34 10 (best) .....	245.8	179.3	148.4	55.8	52.4	1.1	15.9	7.6	3.0	2.4	-	1.2
35 No neighborhood .....	.5	.5	.5	.3	.3	-	-	-	-	-	-	-
36 Not reported .....	4.5	1.7	1.5	1.1	.9	-	.3	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households									
Female householder, no husband present					Living alone							Other nonfamily		
Total	With own children under 18				Total	Living alone				Other nonfamily				
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female			
		White	Black			Total	65 and over	Total	65 and over					
1.2	.8	.5	—	.5	1.0	1.0	—	—	—	—	—	1		
1.2	.8	.8	—	.2	1.6	1.0	—	.2	—	.4	—	2		
1.6	1.6	.8	.2	1.1	3.3	.7	—	2.0	.2	1.1	.4	3		
1.4	1.2	.9	.2	.5	3.8	2.3	.9	.2	.2	1.2	.4	4		
7.5	5.8	4.2	.5	2.0	18.5	7.0	1.5	7.2	1.8	3.5	.8	5		
4.5	3.2	2.9	.4	1.2	16.7	6.2	.2	4.0	1.3	3.6	.8	6		
10.6	6.4	5.2	.8	.8	33.0	12.9	1.5	10.4	2.9	5.7	2.9	7		
24.4	13.9	10.9	1.4	4.5	76.7	24.7	3.5	33.3	15.5	11.6	4.1	8		
16.4	10.8	8.2	1.8	2.5	48.0	15.0	3.1	22.6	12.8	4.6	3.9	9		
25.6	11.3	9.3	.8	2.4	80.4	20.2	5.9	48.1	27.3	5.4	6.7	10		
.2	—	—	—	—	2.9	.2	.2	1.7	1.6	.9	—	11		
94.5	55.9	43.6	6.1	15.7	281.0	90.5	16.2	127.5	62.9	37.1	25.9	12		
48.1	24.8	18.5	2.6	8.3	169.9	53.7	11.7	61.1	46.9	20.7	14.3	13		
47.8	30.9	25.0	3.5	7.4	106.5	35.7	3.5	42.9	13.3	16.4	11.6	14		
17.6	11.2	8.4	1.3	3.1	39.4	11.5	1.4	13.9	2.0	8.3	5.7	15		
10.0	6.2	5.3	.3	2.0	21.2	7.6	.2	7.3	2.7	4.0	2.3	16		
6.3	4.1	3.6	.2	1.1	15.5	4.9	.2	6.7	2.0	2.3	1.5	17		
9.3	5.6	4.7	.7	1.5	21.2	6.5	1.3	9.2	3.1	3.1	2.3	18		
2.4	1.6	1.2	.4	.6	2.6	1.0	—	.8	.4	.6	.2	19		
2.2	1.6	1.6	—	.2	4.7	2.0	.4	1.7	1.1	.9	.2	20		
23.6	15.5	12.3	1.7	3.5	43.0	15.5	1.0	16.7	5.5	5.7	5.1	21		
9.3	6.8	5.4	1.3	.8	21.1	5.8	.8	9.5	2.1	3.5	2.3	22		
1.0	.6	.3	.2	—	2.4	.7	—	1.0	.7	.4	.4	23		
.8	.2	.2	—	—	4.6	1.1	1.1	3.5	2.6	—	—	24		
3.1	2.7	1.3	.6	.9	4.1	2.6	.5	.5	.2	.8	.2	25		
2.2	1.2	.5	.2	.3	4.4	2.2	—	.9	.5	.4	1.0	26		
2.4	1.6	.8	.7	.7	9.4	3.8	.4	3.4	1.3	1.2	1.0	27		
3.2	2.4	1.9	.5	.5	7.3	2.6	—	2.7	—	1.5	.6	28		
10.0	6.4	5.8	1.2	2.0	23.7	8.1	1.5	10.3	3.3	3.0	2.3	29		
5.5	3.8	2.8	1.0	.4	22.0	8.0	.8	6.6	2.0	4.9	2.6	30		
11.5	7.9	5.8	1.3	1.9	33.9	13.9	1.0	13.1	5.2	5.0	1.8	31		
19.9	10.6	9.1	1.5	4.0	74.0	27.5	5.1	31.6	15.7	9.2	5.7	32		
13.3	7.2	5.4	1.0	1.9	35.7	9.0	2.0	17.1	8.9	5.3	4.3	33		
23.3	11.8	10.4	.6	3.1	66.5	12.9	4.9	41.4	25.7	5.7	6.5	34		
.2	—	—	—	—	—	—	—	—	—	—	—	35		
.2	—	—	—	—	2.8	.6	.4	1.1	.7	.9	.2	36		

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Mod-erate								
<b>Total</b> .....	896.7	580.0	316.7	82.5	88.1	11.2	25.0	31.0	130.5	178.8	246.1	98.6	330.3	111.3	455.2
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	27.65	21.64	38.66	13.29	27.27	29.59	43.00	33.30	30.24	19.17	29.61	32.01	35.21	29.90	21.61
Neighborhood crime.....	32.56	27.86	41.15	13.52	25.41	52.63	43.25	34.71	36.67	21.24	29.95	37.68	43.79	32.38	24.45
Any condition(s) .....	45.24	39.36	55.99	22.74	39.39	55.77	59.30	48.03	48.11	33.57	44.02	51.14	56.37	47.13	36.70
Both conditions present.....	14.97	10.14	23.81	4.06	13.29	26.45	26.95	19.98	18.80	6.84	15.54	18.55	22.63	15.13	9.37
No conditions present .....	54.10	59.95	43.39	75.92	60.21	44.23	40.70	49.79	51.89	65.62	55.15	48.62	43.06	52.67	62.46
Not reported .....	.66	.69	.82	1.33	.40	-	-	2.18	-	.81	.83	.23	.57	.20	.84
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	14.22	11.79	18.67	5.79	14.29	16.57	17.63	12.74	15.34	6.38	13.49	13.38	17.18	14.05	12.12
Neighborhood crime.....	23.36	19.84	29.79	9.24	13.83	44.13	33.58	23.67	26.00	11.89	21.36	27.34	32.60	21.85	17.02
Unsatisfactory neighborhood shopping .....	6.00	5.16	7.55	10.09	9.09	14.71	8.98	4.37	8.84	5.79	7.60	6.33	6.36	2.07	6.71
Unsatisfactory public elementary school .....	3.65	3.35	4.20	1.07	2.98	4.86	2.50	3.78	4.42	-	2.86	5.06	4.11	4.42	3.13
Unsatisfactory public transportation .....	6.30	5.21	8.30	2.56	2.93	7.95	11.54	10.87	7.05	3.48	6.11	7.54	8.98	4.29	4.84
Any condition(s) .....	39.31	34.54	48.04	25.60	30.89	57.75	52.78	37.49	42.68	22.95	38.59	41.91	47.78	37.68	33.57
Two or more conditions.....	11.64	9.17	16.16	2.89	6.78	23.89	20.58	15.01	15.08	4.17	9.88	13.42	17.18	7.48	6.64
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	6.54	4.91	9.54	1.81	8.22	6.47	11.29	5.78	8.14	1.82	6.21	6.84	8.52	6.53	5.11
Neighborhood crime.....	10.49	6.60	17.61	1.34	8.20	35.65	20.37	9.78	14.71	2.65	11.69	15.12	16.62	9.93	6.18
Unsatisfactory public elementary school .....	1.67	1.30	2.34	.27	1.18	3.42	-	1.14	2.71	-	1.38	2.95	2.69	1.56	.86
Any condition(s) .....	14.13	9.45	22.71	3.15	10.33	37.11	24.85	13.69	17.91	3.53	15.18	17.85	20.20	15.11	9.50
Two or more conditions.....	4.18	3.20	5.97	.27	8.09	8.47	6.82	3.02	6.73	.94	3.86	5.41	6.74	2.91	2.64
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic .....	.78	.78	.79	1.33	.40	-	2.17	2.18	.42	.81	.92	.62	.69	.20	1.00
Neighborhood crime.....	1.33	1.21	1.54	1.33	2.00	-	.70	7.70	.42	1.11	2.39	1.72	1.32	.96	1.42
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16 .....	35.30	34.41	36.94	38.44	18.22	46.59	45.22	42.50	59.76	1.85	36.67	47.12	34.85	44.13	33.47
Satisfactory public elementary school.....	26.17	26.61	25.38	30.10	10.46	34.64	39.81	31.72	46.85	1.76	25.57	32.06	24.47	34.39	25.40
Unsatisfactory public elementary school .....	3.65	3.35	4.20	1.07	2.98	4.86	2.50	3.78	4.42	-	2.86	5.06	4.11	4.42	3.13
So bothered they want to move .....	1.67	1.30	2.34	.27	1.18	3.42	-	1.14	2.71	-	1.38	2.95	2.69	1.56	.96
Not reported .....	.19	.17	.24	-	-	-	-	.71	.27	-	.07	.77	.12	.56	.16
Not reported or don't know .....	5.48	4.45	7.36	7.27	4.78	7.09	2.91	7.00	8.49	.10	6.54	9.98	6.27	5.32	4.94
Public elementary school less than 1 mile .....	24.81	24.55	25.27	21.89	11.76	34.18	37.29	29.82	41.99	1.52	23.89	34.68	24.93	33.26	22.65
Public elementary school 1 mile or more .....	8.32	8.18	8.58	13.90	4.41	7.27	5.63	7.53	14.51	.34	9.84	8.27	7.63	9.68	6.49
Not reported .....	2.17	1.67	3.08	2.65	2.05	5.13	2.30	5.15	3.25	-	3.23	4.17	2.28	1.19	2.32
Households without children aged 0-16 .....	64.70	65.59	63.06	61.56	81.78	53.41	54.78	57.50	40.24	98.15	63.03	52.88	65.15	55.87	66.53
Households with children aged 4-16 .....	29.39	29.51	29.18	29.54	15.66	41.08	43.07	35.57	51.19	1.53	28.60	40.74	28.95	36.94	27.87
Attend public school(K-12).....	24.38	24.07	24.94	25.05	12.06	32.32	40.99	31.80	44.97	1.43	24.05	35.28	23.95	31.17	23.03
Attend private school (K-12).....	2.35	3.20	.79	2.11	-	7.94	.90	.57	1.54	-	1.18	1.43	2.37	2.39	2.32
Attend ungraded school, preschool, etc .....	.65	.57	.79	1.06	1.80	-	.71	.71	.76	-	.87	.76	.17	.89	.93
Does not attend school .....	1.61	1.47	1.88	.79	1.79	1.96	1.37	.57	2.74	.10	1.95	2.64	1.82	2.49	1.17
Not reported .....	1.02	1.03	1.01	1.32	-	2.01	-	3.20	1.47	-	1.01	1.40	.99	.50	1.17
<b>Public Transportation as a Percent of Total</b>															
With public transportation .....	66.15	57.89	81.28	32.58	49.83	70.31	76.87	73.43	74.58	52.35	70.74	73.68	88.05	60.98	51.53
Household uses it at least weekly.....	8.52	4.15	16.52	1.86	7.82	20.36	27.92	22.89	21.78	3.88	11.78	24.85	18.14	3.95	4.11
Satisfactory public transportation .....	6.59	3.26	12.71	1.05	7.25	16.79	18.00	17.23	17.47	3.33	8.69	20.50	13.16	2.77	2.77
Unsatisfactory public transportation .....	1.88	.88	3.75	.54	.56	1.61	9.91	5.66	4.14	.53	2.92	4.12	2.91	.99	1.35
Not reported .....	.05	.04	.07	.26	-	1.96	-	-	.17	-	.18	.23	.07	.19	-
Household uses it less than weekly .....	18.78	17.29	21.49	8.65	18.45	25.24	22.69	20.86	20.18	14.69	17.10	22.22	26.35	13.67	14.53
Satisfactory public transportation .....	14.43	13.07	16.92	6.37	17.21	18.90	21.07	15.65	17.08	11.39	13.97	18.99	20.73	10.12	10.92
Unsatisfactory public transportation .....	4.13	4.00	4.37	2.02	1.24	6.34	1.63	5.21	2.76	2.95	3.04	3.23	5.56	3.00	3.37
Not reported .....	.21	.22	.20	.27	-	-	-	-	.33	.35	.09	-	.07	.55	.23
Household does not use .....	38.22	35.80	42.63	21.80	22.43	24.71	24.16	29.68	31.56	33.52	41.23	25.87	44.50	42.90	32.51
Not reported .....	.64	.64	.63	.27	1.13	-	2.10	-	1.07	.28	.62	.73	1.06	.46	.38
No public transportation .....	32.13	40.42	16.95	65.29	48.23	29.69	18.68	24.39	24.55	45.74	28.85	24.75	10.81	38.21	46.61
Not reported .....	1.72	1.69	1.77	2.13	1.94	-	4.44	2.18	.87	1.91	2.41	1.57	1.14	2.61	1.86
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping.....	92.77	93.40	91.80	87.80	88.51	85.29	88.85	93.45	89.86	92.56	91.09	91.20	92.61	96.85	91.88
Less than 1 mile .....	78.79	74.56	80.87	49.14	64.91	70.01	78.55	78.18	77.58	71.62	75.83	76.92	82.10	84.69	71.00
1 mile or more .....	15.65	18.57	10.30	37.86	23.60	13.70	8.41	14.56	11.66	20.63	15.01	14.06	10.08	12.00	20.58
Not reported .....	.33	.28	.44	.79	-	1.58	.89	.71	.62	.31	.25	.23	.43	.16	.31
Unsatisfactory neighborhood shopping .....	6.00	5.16	7.55	10.09	9.09	14.71	8.98	4.37	8.84	5.79	7.60	6.33	6.36	2.07	6.71
Not reported or don't know .....	1.23	1.44	.84	2.12	2.40	-	2.17	2.18	1.30	1.65	1.31	2.47	1.02	1.08	1.41

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 2-4. Neighborhood Quality—Owner Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Mod-erate								
<b>Total</b> .....	580.0	71.5	55.7	5.6	10.7	12.8	63.9	146.3	78.1	36.4	189.0	68.2	322.8
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	21.84	12.22	27.52	9.24	44.75	12.44	25.69	17.07	16.81	22.80	27.52	24.78	17.53
Neighborhood crime .....	27.86	12.23	26.86	45.26	37.42	25.99	35.49	19.73	14.56	27.79	38.82	27.13	21.60
Any condition(s) .....	39.36	21.32	40.86	48.40	63.23	32.25	48.02	31.00	26.83	40.62	50.33	40.90	32.62
Both conditions present .....	10.14	3.13	13.52	6.09	18.94	6.18	15.17	5.81	4.54	9.97	16.01	11.02	6.52
No conditions present .....	59.95	77.75	58.65	51.60	36.77	64.23	53.98	68.41	72.11	58.76	49.07	58.77	66.57
Not reported .....	.69	.92	.49	-	-	3.52	-	.60	1.06	.62	.60	.33	.81
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	11.79	5.43	12.18	6.09	20.96	2.79	14.24	6.88	7.05	11.02	14.74	14.51	9.49
Neighborhood crime .....	19.84	8.80	13.21	38.91	27.23	14.00	25.54	11.08	10.68	18.35	28.15	18.80	15.24
Unsatisfactory neighborhood shopping .....	5.16	10.08	6.38	11.00	9.18	5.16	4.86	5.27	9.30	1.44	5.31	.57	6.04
Unsatisfactory public elementary school .....	3.35	.62	-	-	-	2.96	3.47	-	1.28	1.37	3.61	4.14	3.03
Unsatisfactory public transportation .....	5.21	1.45	3.59	6.34	3.73	9.06	2.95	3.64	2.56	4.79	7.58	3.37	4.20
Any condition(s) .....	34.54	23.99	25.87	58.25	47.32	24.88	37.54	21.85	26.95	29.30	42.07	34.64	30.11
Two or more conditions .....	9.17	2.08	6.90	6.09	13.78	9.08	11.83	4.50	2.92	6.62	14.45	5.36	6.88
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	4.91	1.15	6.39	-	12.72	-	8.57	1.83	1.67	5.79	7.29	5.98	3.29
Neighborhood crime .....	6.60	.62	7.83	32.14	8.61	-	12.89	1.88	2.29	9.51	11.81	4.94	3.91
Unsatisfactory public elementary school .....	1.30	-	-	-	-	-	2.59	-	.49	-	2.03	.84	.98
Any condition(s) .....	9.45	1.77	8.98	32.14	17.59	-	17.17	2.55	3.47	11.63	14.78	9.28	6.36
Two or more conditions .....	3.20	-	5.24	-	3.74	-	6.60	1.15	.99	3.66	5.85	2.47	1.81
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.78	.92	.49	-	5.07	3.52	.59	.60	1.06	1.66	.69	.33	.93
Neighborhood crime .....	1.21	.92	2.45	-	1.63	13.44	.28	.60	3.90	3.81	1.00	.59	1.45
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	34.41	39.81	13.97	47.47	50.32	38.85	61.83	1.43	38.03	31.97	32.99	50.70	31.80
Satisfactory public elementary school .....	28.61	31.67	10.28	40.29	48.59	34.13	54.46	1.43	30.69	23.83	24.12	42.70	24.67
Unsatisfactory public elementary school .....	3.35	.62	-	-	-	2.96	3.47	-	1.28	1.37	3.61	4.14	3.03
So bothered they want to move .....	1.30	-	-	-	-	-	2.59	-	.49	-	2.03	.84	.98
Not reported .....	.17	-	-	-	-	-	-	-	-	-	-	.65	.17
Not reported or don't know .....	4.45	7.53	3.69	7.17	1.73	1.76	4.00	-	6.07	6.76	5.26	3.86	4.10
Public elementary school less than 1 mile .....	24.55	22.77	9.68	29.57	45.13	22.73	47.27	1.02	22.95	23.58	23.25	38.56	22.36
Public elementary school 1 mile or more .....	8.18	14.30	2.88	10.73	5.19	9.63	13.14	.41	12.74	5.75	7.71	11.17	7.83
Not reported .....	1.67	2.74	1.41	7.17	-	6.49	1.52	-	2.35	2.64	2.02	.96	1.61
Households without children aged 0-16 .....	65.59	60.19	86.03	52.53	49.68	61.15	38.07	98.57	61.97	68.03	67.01	49.30	68.20
Households with children aged 4-16 .....	29.51	31.35	11.50	36.34	46.96	35.42	56.41	1.03	32.67	30.31	28.38	43.80	27.15
Attend public school (K-12) .....	24.07	26.17	10.81	29.57	46.96	33.66	48.25	1.03	27.81	24.90	22.63	36.61	22.28
Attend private school (K-12) .....	3.20	2.43	-	13.12	2.10	-	2.82	-	2.65	2.82	3.47	3.58	2.95
Attend ungraded school, preschool, etc .....	.57	1.22	-	-	-	1.72	.97	-	.79	1.05	.11	1.20	.71
Does not attend school .....	1.47	.91	.69	-	-	-	3.13	-	1.57	2.16	1.65	2.68	1.10
Not reported .....	1.03	1.52	-	-	-	1.78	1.44	-	.84	.97	1.20	.55	1.03
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	57.89	26.84	47.29	61.25	73.81	57.95	64.89	47.89	46.22	62.81	64.54	52.27	43.48
Household uses it at least weekly .....	4.15	1.21	3.75	7.17	16.01	8.97	11.01	2.07	2.64	9.06	7.95	1.01	2.60
Satisfactory public transportation .....	3.28	.60	3.06	7.17	12.29	5.95	10.10	1.70	1.59	7.39	7.04	.69	1.58
Unsatisfactory public transportation .....	.86	.31	.69	-	3.73	3.02	.92	.37	.77	1.68	.91	-	1.01
Not reported .....	.04	.30	-	-	-	-	-	-	.28	-	-	.32	-
Household uses it less than weekly .....	17.29	6.08	20.02	20.13	33.39	15.50	21.77	14.72	10.64	22.20	27.92	11.68	12.26
Satisfactory public transportation .....	13.07	4.63	18.51	13.79	33.39	9.46	19.06	11.45	8.80	19.09	21.83	7.90	9.04
Unsatisfactory public transportation .....	4.00	1.14	1.51	6.34	-	6.04	2.03	3.27	1.56	3.11	5.97	2.88	3.08
Not reported .....	.22	.31	-	-	-	-	.68	-	.28	-	.12	.90	.14
Household does not use .....	35.80	19.24	22.13	33.95	19.51	33.48	31.01	31.09	31.92	30.54	47.49	39.09	28.27
Not reported .....	.84	.31	1.39	-	4.90	-	1.10	-	1.02	1.01	1.19	.48	.35
No public transportation .....	40.42	71.32	50.86	38.75	17.52	38.53	33.33	50.80	50.96	34.49	14.06	44.97	54.90
Not reported .....	1.69	1.85	1.85	-	8.67	3.52	1.78	1.31	2.82	2.69	1.40	2.76	1.63
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	93.40	88.10	90.68	89.00	85.75	91.32	93.03	92.96	88.58	92.96	93.80	97.67	92.27
Less than 1 mile .....	74.56	46.55	66.42	78.24	76.51	68.06	80.28	70.30	63.82	74.83	82.58	85.09	67.64
1 mile or more .....	18.57	40.93	24.26	10.77	7.15	23.25	12.12	22.28	24.49	18.04	10.89	12.59	24.33
Not reported .....	.28	.61	-	-	2.09	-	.63	-	.28	-	.33	-	.31
Unsatisfactory neighborhood shopping .....	5.18	10.08	6.38	11.00	9.18	5.16	4.86	5.27	9.30	1.44	5.31	.57	6.04
Not reported or don't know .....	1.44	1.83	2.94	-	5.07	3.52	2.12	1.77	2.12	5.59	.80	1.76	1.69

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 3-4. Neighborhood Quality—Renter Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>316.7</b>	<b>11.0</b>	<b>12.5</b>	<b>5.7</b>	<b>14.3</b>	<b>18.2</b>	<b>66.7</b>	<b>32.5</b>	<b>168.0</b>	<b>60.2</b>	<b>141.3</b>	<b>43.1</b>	<b>132.4</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	38.66	20.21	26.14	49.55	41.68	47.95	34.59	28.58	35.56	37.58	45.51	38.00	31.56
Neighborhood crime.....	41.15	21.88	18.94	59.86	47.63	40.83	37.79	28.04	37.10	43.66	50.43	40.64	31.40
Any condition(s).....	55.99	31.98	32.85	63.00	56.34	59.12	50.11	45.15	52.01	57.51	64.45	57.00	46.84
Both conditions present.....	23.81	10.10	12.23	48.41	32.96	29.67	22.28	11.47	20.65	23.73	31.48	21.64	16.32
No conditions present.....	43.39	64.02	67.15	37.00	43.66	39.64	49.89	53.06	47.27	42.49	35.02	43.00	52.45
Not reported.....	.62	4.00	-	-	-	1.24	-	1.79	.72	-	.53	-	.91
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	18.67	8.10	23.68	26.84	15.13	19.73	16.39	4.13	16.49	14.80	20.45	13.33	18.51
Neighborhood crime.....	29.79	12.10	16.58	49.25	38.36	30.81	26.45	15.56	26.33	32.77	38.54	26.99	21.36
Unsatisfactory neighborhood shopping.....	7.55	10.16	21.21	18.34	8.82	3.81	12.65	8.13	6.80	9.28	7.77	4.45	8.33
Unsatisfactory public elementary school.....	4.20	4.05	16.29	9.62	4.39	4.36	5.33	-	3.59	7.30	4.78	4.86	3.36
Unsatisfactory public transportation.....	8.30	9.78	-	9.53	17.41	12.15	10.97	2.76	7.76	9.20	10.85	5.74	6.40
Any condition(s).....	48.04	36.03	54.17	59.21	56.88	48.35	47.81	27.90	44.00	49.54	55.41	42.49	41.99
Two or more conditions.....	16.16	8.16	17.16	41.34	25.68	19.18	18.20	2.68	13.12	17.54	20.82	10.83	12.91
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	9.54	6.11	16.39	12.81	10.22	9.84	7.73	1.79	8.32	7.48	10.16	7.41	9.56
Neighborhood crime.....	17.61	6.05	9.87	39.10	29.21	16.65	16.46	6.15	16.06	18.51	23.05	17.83	11.72
Unsatisfactory public elementary school.....	2.34	2.00	6.43	6.77	-	1.95	2.82	-	1.79	4.74	3.57	2.70	.91
Any condition(s).....	22.71	12.10	16.39	41.99	30.30	23.30	18.63	7.94	20.63	21.61	27.44	24.35	17.14
Two or more conditions.....	5.97	2.05	9.87	12.81	9.13	5.13	6.85	-	5.20	6.46	7.93	3.60	4.65
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.79	4.00	-	-	-	1.24	.25	1.79	.85	-	.68	-	1.17
Neighborhood crime.....	1.54	4.00	-	-	-	3.66	.58	3.43	1.68	.57	1.73	1.56	1.34
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	36.94	29.55	37.20	45.73	41.40	45.07	57.68	3.75	36.47	56.29	37.34	33.72	37.55
Satisfactory public elementary school.....	25.38	19.88	11.26	29.09	33.22	30.02	39.55	3.22	23.20	37.06	24.95	21.22	27.19
Unsatisfactory public elementary school.....	4.20	4.05	16.29	9.62	4.39	4.36	5.33	-	3.59	7.30	4.78	4.86	3.36
So bothered they want to move.....	2.34	2.00	6.43	6.77	-	1.95	2.82	-	1.79	4.74	3.57	2.70	.91
Not reported.....	.24	-	-	-	-	1.21	.53	-	.11	1.24	.28	.41	.13
Not reported or don't know.....	7.36	5.62	9.65	7.01	3.79	10.68	12.80	.53	9.68	11.93	7.62	7.64	7.00
Public elementary school less than 1 mile.....	25.27	16.15	21.06	38.71	31.41	34.80	36.93	3.75	24.33	41.39	27.18	24.85	23.37
Public elementary school 1 mile or more.....	6.58	11.34	11.21	3.68	5.96	6.06	15.83	-	8.50	9.79	7.53	7.31	10.12
Not reported.....	3.08	2.05	4.93	3.14	4.03	4.20	4.92	-	3.64	5.10	2.63	1.56	4.06
Households without children aged 0-16.....	63.06	70.45	62.80	54.27	58.60	54.93	42.32	96.25	63.53	43.71	62.66	66.28	62.45
Households with children aged 4-16.....	29.18	17.77	34.21	45.73	40.15	35.67	46.19	3.75	26.70	47.04	29.72	26.09	29.60
Attend public school (K-12).....	24.94	17.77	17.64	35.01	36.51	30.49	41.82	3.22	22.30	41.56	25.71	22.56	24.90
Attend private school (K-12).....	.79	-	-	2.85	-	.98	.51	-	.50	.59	.89	.51	.77
Attend ungraded school, preschool, etc.....	1.79	-	9.86	-	1.24	-	.56	-	.91	.59	.25	.41	1.48
Does not attend school.....	1.88	-	6.71	3.88	2.39	.98	2.37	.53	2.13	2.94	2.29	2.19	1.34
Not reported.....	1.01	-	-	3.98	-	4.20	1.50	-	1.09	1.66	.70	.41	1.53
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	81.28	69.85	61.14	79.19	79.18	84.30	83.88	72.45	82.14	80.24	92.74	74.77	71.17
Household uses it at least weekly.....	16.52	6.05	25.99	33.29	36.86	32.68	32.09	11.88	16.04	34.40	27.10	8.62	7.80
Satisfactory public transportation.....	12.71	4.00	25.99	26.22	22.30	25.16	24.53	10.64	11.98	28.43	21.35	6.05	5.65
Unsatisfactory public transportation.....	3.75	2.05	-	3.19	14.56	7.52	7.23	1.24	3.92	5.60	5.59	2.57	2.16
Not reported.....	.07	-	-	3.88	-	-	.33	-	.13	.37	.16	-	-
Household uses it less than weekly.....	21.49	25.39	11.40	30.26	14.67	24.62	18.66	14.57	20.10	22.23	24.26	16.82	20.06
Satisfactory public transportation.....	16.92	17.66	11.40	23.91	11.82	19.99	15.19	11.11	16.37	18.94	19.25	13.65	15.51
Unsatisfactory public transportation.....	4.37	7.72	-	6.34	2.85	4.63	3.47	1.52	3.73	3.30	5.00	3.18	4.07
Not reported.....	.20	-	-	-	-	-	-	1.94	-	-	-	-	.48
Household does not use.....	42.63	38.42	23.75	15.65	27.65	27.00	32.08	44.43	45.56	23.05	40.49	48.92	42.87
Not reported.....	.63	-	-	-	-	-	1.04	1.56	.44	.58	.89	.41	.44
No public transportation.....	16.95	26.15	36.51	20.81	19.56	14.45	16.14	22.97	15.64	18.86	6.45	22.34	26.40
Not reported.....	1.77	4.00	2.36	-	1.27	1.24	-	4.59	2.22	.90	.81	2.88	2.43
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	91.60	85.84	78.79	81.66	91.18	94.85	86.82	90.77	92.26	90.14	91.03	85.55	80.83
Less than 1 mile.....	80.87	65.96	58.14	61.94	80.08	85.29	74.99	77.56	81.42	78.12	81.47	84.07	79.18
1 mile or more.....	10.30	17.88	20.65	16.58	11.10	8.45	11.22	13.21	10.61	11.65	8.99	11.07	11.45
Not reported.....	.44	2.00	-	3.14	-	1.21	.61	-	.24	.37	.57	.41	.31
Unsatisfactory neighborhood shopping.....	7.55	10.18	21.21	18.34	8.82	3.81	12.65	8.13	6.80	9.28	7.77	4.45	8.33
Not reported or don't know.....	.84	4.00	-	-	-	1.24	.52	1.10	.93	.58	1.20	-	.74

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 4-4. Neighborhood Quality—Occupied Units with Black Householder

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	31.0	12.8	18.2	2.4	1.1	.2	1.5	2.8	12.2	7.2	16.9	3.0	11.0
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	33.30	12.44	47.95	8.92	-	-	75.07	25.60	39.40	40.56	37.24	46.12	23.69
Neighborhood crime.....	34.71	25.99	40.83	8.92	-	-	87.81	48.24	30.45	35.92	41.70	30.41	25.13
Any condition(s).....	46.03	32.25	59.12	8.92	-	-	100.00	57.67	48.96	56.80	53.97	57.82	36.18
Both conditions present.....	19.98	6.18	29.67	8.92	-	-	82.88	14.17	20.89	19.68	24.97	18.70	12.64
No conditions present.....	49.79	64.23	39.84	91.08	100.00	100.00	-	42.33	49.18	40.09	46.03	42.18	57.67
Not reported.....	2.18	3.52	1.24	-	-	-	-	-	1.86	3.11	-	-	6.15
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	12.74	2.79	19.73	-	-	-	24.45	-	12.36	9.78	11.49	5.79	16.59
Neighborhood crime.....	23.87	14.00	30.81	8.92	-	-	48.29	33.57	22.78	28.42	28.39	24.56	16.73
Unsatisfactory neighborhood shopping.....	4.37	5.16	3.81	18.04	-	-	-	5.55	7.99	7.13	1.99	5.85	7.62
Unsatisfactory public elementary school.....	3.78	2.98	4.36	-	-	-	-	-	1.81	7.94	3.65	5.79	3.44
Unsatisfactory public transportation.....	10.87	9.08	12.15	9.12	-	-	26.78	-	11.59	7.40	11.90	5.79	10.70
Any condition(s).....	37.49	24.88	46.35	38.06	-	-	75.07	33.57	43.10	41.40	39.89	24.56	37.38
Two or more conditions.....	15.01	9.08	19.18	-	-	-	24.45	5.55	8.35	14.40	14.93	11.64	16.07
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	5.78	-	9.84	-	-	-	12.26	-	5.13	4.95	3.41	-	11.02
Neighborhood crime.....	9.78	-	16.65	-	-	-	48.29	13.39	12.67	12.62	12.64	11.70	4.85
Unsatisfactory public elementary school.....	1.14	-	1.95	-	-	-	-	-	-	4.90	1.05	5.79	-
Any condition(s).....	13.69	-	23.30	-	-	-	48.29	13.39	14.53	17.52	13.69	17.49	12.64
Two or more conditions.....	3.02	-	5.13	-	-	-	12.26	-	3.27	4.95	3.41	-	3.24
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	2.18	3.52	1.24	-	-	-	-	-	1.86	3.11	-	-	6.15
Neighborhood crime.....	7.70	13.44	3.66	-	100.00	-	-	-	12.63	18.20	2.35	-	18.05
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	42.50	38.85	45.07	36.50	-	100.00	48.84	11.89	43.65	53.11	43.28	46.55	40.19
Satisfactory public elementary school.....	31.72	34.13	30.02	36.50	-	100.00	48.84	11.89	29.14	34.94	35.26	20.45	29.37
Unsatisfactory public elementary school.....	3.78	2.98	4.36	-	-	-	-	-	1.81	7.94	3.65	5.79	3.44
So bothered they want to move.....	1.14	-	1.95	-	-	-	-	-	-	4.90	1.05	5.79	-
Not reported.....	.71	-	1.21	-	-	-	-	-	-	3.04	1.30	-	-
Not reported or don't know.....	7.00	1.78	10.68	-	-	-	-	-	12.71	10.23	4.36	20.32	7.38
Public elementary school less than 1 mile.....	29.82	22.73	34.80	9.12	-	100.00	48.84	11.89	30.88	48.18	33.19	40.70	21.62
Public elementary school 1 mile or more.....	7.53	9.63	6.06	27.37	-	-	-	-	7.95	4.93	6.51	5.85	9.57
Not reported.....	5.15	6.49	4.20	-	-	-	-	-	4.82	-	3.57	-	9.00
Households without children aged 0-16.....	57.50	61.15	54.93	63.50	100.00	-	51.16	88.11	58.35	48.89	56.72	53.45	59.81
Households with children aged 4-16.....	35.57	35.42	35.67	27.37	-	100.00	36.58	11.89	35.43	40.47	36.83	24.89	38.57
Attend public school (K-12).....	31.80	33.68	30.49	27.37	-	100.00	36.58	11.89	27.68	38.01	35.78	19.03	29.19
Attend private school (K-12).....	.57	-	.98	-	-	-	-	-	-	2.46	1.05	-	-
Attend ungraded school, preschool, etc.....	.71	1.72	-	9.12	-	-	-	-	-	-	-	-	2.00
Does not attend school.....	.57	-	.98	-	-	-	-	-	1.46	-	1.05	-	-
Not reported.....	3.20	1.78	4.20	-	-	-	-	-	6.29	2.46	-	5.85	7.38
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	73.43	57.95	64.30	36.54	-	100.00	100.00	51.19	73.47	68.33	88.48	64.92	52.61
Household uses it at least weekly.....	22.89	8.97	32.68	-	-	-	63.42	13.39	28.76	39.41	34.76	13.08	7.34
Satisfactory public transportation.....	17.23	5.95	25.16	-	-	-	36.64	13.39	18.98	34.44	25.46	13.08	5.72
Unsatisfactory public transportation.....	5.66	3.02	7.52	-	-	-	28.78	-	8.78	4.97	9.31	-	1.62
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	20.86	15.50	24.62	18.25	-	100.00	24.38	5.84	24.33	15.44	19.99	30.11	19.63
Satisfactory public transportation.....	15.85	9.46	19.99	9.12	-	100.00	24.38	5.84	22.52	13.01	17.40	24.33	10.55
Unsatisfactory public transportation.....	5.21	6.04	4.63	9.12	-	-	-	-	1.81	2.44	2.59	5.79	9.08
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household does not use.....	29.68	33.48	27.00	18.29	-	-	12.19	31.97	20.38	13.48	33.72	21.73	25.65
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
No public transportation.....	24.39	38.53	14.45	63.46	100.00	-	-	48.81	24.68	28.56	11.52	35.08	41.25
Not reported.....	2.18	3.52	1.24	-	-	-	-	-	1.86	3.11	-	-	6.15
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	93.45	91.32	94.95	81.96	100.00	100.00	100.00	94.45	90.15	89.76	98.01	94.15	86.24
Less than 1 mile.....	78.18	68.06	85.29	45.87	-	100.00	100.00	68.03	70.66	63.32	84.87	73.80	68.95
1 mile or more.....	14.58	23.25	8.45	38.08	100.00	-	-	28.42	19.50	23.40	11.74	20.35	17.29
Not reported.....	.71	-	1.21	-	-	-	-	-	-	3.04	1.30	-	-
Unsatisfactory neighborhood shopping.....	4.37	5.16	3.81	18.04	-	-	-	5.55	7.99	7.13	1.99	5.85	7.62
Not reported or don't know.....	2.18	3.52	1.24	-	-	-	-	-	1.86	3.11	-	-	6.15

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	<b>130.5</b>	<b>63.9</b>	<b>66.7</b>	<b>7.6</b>	<b>8.9</b>	<b>4.7</b>	<b>10.0</b>	<b>7.7</b>	<b>47.2</b>	<b>34.4</b>	<b>68.9</b>	<b>14.2</b>	<b>47.4</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	30.24	25.69	34.59	17.37	24.26	27.58	29.07	24.69	29.83	26.96	37.21	24.26	21.90
Neighborhood crime .....	36.67	35.49	37.79	23.31	29.97	57.69	27.91	52.56	28.62	34.96	44.19	21.38	30.30
Any condition(s) .....	48.11	46.02	50.11	29.03	45.17	65.23	44.23	63.06	40.29	47.13	54.58	32.85	43.26
Both conditions present .....	18.60	15.17	22.26	11.85	9.06	20.03	12.76	14.17	17.96	14.81	28.82	12.79	8.94
No conditions present .....	51.89	53.96	49.89	70.97	54.83	34.77	55.77	36.92	59.71	52.87	45.42	67.15	56.74
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	15.34	14.24	16.39	5.86	13.20	13.23	13.90	6.86	14.77	9.93	18.65	12.41	11.40
Neighborhood crime .....	26.00	25.54	26.45	17.45	18.22	44.82	22.64	25.71	19.21	22.90	31.79	17.39	20.18
Unsatisfactory neighborhood shopping .....	8.84	4.86	12.65	11.56	4.13	11.10	5.17	4.07	7.47	8.40	9.45	3.57	9.53
Unsatisfactory public elementary school .....	4.42	3.47	5.33	-	9.06	11.67	4.07	-	2.75	6.12	5.41	7.26	2.14
Unsatisfactory public transportation .....	7.05	2.95	10.97	5.94	-	7.70	14.57	4.72	9.56	4.97	8.54	4.02	5.78
Any condition(s) .....	42.68	37.54	47.61	26.14	26.49	53.03	43.22	36.52	36.52	37.04	47.90	33.44	37.87
Two or more conditions .....	15.08	11.83	18.20	14.70	9.06	19.67	17.12	4.84	13.13	12.31	19.72	11.21	9.52
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	8.14	8.57	7.73	2.97	13.20	8.53	5.33	4.84	6.87	5.78	10.68	7.99	4.50
Neighborhood crime .....	14.71	12.88	16.48	8.76	18.22	44.82	12.66	9.73	10.36	13.86	20.77	7.10	8.17
Unsatisfactory public elementary school .....	2.71	2.59	2.82	-	9.06	8.21	-	-	.76	4.43	4.08	1.16	1.16
Any condition(s) .....	17.91	17.17	18.63	8.76	22.36	48.32	17.99	9.73	13.98	16.90	23.66	13.40	10.92
Two or more conditions .....	6.73	6.60	8.85	2.97	9.06	8.53	-	4.84	4.01	4.21	10.13	2.85	2.94
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.42	.59	.25	-	-	-	3.78	-	-	1.10	-	-	1.15
Neighborhood crime .....	.42	.28	.56	-	-	-	-	-	.80	-	.80	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	59.78	61.83	57.68	59.83	72.78	66.58	49.84	12.23	56.76	70.03	56.39	66.09	62.76
Satisfactory public elementary school .....	46.85	54.46	39.55	57.00	55.09	42.57	40.36	12.23	40.38	52.27	41.57	53.75	52.46
Unsatisfactory public elementary school .....	4.42	3.47	5.33	-	9.06	11.67	4.07	-	2.75	6.12	5.41	7.26	2.14
So bothered they want to move .....	2.71	2.59	2.82	-	9.06	8.21	-	-	.76	4.43	4.08	1.16	1.16
Not reported .....	.27	.53	-	-	-	-	-	-	.38	1.03	.26	1.25	-
Not reported or don't know .....	8.49	4.00	12.80	2.83	8.64	12.34	5.41	-	13.63	11.64	9.42	5.08	8.17
Public elementary school less than 1 mile .....	41.99	47.27	36.93	34.46	48.66	49.54	37.61	12.23	35.79	47.30	41.67	45.92	41.28
Public elementary school 1 mile or more .....	14.51	13.14	15.83	19.50	19.62	4.70	6.47	-	16.83	15.62	10.73	18.58	18.80
Not reported .....	3.25	1.52	4.92	5.86	4.51	12.34	5.75	-	4.14	7.11	4.00	1.59	2.67
Households without children aged 0-16 .....	40.24	38.07	42.32	40.17	27.22	33.42	50.16	87.77	43.24	29.97	43.61	33.91	37.24
Households with children aged 4-16 .....	51.19	56.41	46.19	57.00	64.14	58.05	49.84	7.51	44.63	60.93	46.43	60.66	55.26
Attend public school (K-12) .....	44.97	48.25	41.82	51.28	64.14	49.75	48.20	7.51	40.20	56.23	41.86	45.98	49.17
Attend private school (K-12) .....	1.54	2.62	.51	2.83	-	3.46	-	-	.83	.52	1.54	5.48	.37
Attend ungraded school, preschool, etc .....	.76	.97	.56	2.89	-	-	-	-	1.27	-	-	1.55	1.63
Does not attend school .....	2.74	3.13	2.37	-	-	-	1.64	-	2.29	1.42	.81	7.98	4.08
Not reported .....	1.47	1.44	1.50	-	-	4.83	-	-	.83	2.75	2.22	-	.82
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	74.58	64.89	83.86	48.32	58.66	84.41	71.43	75.67	81.23	74.44	87.79	69.14	57.01
Household uses it at least weekly .....	21.78	11.01	32.09	5.80	27.07	37.12	35.87	12.20	24.17	33.48	30.55	9.27	12.77
Satisfactory public transportation .....	17.47	10.10	24.53	2.83	27.07	28.54	25.37	7.48	17.85	28.82	25.77	6.50	6.66
Unsatisfactory public transportation .....	4.14	.92	7.23	2.97	-	3.87	10.50	4.72	5.85	3.92	4.46	2.77	4.09
Not reported .....	.17	-	.33	-	-	4.70	-	-	.47	.64	.32	-	-
Household uses it less than weekly .....	20.18	21.77	18.66	22.54	9.12	11.85	7.63	23.78	19.58	19.40	23.64	15.23	16.63
Satisfactory public transportation .....	17.08	19.06	15.19	19.57	9.12	8.02	3.57	23.78	16.26	18.88	19.83	10.90	14.94
Unsatisfactory public transportation .....	2.76	2.03	3.47	2.97	-	3.83	4.07	-	3.32	.52	3.81	1.25	1.69
Not reported .....	.33	.68	-	-	-	-	-	-	-	-	-	3.07	-
Household does not use .....	31.56	31.01	32.06	19.99	22.46	35.45	22.67	35.41	37.10	19.51	31.83	44.64	27.24
Not reported .....	1.07	1.10	1.04	-	-	5.25	-	4.28	.39	2.06	1.77	-	.37
No public transportation .....	24.55	33.33	16.14	51.68	32.81	15.59	21.02	24.33	17.16	23.36	12.21	28.19	41.40
Not reported .....	.87	1.78	-	-	8.54	-	7.55	-	1.60	2.20	-	2.66	1.59
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	89.86	93.03	86.82	82.76	95.87	88.90	91.14	95.93	91.34	90.04	89.51	94.92	88.85
Less than 1 mile .....	77.58	80.28	74.99	59.76	70.80	68.68	80.31	79.40	81.83	74.25	81.67	86.90	68.83
1 mile or more .....	11.66	12.12	11.22	23.00	25.07	20.23	10.83	16.53	9.51	15.79	6.99	8.01	19.55
Not reported .....	.62	.63	.61	-	-	-	-	-	-	-	.85	-	.48
Unsatisfactory neighborhood shopping .....	8.84	4.86	12.65	11.56	4.13	11.10	5.17	4.07	7.47	8.40	9.45	3.57	9.53
Not reported or don't know .....	1.30	2.12	.52	5.65	-	-	-	-	1.19	1.57	1.04	1.52	1.62

<sup>1</sup>See inside back cover.<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 6-1. General Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	929.9	794.3	514.4	280.0	135.5	13.4	10.7	4.1	6.6	2.7
<b>Units in Structure</b>										
1, detached .....	512.2	476.7	408.0	68.6	35.6	4.4	3.2	.2	3.0	1.1
1, attached .....	78.5	62.9	43.7	19.2	15.6	.2	.2	.2	.2	-.1
2 to 4 .....	56.9	42.9	3.7	39.2	14.0	1.8	1.5	.2	1.3	.3
5 to 9 .....	56.1	43.2	4.2	39.0	12.9	.2	.2	.2	.2	-.1
10 to 19 .....	90.5	68.0	2.3	65.7	22.5	.6	.2	.2	.2	.4
20 to 49 .....	53.1	39.5	3.0	36.6	13.6	.4	.4	.2	.4	.4
50 or more .....	9.5	5.0	1.0	4.0	4.5	.7	.2	.2	.2	.5
Mobile home or trailer .....	73.0	56.1	48.5	7.6	16.9	5.1	4.8	3.7	1.1	.3
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994 .....	-	-	-	-	-	-	-	-	-	-
1985 to 1989 .....	180.5	149.7	88.9	60.7	30.9	1.5	.7	.3	.5	.7
1980 to 1984 .....	160.1	133.4	78.6	54.8	26.8	.2	-	-	-	.2
1975 to 1979 .....	133.5	117.1	86.6	30.4	16.5	3.0	3.0	2.0	1.0	-
1970 to 1974 .....	158.6	132.0	87.3	44.7	26.6	.7	.7	.3	.4	-
1960 to 1969 .....	155.8	133.7	91.7	42.0	22.1	3.9	3.2	1.3	2.0	.7
1950 to 1959 .....	91.6	84.7	58.7	26.0	8.9	.8	.8	.3	.6	-
1940 to 1949 .....	32.4	28.8	16.3	12.5	3.6	1.2	1.0	.2	1.0	.2
1930 to 1939 .....	14.3	12.0	4.7	7.3	2.2	1.5	.6	.2	.6	.9
1920 to 1929 .....	2.1	2.1	1.3	.8	.2	.5	.5	.2	.5	.2
1919 or earlier .....	.9	.9	.2	.7	.2	.2	.2	.2	.2	.2
Median .....	1975	1975	1975	1976	1977	1968	1967	-	1963	-
<b>Rooms</b>										
1 room .....	4.6	3.1	.8	2.3	1.5	.5	.3	.3	-	.2
2 rooms .....	11.7	7.6	-	7.6	4.1	.2	.2	-	.2	-
3 rooms .....	104.0	73.3	8.0	65.3	30.7	5.1	3.9	1.6	2.3	1.3
4 rooms .....	224.5	175.2	63.3	111.9	49.3	4.4	3.8	1.5	2.3	.6
5 rooms .....	190.6	164.8	116.5	48.3	25.9	2.1	1.5	.3	1.2	.6
6 rooms .....	165.8	154.0	125.4	28.6	11.6	.7	.7	.2	.5	-
7 rooms .....	119.2	110.6	100.3	10.3	8.6	-	-	-	-	-
8 rooms .....	74.2	72.5	68.8	3.7	1.7	.3	.3	-	-	-
9 rooms .....	23.7	22.7	21.1	1.5	1.1	-	-	-	-	-
10 rooms or more .....	11.5	10.6	10.3	.4	.9	.2	.2	-	.2	-
Median .....	5.1	5.3	6.0	4.1	4.1	3.7	3.8	-	3.9	-
<b>Bedrooms</b>										
None .....	15.8	10.5	.8	9.7	5.3	.7	.5	.3	.2	.2
1 .....	140.2	100.0	15.6	84.4	40.1	6.6	5.3	2.6	2.7	1.3
2 .....	337.0	275.0	146.1	128.9	62.0	4.7	3.9	1.0	2.9	.8
3 .....	306.3	284.1	239.3	44.8	22.2	1.3	.9	.2	.7	.4
4 or more .....	130.6	124.6	112.6	12.0	6.0	1.2	.2	.2	.2	-
Median .....	2.4	2.5	2.9	1.9	1.8	1.4	1.4	-	1.7	-
<b>Complete Bathrooms</b>										
None .....	1.6	1.8	.7	1.1	-	.2	.2	-	.2	-
1 .....	322.0	247.9	79.5	168.4	74.1	11.6	8.9	3.6	5.2	2.7
1 and one-half .....	87.7	80.4	61.5	18.8	7.3	1.4	.4	.2	.3	-
2 or more .....	518.3	464.2	372.6	91.6	54.1	1.2	1.2	.3	1.0	-
<b>Air Conditioning</b>										
No air conditioning .....	93.2	77.7	44.0	33.7	15.5	4.0	3.1	.5	2.6	.9
With air conditioning .....	836.7	716.7	470.4	246.3	120.0	9.4	7.6	3.6	4.1	1.8
Central .....	801.8	689.7	454.5	235.2	112.1	6.1	4.8	1.7	3.1	1.2
1 room unit .....	23.4	17.1	10.1	7.0	6.3	3.4	2.8	1.8	1.0	.6
2 room units .....	9.7	8.1	4.2	3.9	1.6	-	-	-	-	-
3 room units or more .....	1.8	1.8	1.6	.2	-	-	-	-	-	-
<b>Main Heating Equipment</b>										
Warm-air furnace .....	493.6	413.4	257.3	156.2	80.2	6.2	5.4	2.8	2.6	.8
Steam or hot water system .....	4.7	3.8	.7	3.1	.9	1.2	.2	-	.2	-
Electric heat pump .....	322.6	284.6	212.6	72.0	37.9	1.4	.9	.5	.4	.5
Built-in electric units .....	33.8	25.9	10.8	15.0	7.8	.4	.4	-	.4	-
Floor, wall, or other built-in hot air units without ducts .....	22.0	18.6	8.7	9.9	3.5	.4	.4	-	.4	-
Room heaters with flue .....	22.2	19.2	10.1	9.1	3.0	1.1	.9	.5	.4	.2
Room heaters without flue .....	3.3	3.1	.7	2.4	.2	1.5	.3	-	.3	.2
Portable electric heaters .....	5.8	5.3	2.5	2.7	.3	1.0	1.0	.3	.7	-
Stoves .....	4.8	4.4	1.4	2.9	.2	.5	.2	-	.2	.3
Fireplaces with inserts .....	1.8	1.8	1.8	-	-	-	-	-	-	-
Fireplaces without inserts .....	4.9	4.9	3.6	1.3	-	-	-	-	-	-
Other .....	5.6	4.7	2.2	2.5	.9	.8	.6	-	.6	.2
None .....	5.2	4.7	2.0	2.7	.5	1.0	.4	-	.4	.6
<b>Main House Heating Fuel</b>										
Housing units with heating fuel .....	924.7	789.6	512.4	277.2	135.0	12.4	10.3	4.1	6.2	2.1
Electricity .....	611.7	519.5	326.6	192.9	92.2	5.3	4.4	2.0	2.4	.9
Piped gas .....	285.4	247.8	173.6	74.2	37.6	5.6	4.9	1.6	3.3	.7
Bottled gas .....	6.6	3.4	2.4	1.0	3.2	.7	.5	-	-	.2
Fuel oil .....	7.9	6.3	1.6	4.7	1.6	.3	.3	-	.3	-
Kerosene or other liquid fuel .....	.6	.6	.8	-	-	-	-	-	-	-
Coal or coke .....	-	-	-	-	-	-	-	-	-	-
Wood .....	11.7	11.4	7.4	4.0	.2	.5	.2	-	.2	.3
Solar energy .....	-	-	-	-	-	-	-	-	-	-
Other .....	.8	.8	.2	.4	.2	-	-	-	-	-

Table 6-1. General Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
Total .....	---	794.3	514.4	280.0	---	---	10.7	4.1	6.6	---
<b>Race and Origin</b>										
White .....	---	749.4	494.6	254.6	---	---	10.7	4.1	6.6	---
Non-Hispanic .....	---	672.3	456.2	216.1	---	---	9.0	3.6	5.2	---
Hispanic .....	---	77.1	38.4	38.8	---	---	1.7	.3	1.4	---
Black .....	---	21.5	9.8	11.7	---	---	---	---	---	---
Other .....	---	23.4	9.9	13.5	---	---	---	---	---	---
Total Hispanic .....	---	83.6	41.7	41.9	---	---	1.7	.3	1.4	---
<b>Persons Per Room</b>										
0.50 or less .....	---	540.8	382.7	158.1	---	---	6.7	2.2	4.4	---
0.51 to 1.00 .....	---	230.0	123.3	106.8	---	---	2.9	1.6	1.3	---
1.01 to 1.50 .....	---	19.8	7.7	12.2	---	---	.8	.3	.5	---
1.51 or more .....	---	3.6	.8	2.9	---	---	.4	---	.4	---
<b>Selected Subareas<sup>2</sup></b>										
Area one .....	---	312.7	177.2	135.5	---	---	4.0	.5	3.5	---
Area two .....	---	95.1	54.3	40.8	---	---	1.1	.2	.9	---
Area three .....	---	387.4	275.9	111.5	---	---	5.6	3.4	2.2	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

<sup>2</sup>See inside back cover for details.

**Table 6-2. Quality Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>929.9</b>	<b>794.3</b>	<b>514.4</b>	<b>280.0</b>	<b>135.5</b>	<b>13.4</b>	<b>10.7</b>	<b>4.1</b>	<b>6.6</b>	<b>2.7</b>
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	4.8	3.1	1.3	1.8	1.7	.8	.3	-	.3	.5
Missing roofing material .....	13.6	12.4	6.5	5.8	1.5	1.1	.8	-	.8	.3
Hole in roof .....	.9	.4	-	.4	.4	.2	.2	-	.2	-
Could not see roof .....	110.3	84.7	26.1	58.5	25.6	2.3	2.1	.3	1.8	.2
Missing bricks, siding, other outside wall material .....	9.8	7.5	2.9	4.7	2.3	1.6	1.1	-	1.1	.5
Sloping outside walls .....	.7	.7	.4	.3	-	.3	.3	-	.3	-
Boarded up windows .....	3.8	2.5	.9	1.8	1.4	.6	.6	.3	.4	-
Broken windows .....	7.4	4.2	.7	3.5	3.2	.9	.4	-	.4	.5
Bars on windows .....	3.7	3.2	2.0	1.2	.8	-	-	-	-	-
Foundation crumbling or has open crack or hole .....	5.2	3.8	1.4	2.4	1.4	.4	.2	-	.2	.2
Could not see foundation .....	54.5	46.8	30.7	16.1	7.7	1.6	1.1	-	1.1	.5
None of the above .....	745.4	650.2	439.6	210.6	95.2	8.1	6.4	3.8	2.5	1.7
Could not observe or not reported .....	11.3	8.3	6.0	2.4	2.9	.4	.4	-	.4	-
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	809.0	700.7	484.9	215.7	108.4	9.3	7.8	3.4	4.3	1.7
Not reported .....	.3	.2	-	.2	.2	-	-	-	-	-
Usable fireplace .....	281.3	255.3	213.5	41.9	26.0	.6	.4	-	.4	.2
Separate dining room .....	389.3	331.8	254.7	77.1	37.5	3.1	2.7	.7	1.9	.4
With 2 or more living rooms or recreation rooms, etc. ....	308.6	268.4	267.5	20.9	20.1	.2	.2	-	.2	-
Garage or carport included with home .....	689.7	607.9	455.2	152.7	61.8	5.7	4.9	2.3	2.7	.8
Garage or carport not included .....	226.1	185.3	59.0	126.3	40.8	7.0	5.8	1.8	4.0	1.2
Offstreet parking included .....	212.6	174.2	56.4	117.7	38.4	6.6	5.8	1.8	4.0	.8
Offstreet parking not reported .....	3.5	3.1	.4	2.7	.4	-	-	-	-	-
Garage or carport not reported .....	3.0	1.2	.2	.9	1.8	-	-	-	-	-
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	9.3	5.8	3.5	...	...	.6	-	.6	...
Holes in floors .....	7.4	5.3	3.0	2.3	2.1	1.3	.7	-	.7	.5
Open cracks or holes (interior) .....	43.9	37.8	16.8	21.0	6.1	3.3	2.4	.3	2.1	.9
Broken plaster or peeling paint (interior) .....	29.5	23.7	12.7	11.0	5.8	1.8	1.6	.3	1.3	.2
No electrical wiring .....	-	-	-	-	-	-	-	-	-	-
Exposed wiring .....	9.7	8.7	2.6	6.1	1.0	.3	.3	-	.3	-
Rooms without electric outlets .....	8.9	8.1	3.2	4.9	.8	.5	.3	-	.3	.2
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	13.6	11.0	5.4	5.6	2.6	.5	.2	-	.2	.2
About the same .....	797.9	693.8	450.9	242.8	104.1	9.0	7.8	3.3	4.3	1.4
Newer .....	8.7	5.9	3.5	2.4	2.7	.4	.4	-	.4	-
Very mixed .....	86.0	66.1	34.1	32.0	19.8	2.1	1.3	.5	.8	.8
No other residential buildings .....	11.6	9.9	5.0	4.8	1.7	1.0	.7	-	.7	.2
Not reported .....	9.6	6.7	5.4	1.3	2.9	.5	.5	.3	.3	-
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	690.2	765.3	487.1	278.2	125.0	11.1	8.8	3.6	5.3	2.3
1 Building .....	7.3	4.3	2.4	1.9	3.0	.5	.5	.5	-	-
More than 1 building .....	8.0	6.5	3.5	3.0	1.4	1.0	.8	-	.8	.4
No buildings within 300 feet .....	8.4	7.3	4.6	2.7	1.1	.5	.5	-	.5	-
Not reported .....	13.4	10.0	6.8	3.1	3.4	.3	.3	-	.3	-
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet .....	905.5	776.1	493.0	283.2	129.4	12.7	10.0	4.1	5.9	2.7
No bars on windows .....	827.6	705.1	440.1	265.0	122.5	11.3	9.0	4.1	4.9	2.2
1 building with bars .....	30.5	27.2	19.2	8.0	3.3	1.0	.7	-	.7	.2
2 or more buildings with bars .....	44.1	41.0	32.2	8.8	3.0	.4	.2	-	.2	.2
Not reported .....	3.4	2.9	1.5	1.3	.6	-	-	-	-	-
<b>Conditions of Streets</b>										
No repairs needed .....	755.2	649.8	427.5	222.3	105.3	7.5	6.2	2.3	3.9	1.3
Minor repairs needed .....	111.5	95.5	54.9	40.8	18.0	4.8	4.0	1.5	2.5	.9
Major repairs needed .....	7.6	6.2	4.8	1.5	1.4	.2	-	-	-	.2
No streets within 300 feet .....	44.1	35.5	12.5	23.0	8.6	.9	.5	.3	.3	.4
Not reported .....	9.0	6.4	4.7	1.7	2.6	-	-	-	-	-
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	730.1	630.1	414.9	215.2	100.1	5.2	4.2	1.5	2.7	1.0
Minor accumulation .....	174.4	146.8	80.3	66.5	27.6	7.2	5.9	2.6	3.2	1.3
Major accumulation .....	12.5	9.2	4.1	5.0	3.4	1.1	.7	-	.7	.4
Not reported .....	10.2	7.4	5.1	2.3	2.6	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	---	794.3	514.4	280.0	---	---	10.7	4.1	6.6	---
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100 .....	---	9.6	6.4	3.2	---	---	.3	.3	-	---
\$100 to \$199 .....	---	78.4	70.4	7.9	---	---	2.2	1.8	.4	---
\$200 to \$249 .....	---	37.8	32.8	5.0	---	---	.8	-	.8	---
\$250 to \$299 .....	---	38.3	28.1	10.2	---	---	1.2	-	1.2	---
\$300 to \$349 .....	---	46.3	21.6	24.7	---	---	2.2	1.3	.9	---
\$350 to \$399 .....	---	57.5	17.7	39.8	---	---	1.3	.3	1.1	---
\$400 to \$449 .....	---	50.0	13.0	37.0	---	---	1.3	-	1.2	---
\$450 to \$499 .....	---	49.3	14.3	35.0	---	---	1.3	-	.6	---
\$500 to \$599 .....	---	73.8	27.8	45.9	---	---	1.5	-	1.5	---
\$600 to \$699 .....	---	59.9	34.8	25.0	---	---	1.3	-	1.2	---
\$700 to \$799 .....	---	61.2	45.0	16.2	---	---	1.3	.2	-	---
\$800 to \$999 .....	---	83.2	72.7	10.5	---	---	1.3	.2	-	---
\$1000 to \$1249 .....	---	50.8	47.2	3.5	---	---	1.3	-	-	---
\$1250 to \$1499 .....	---	21.5	20.1	1.4	---	---	1.1	-	-	---
\$1500 or more .....	---	17.0	16.0	1.0	---	---	1.1	-	-	---
No cash rent .....	---	13.4	---	13.4	---	---	.8	---	.8	---
Mortgage payment not reported .....	---	46.3	46.3	---	---	---	---	---	---	---
Median (excludes no cash rent) .....	---	500	605	458	---	---	311	---	329	---
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs .....	---	---	631	---	---	---	---	---	---	---
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs .....	---	---	540	---	---	---	---	---	---	---
<b>Rent Reductions</b>										
No subsidy or income reporting .....	---	---	---	256.8	---	---	---	---	---	---
Rent control .....	---	---	---	-	---	---	---	---	---	---
No rent control .....	---	---	---	256.8	---	---	---	---	---	---
Reduced by owner .....	---	---	---	9.3	---	---	---	---	---	---
Not reduced by owner .....	---	---	---	232.0	---	---	---	---	---	---
Owner reduction not reported .....	---	---	---	15.2	---	---	---	---	---	---
Rent control not reported .....	---	---	---	-	---	---	---	---	---	---
Owned by public housing authority .....	---	---	---	10.2	---	---	---	---	---	---
Other, Federal subsidy .....	---	---	---	7.5	---	---	---	---	---	---
Other, State or local subsidy .....	---	---	---	2.8	---	---	---	---	---	---
Other, income verification .....	---	---	---	.7	---	---	---	---	---	---
Subsidy or income verification not reported .....	---	---	---	2.3	---	---	---	---	---	---
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	794.3	514.4	280.0	---	---	10.7	4.1	6.6	---
<b>Household Income</b>										
Less than \$5,000 .....	---	44.1	19.7	24.4	---	---	2.0	.5	1.5	---
\$5,000 to \$9,999 .....	---	61.9	28.9	33.0	---	---	2.8	.8	2.0	---
\$10,000 to \$14,999 .....	---	77.4	39.3	38.1	---	---	1.5	.3	1.2	---
\$15,000 to \$19,999 .....	---	68.8	30.8	38.0	---	---	2.3	1.6	1.8	---
\$20,000 to \$24,999 .....	---	73.8	38.7	35.0	---	---	1.2	-	1.2	---
\$25,000 to \$29,999 .....	---	87.4	55.5	31.9	---	---	.7	.7	-	---
\$30,000 to \$34,999 .....	---	64.2	42.0	22.2	---	---	.4	.2	.2	---
\$35,000 to \$39,999 .....	---	44.5	28.6	15.9	---	---	.2	-	.2	---
\$40,000 to \$49,999 .....	---	82.9	65.5	17.4	---	---	1.1	-	1.1	---
\$50,000 to \$59,999 .....	---	65.9	53.7	12.2	---	---	1.1	-	1.1	---
\$60,000 to \$79,999 .....	---	63.8	56.2	7.6	---	---	1.1	-	1.1	---
\$80,000 to \$99,999 .....	---	30.9	28.6	2.3	---	---	1.1	-	1.1	---
\$100,000 to \$119,999 .....	---	12.6	11.7	.9	---	---	.2	-	.2	---
\$120,000 or more .....	---	16.2	15.1	1.2	---	---	.4	-	.4	---
Median .....	---	29 071	35 384	20 923	---	---	11 969	---	9 614	---
<b>As percent of poverty level:</b>										
Less than 50 percent .....	---	32.2	12.0	20.2	---	---	1.6	.3	1.3	---
50 to 99 .....	---	51.9	22.0	29.9	---	---	2.2	.5	1.6	---
100 to 149 .....	---	65.0	30.0	35.0	---	---	1.4	-	1.4	---
150 to 199 .....	---	74.8	42.5	32.3	---	---	1.6	1.0	.6	---
200 percent or more .....	---	570.3	407.8	162.6	---	---	3.9	2.3	1.7	---
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000 .....	---	49.4	19.9	29.4	---	---	2.4	.5	1.8	---
\$5,000 to \$9,999 .....	---	65.6	29.3	36.4	---	---	2.7	1.0	1.6	---
\$10,000 to \$14,999 .....	---	85.0	40.2	44.8	---	---	1.5	.3	1.2	---
\$15,000 to \$19,999 .....	---	73.0	32.5	40.5	---	---	2.3	1.6	.8	---
\$20,000 to \$24,999 .....	---	74.8	40.7	34.1	---	---	1.2	-	1.2	---
\$25,000 to \$29,999 .....	---	88.4	57.2	31.2	---	---	.5	.5	-	---
\$30,000 to \$34,999 .....	---	61.6	42.7	18.9	---	---	.4	.2	.2	---
\$35,000 to \$39,999 .....	---	41.8	28.1	13.7	---	---	.2	-	.2	---
\$40,000 to \$49,999 .....	---	77.6	64.1	13.5	---	---	1.1	-	1.1	---
\$50,000 to \$59,999 .....	---	60.8	51.5	9.3	---	---	1.1	-	1.1	---
\$60,000 to \$79,999 .....	---	60.5	55.6	4.9	---	---	1.1	-	1.1	---
\$80,000 to \$99,999 .....	---	27.7	26.6	1.2	---	---	1.1	-	1.1	---
\$100,000 to \$119,999 .....	---	11.9	10.9	.9	---	---	.2	-	.2	---
\$120,000 or more .....	---	16.2	15.1	1.2	---	---	.4	-	.4	---
Median .....	---	27 792	34 369	18 627	---	---	11 073	---	9 527	---

**Table 6-3. Financial Characteristics of 1989 Year-Round Housing Units and 1989 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	---	---	614.4	---	---	---	---	4.1	---	---
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	---	---	22.7	---	---	---	---	3.2	---	---
\$10,000 to \$19,999 .....	---	---	15.8	---	---	---	---	.3	---	---
\$20,000 to \$29,999 .....	---	---	13.2	---	---	---	---	-	---	---
\$30,000 to \$39,999 .....	---	---	16.7	---	---	---	---	.3	---	---
\$40,000 to \$49,999 .....	---	---	22.1	---	---	---	---	-	---	---
\$50,000 to \$59,999 .....	---	---	37.8	---	---	---	---	-	---	---
\$60,000 to \$69,999 .....	---	---	58.4	---	---	---	---	-	---	---
\$70,000 to \$79,999 .....	---	---	54.2	---	---	---	---	.2	---	---
\$80,000 to \$99,999 .....	---	---	116.2	---	---	---	---	.2	---	---
\$100,000 to \$119,999 .....	---	---	52.5	---	---	---	---	-	---	---
\$120,000 to \$149,999 .....	---	---	45.1	---	---	---	---	-	---	---
\$150,000 to \$199,999 .....	---	---	33.2	---	---	---	---	-	---	---
\$200,000 to \$249,999 .....	---	---	10.9	---	---	---	---	-	---	---
\$250,000 to \$299,999 .....	---	---	4.9	---	---	---	---	-	---	---
\$300,000 or more .....	---	---	10.5	---	---	---	---	-	---	---
Time shared units .....	---	---	-	---	---	---	---	-	---	---
Median .....	---	---	82 797	---	---	---	---	---	---	---

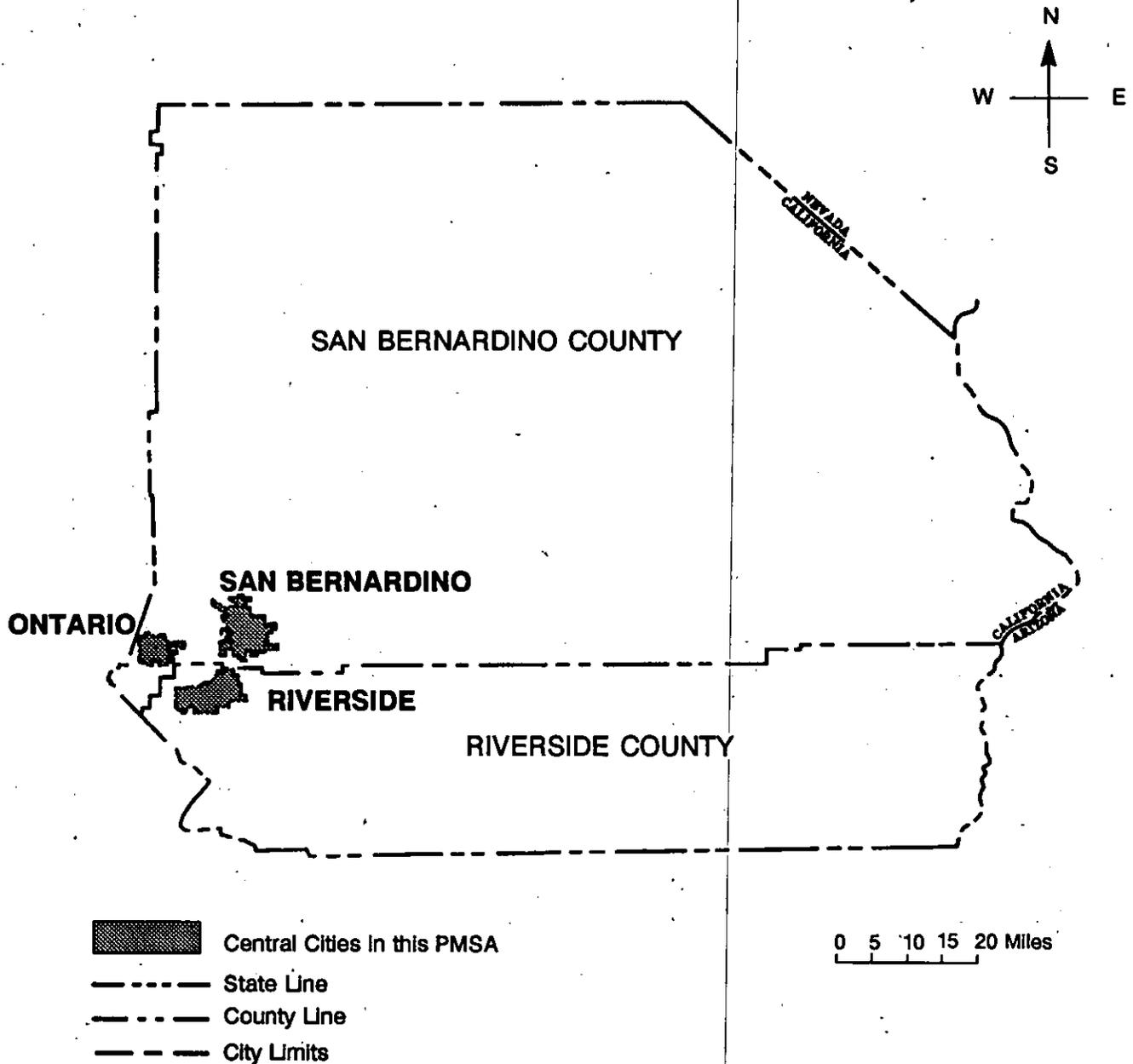
<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

# Primary Metropolitan Statistical Area



## Riverside-San Bernardino-Ontario, CA



**Table 1-1. General Characteristics by Family Type—Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households											
		Married couple						Male householder, no wife present					
		Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin		
			Total	Race of householder				Total	Race of householder				
	Total	White	Black		Total	White	Black						
<b>1 Total</b> .....	<b>932.9</b>	<b>704.2</b>	<b>541.7</b>	<b>286.6</b>	<b>244.3</b>	<b>16.0</b>	<b>99.3</b>	<b>39.3</b>	<b>17.8</b>	<b>16.7</b>	<b>.7</b>	<b>4.9</b>	
<b>Tenure</b>													
<b>2 Owner occupied</b> .....	<b>633.5</b>	<b>494.2</b>	<b>418.0</b>	<b>205.5</b>	<b>174.7</b>	<b>11.7</b>	<b>64.5</b>	<b>24.0</b>	<b>9.2</b>	<b>8.3</b>	<b>.5</b>	<b>1.6</b>	
<b>3 Percent of all occupied</b> .....	<b>67.9</b>	<b>70.2</b>	<b>77.2</b>	<b>71.7</b>	<b>71.5</b>	<b>64.9</b>	<b>65.0</b>	<b>61.2</b>	<b>51.6</b>	<b>49.4</b>	<b>77.0</b>	<b>33.8</b>	
<b>4 Renter occupied</b> .....	<b>299.4</b>	<b>210.1</b>	<b>123.6</b>	<b>81.1</b>	<b>69.6</b>	<b>6.3</b>	<b>34.8</b>	<b>15.3</b>	<b>8.6</b>	<b>8.5</b>	<b>.2</b>	<b>3.2</b>	
<b>Units in Structure</b>													
<b>5 1, detached</b> .....	<b>637.4</b>	<b>532.3</b>	<b>434.5</b>	<b>240.9</b>	<b>204.6</b>	<b>15.2</b>	<b>78.9</b>	<b>27.4</b>	<b>12.2</b>	<b>11.3</b>	<b>.5</b>	<b>2.0</b>	
<b>6 1, attached</b> .....	<b>16.3</b>	<b>10.0</b>	<b>6.4</b>	<b>2.5</b>	<b>2.5</b>	<b>—</b>	<b>.7</b>	<b>.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>7 2 to 4</b> .....	<b>68.4</b>	<b>47.4</b>	<b>25.7</b>	<b>15.7</b>	<b>14.2</b>	<b>.7</b>	<b>8.3</b>	<b>3.6</b>	<b>1.7</b>	<b>1.5</b>	<b>.2</b>	<b>.7</b>	
<b>8 5 to 9</b> .....	<b>46.0</b>	<b>26.9</b>	<b>14.8</b>	<b>8.8</b>	<b>8.5</b>	<b>.8</b>	<b>4.5</b>	<b>1.1</b>	<b>.3</b>	<b>.3</b>	<b>—</b>	<b>.1</b>	
<b>9 10 to 19</b> .....	<b>37.8</b>	<b>23.0</b>	<b>9.3</b>	<b>5.3</b>	<b>3.4</b>	<b>1.1</b>	<b>1.7</b>	<b>2.8</b>	<b>1.8</b>	<b>1.8</b>	<b>—</b>	<b>.8</b>	
<b>10 20 to 49</b> .....	<b>15.7</b>	<b>7.9</b>	<b>5.9</b>	<b>1.6</b>	<b>1.4</b>	<b>.2</b>	<b>.7</b>	<b>.6</b>	<b>.4</b>	<b>.4</b>	<b>—</b>	<b>.2</b>	
<b>11 50 or more</b> .....	<b>2.6</b>	<b>.6</b>	<b>.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>12 Mobile home or trailer</b> .....	<b>108.8</b>	<b>56.2</b>	<b>45.0</b>	<b>11.8</b>	<b>11.8</b>	<b>—</b>	<b>4.6</b>	<b>3.6</b>	<b>1.4</b>	<b>1.4</b>	<b>—</b>	<b>1.0</b>	
<b>Year Structure Built<sup>1</sup></b>													
<b>13 1990 to 1994</b> .....	<b>89.2</b>	<b>74.2</b>	<b>64.9</b>	<b>38.5</b>	<b>32.1</b>	<b>1.8</b>	<b>11.4</b>	<b>3.7</b>	<b>1.6</b>	<b>1.6</b>	<b>—</b>	<b>.2</b>	
<b>14 1985 to 1989</b> .....	<b>199.0</b>	<b>160.3</b>	<b>126.3</b>	<b>72.5</b>	<b>57.6</b>	<b>6.2</b>	<b>16.9</b>	<b>7.7</b>	<b>4.3</b>	<b>4.0</b>	<b>—</b>	<b>1.2</b>	
<b>15 1980 to 1984</b> .....	<b>75.2</b>	<b>60.2</b>	<b>43.9</b>	<b>24.8</b>	<b>21.1</b>	<b>2.2</b>	<b>5.9</b>	<b>3.7</b>	<b>2.5</b>	<b>2.5</b>	<b>—</b>	<b>.2</b>	
<b>16 1975 to 1979</b> .....	<b>124.4</b>	<b>89.4</b>	<b>74.1</b>	<b>37.2</b>	<b>32.3</b>	<b>3.0</b>	<b>9.5</b>	<b>3.4</b>	<b>3.3</b>	<b>1.0</b>	<b>—</b>	<b>.3</b>	
<b>17 1970 to 1974</b> .....	<b>91.3</b>	<b>61.2</b>	<b>46.8</b>	<b>16.3</b>	<b>14.1</b>	<b>1.8</b>	<b>5.7</b>	<b>3.9</b>	<b>1.1</b>	<b>1.1</b>	<b>—</b>	<b>.3</b>	
<b>18 1960 to 1969</b> .....	<b>171.7</b>	<b>121.8</b>	<b>88.4</b>	<b>43.6</b>	<b>40.0</b>	<b>.5</b>	<b>20.8</b>	<b>8.5</b>	<b>4.0</b>	<b>3.6</b>	<b>.4</b>	<b>1.7</b>	
<b>19 1950 to 1959</b> .....	<b>102.1</b>	<b>78.9</b>	<b>54.7</b>	<b>29.4</b>	<b>25.5</b>	<b>2.0</b>	<b>15.8</b>	<b>4.0</b>	<b>2.3</b>	<b>2.0</b>	<b>.3</b>	<b>1.5</b>	
<b>20 1940 to 1949</b> .....	<b>47.3</b>	<b>33.3</b>	<b>22.1</b>	<b>11.5</b>	<b>9.7</b>	<b>.7</b>	<b>7.5</b>	<b>2.8</b>	<b>.4</b>	<b>.4</b>	<b>—</b>	<b>.3</b>	
<b>21 1930 to 1939</b> .....	<b>21.2</b>	<b>18.1</b>	<b>13.6</b>	<b>8.8</b>	<b>7.9</b>	<b>—</b>	<b>3.8</b>	<b>.7</b>	<b>.3</b>	<b>.3</b>	<b>—</b>	<b>.1</b>	
<b>22 1920 to 1929</b> .....	<b>6.9</b>	<b>5.8</b>	<b>4.5</b>	<b>3.0</b>	<b>3.0</b>	<b>—</b>	<b>1.7</b>	<b>.6</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>23 1919 or earlier</b> .....	<b>4.7</b>	<b>3.0</b>	<b>2.1</b>	<b>1.1</b>	<b>1.1</b>	<b>—</b>	<b>.3</b>	<b>.3</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>24 Median</b> .....	<b>1976</b>	<b>1977</b>	<b>1978</b>	<b>1979</b>	<b>1976</b>	<b>1983</b>	<b>1970</b>	<b>1974</b>	<b>1978</b>	<b>1979</b>	<b>—</b>	<b>—</b>	
<b>Age of Householder</b>													
<b>25 Under 25 years</b> .....	<b>45.1</b>	<b>30.4</b>	<b>17.9</b>	<b>11.4</b>	<b>9.7</b>	<b>.9</b>	<b>5.6</b>	<b>3.9</b>	<b>1.8</b>	<b>1.5</b>	<b>.2</b>	<b>.6</b>	
<b>26 25 to 29</b> .....	<b>82.8</b>	<b>66.6</b>	<b>43.9</b>	<b>33.6</b>	<b>30.1</b>	<b>1.2</b>	<b>17.8</b>	<b>6.1</b>	<b>3.4</b>	<b>3.4</b>	<b>—</b>	<b>2.1</b>	
<b>27 30 to 34</b> .....	<b>109.0</b>	<b>93.0</b>	<b>67.5</b>	<b>57.2</b>	<b>50.5</b>	<b>4.4</b>	<b>20.3</b>	<b>6.1</b>	<b>4.2</b>	<b>3.9</b>	<b>—</b>	<b>1.6</b>	
<b>28 35 to 44</b> .....	<b>231.9</b>	<b>200.3</b>	<b>157.7</b>	<b>130.1</b>	<b>108.0</b>	<b>8.4</b>	<b>41.4</b>	<b>8.1</b>	<b>6.5</b>	<b>6.2</b>	<b>.1</b>	<b>1.4</b>	
<b>29 45 to 54</b> .....	<b>157.9</b>	<b>125.9</b>	<b>101.5</b>	<b>45.2</b>	<b>38.7</b>	<b>2.2</b>	<b>10.7</b>	<b>5.6</b>	<b>1.8</b>	<b>1.8</b>	<b>—</b>	<b>.1</b>	
<b>30 55 to 64</b> .....	<b>106.7</b>	<b>77.9</b>	<b>64.8</b>	<b>8.2</b>	<b>6.3</b>	<b>1.0</b>	<b>3.1</b>	<b>4.0</b>	<b>.4</b>	<b>.4</b>	<b>.4</b>	<b>—</b>	
<b>31 65 to 74</b> .....	<b>108.4</b>	<b>66.8</b>	<b>55.1</b>	<b>1.0</b>	<b>1.0</b>	<b>—</b>	<b>.4</b>	<b>3.7</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>32 75 years and over</b> .....	<b>90.0</b>	<b>41.5</b>	<b>33.3</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>1.8</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>33 Median</b> .....	<b>45</b>	<b>43</b>	<b>44</b>	<b>38</b>	<b>38</b>	<b>38</b>	<b>36</b>	<b>39</b>	<b>35</b>	<b>34</b>	<b>—</b>	<b>—</b>	
<b>Persons 65 Years Old and Over</b>													
<b>34 None</b> .....	<b>711.5</b>	<b>575.9</b>	<b>438.1</b>	<b>279.0</b>	<b>238.9</b>	<b>17.6</b>	<b>97.1</b>	<b>31.4</b>	<b>17.6</b>	<b>16.5</b>	<b>.7</b>	<b>4.6</b>	
<b>35 1 person</b> .....	<b>141.5</b>	<b>51.3</b>	<b>31.5</b>	<b>6.9</b>	<b>5.0</b>	<b>.2</b>	<b>2.0</b>	<b>5.2</b>	<b>.2</b>	<b>.2</b>	<b>—</b>	<b>.2</b>	
<b>36 2 persons or more</b> .....	<b>79.9</b>	<b>77.0</b>	<b>72.1</b>	<b>.7</b>	<b>.4</b>	<b>.2</b>	<b>.2</b>	<b>2.8</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>Persons</b>													
<b>37 1 person</b> .....	<b>187.8</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>38 2 persons</b> .....	<b>278.1</b>	<b>248.2</b>	<b>190.8</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>15.0</b>	<b>3.2</b>	<b>2.7</b>	<b>.6</b>	<b>.3</b>	
<b>39 3 persons</b> .....	<b>150.8</b>	<b>145.0</b>	<b>97.3</b>	<b>81.2</b>	<b>53.8</b>	<b>4.3</b>	<b>14.7</b>	<b>9.7</b>	<b>4.7</b>	<b>4.7</b>	<b>—</b>	<b>1.0</b>	
<b>40 4 persons</b> .....	<b>157.8</b>	<b>155.3</b>	<b>124.7</b>	<b>108.8</b>	<b>93.9</b>	<b>7.7</b>	<b>32.7</b>	<b>8.2</b>	<b>6.0</b>	<b>5.6</b>	<b>.1</b>	<b>2.9</b>	
<b>41 5 persons</b> .....	<b>90.7</b>	<b>90.1</b>	<b>74.0</b>	<b>66.3</b>	<b>55.8</b>	<b>2.8</b>	<b>26.3</b>	<b>3.1</b>	<b>2.2</b>	<b>2.0</b>	<b>—</b>	<b>—</b>	
<b>42 6 persons</b> .....	<b>41.9</b>	<b>41.9</b>	<b>34.9</b>	<b>31.3</b>	<b>26.1</b>	<b>1.8</b>	<b>15.1</b>	<b>1.7</b>	<b>.6</b>	<b>.6</b>	<b>—</b>	<b>—</b>	
<b>43 7 persons or more</b> .....	<b>25.8</b>	<b>25.8</b>	<b>20.0</b>	<b>19.1</b>	<b>14.9</b>	<b>1.4</b>	<b>10.6</b>	<b>1.5</b>	<b>1.1</b>	<b>1.1</b>	<b>—</b>	<b>.6</b>	
<b>44 Median</b> .....	<b>2.5</b>	<b>3.2</b>	<b>3.3</b>	<b>4.3</b>	<b>4.2</b>	<b>4.1</b>	<b>4.6</b>	<b>3.0</b>	<b>3.7</b>	<b>3.7</b>	<b>—</b>	<b>—</b>	
<b>Rooms</b>													
<b>45 1 room</b> .....	<b>3.0</b>	<b>1.3</b>	<b>1.0</b>	<b>.5</b>	<b>.5</b>	<b>—</b>	<b>.3</b>	<b>.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>46 2 rooms</b> .....	<b>51.1</b>	<b>1.4</b>	<b>1.2</b>	<b>.3</b>	<b>.3</b>	<b>—</b>	<b>.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	
<b>47 3 rooms</b> .....	<b>71.8</b>	<b>25.9</b>	<b>15.8</b>	<b>7.6</b>	<b>7.0</b>	<b>—</b>	<b>4.9</b>	<b>1.3</b>	<b>.7</b>	<b>.7</b>	<b>—</b>	<b>.2</b>	
<b>48 4 rooms</b> .....	<b>160.0</b>	<b>101.2</b>	<b>59.4</b>	<b>29.9</b>	<b>24.2</b>	<b>2.9</b>	<b>14.9</b>	<b>8.8</b>	<b>4.9</b>	<b>4.6</b>	<b>.3</b>	<b>2.7</b>	
<b>49 5 rooms</b> .....	<b>208.8</b>	<b>157.9</b>	<b>113.5</b>	<b>58.0</b>	<b>48.5</b>	<b>3.1</b>	<b>27.8</b>	<b>10.8</b>	<b>4.8</b>	<b>4.8</b>	<b>—</b>	<b>1.5</b>	
<b>50 6 rooms</b> .....	<b>203.7</b>	<b>168.1</b>	<b>135.5</b>	<b>70.6</b>	<b>62.9</b>	<b>3.7</b>	<b>24.6</b>	<b>9.1</b>	<b>3.2</b>	<b>3.1</b>	<b>—</b>	<b>—</b>	
<b>51 7 rooms</b> .....	<b>143.8</b>	<b>126.8</b>	<b>110.8</b>	<b>58.2</b>	<b>50.9</b>	<b>3.0</b>	<b>16.3</b>	<b>3.6</b>	<b>1.4</b>	<b>1.0</b>	<b>.4</b>	<b>.3</b>	
<b>52 8 rooms</b> .....	<b>87.5</b>	<b>76.7</b>	<b>64.3</b>	<b>37.4</b>	<b>29.8</b>	<b>3.7</b>	<b>4.3</b>	<b>4.1</b>	<b>2.4</b>	<b>2.4</b>	<b>—</b>	<b>.2</b>	
<b>53 9 rooms</b> .....	<b>33.4</b>	<b>29.7</b>	<b>26.5</b>	<b>16.5</b>	<b>13.9</b>	<b>.8</b>	<b>4.3</b>	<b>.9</b>	<b>.2</b>	<b>.2</b>	<b>—</b>	<b>—</b>	
<b>54 10 rooms or more</b> .....	<b>15.8</b>	<b>15.2</b>	<b>13.7</b>	<b>9.6</b>	<b>6.4</b>	<b>.8</b>	<b>1.8</b>	<b>.6</b>	<b>.2</b>	<b>.2</b>	<b>—</b>	<b>—</b>	
<b>55 Median</b> .....	<b>5.6</b>	<b>5.9</b>	<b>6.1</b>	<b>6.2</b>	<b>6.2</b>	<b>6.3</b>	<b>5.6</b>	<b>5.4</b>	<b>5.2</b>	<b>5.2</b>	<b>—</b>	<b>—</b>	
<b>Persons Per Room</b>													
<b>56 0.50 or less</b> .....	<b>570.0</b>	<b>352.0</b>	<b>278.0</b>	<b>64.5</b>	<b>55.9</b>	<b>4.4</b>	<b>9.8</b>	<b>20.0</b>	<b>5.7</b>	<b>5.2</b>	<b>.6</b>	<b>.3</b>	
<b>57 0.51 to 1.00</b> .....	<b>313.7</b>	<b>303.2</b>	<b>231.8</b>	<b>190.4</b>	<b>160.1</b>	<b>12.5</b>	<b>68.3</b>	<b>18.6</b>	<b>11.2</b>	<b>10.7</b>	<b>.1</b>	<b>4.2</b>	
<b>58 1.01 to 1.50</b> .....	<b>38.6</b>	<b>38.4</b>	<b>27.8</b>	<b>25.9</b>	<b>23.3</b>	<b>1.1</b>	<b>16.3</b>	<b>2.1</b>	<b>.4</b>	<b>.4</b>	<b>—</b>	<b>.2</b>	
<b>59 1.51 or more</b> .....	<b>10.6</b>	<b>10.6</b>	<b>6.2</b>	<b>5.7</b>	<b>4.9</b>	<b>—</b>	<b>5.0</b>	<b>.8</b>	<b>.5</b>	<b>.5</b>	<b>—</b>	<b>.2</b>	

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.



Table 1-2. Financial Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Hhldr of Hispanic origin	With own children under 18					
			Total	Race of householder			Total	Race of householder		Hhldr of Hispanic origin		
White	Black			White	Black							
1 Total.....	932.9	704.2	541.7	286.6	244.3	18.0	99.3	39.3	17.8	16.7	.7	4.9
<b>Household Income</b>												
2 Less than \$5,000 .....	17.7	10.7	4.8	2.3	1.3	1.0	.5	.8	.7	.7	—	.3
3 \$5,000 to \$9,999 .....	100.8	46.3	18.8	9.3	7.9	.6	3.7	2.9	2.3	2.3	—	.7
4 \$10,000 to \$14,999 .....	85.2	48.8	30.7	14.8	13.2	.7	9.9	1.6	.9	.7	.2	.3
5 \$15,000 to \$19,999 .....	84.2	62.6	43.3	19.6	18.4	.7	13.1	3.5	1.3	1.3	—	.6
6 \$20,000 to \$24,999 .....	72.1	57.7	40.3	20.6	17.7	.7	11.6	4.5	2.2	2.2	—	1.8
7 \$25,000 to \$29,999 .....	80.7	58.8	44.4	21.1	18.7	.8	11.4	3.3	1.0	1.0	.1	.8
8 \$30,000 to \$34,999 .....	62.7	49.8	41.4	20.5	17.7	1.2	8.4	2.9	1.4	1.1	—	.6
9 \$35,000 to \$39,999 .....	56.9	45.0	33.6	20.0	16.4	1.3	8.5	5.1	1.4	1.1	—	.6
10 \$40,000 to \$49,999 .....	98.0	80.8	70.8	35.8	30.4	2.1	10.5	3.0	1.5	1.1	—	.6
11 \$50,000 to \$59,999 .....	71.8	61.7	49.8	31.7	27.5	1.8	6.9	4.8	2.2	1.3	.4	.1
12 \$60,000 to \$79,999 .....	98.1	88.7	78.1	43.3	35.9	4.3	9.5	3.7	1.5	1.3	—	.1
13 \$80,000 to \$99,999 .....	48.5	45.5	41.9	23.5	19.9	1.7	3.4	.6	.4	.4	—	.1
14 \$100,000 to \$119,999 .....	27.0	24.1	21.6	11.4	8.4	.4	1.2	1.7	1.0	1.0	—	.1
15 \$120,000 or more .....	29.3	25.9	24.5	12.9	10.9	.8	1.0	1.0	.8	.6	—	.2
16 Median .....	32 057	36 830	42 211	44 251	43 535	49 979	29 818	35 199	32 740	31 543	—	—
As percent of poverty level:												
17 Less than 50 percent .....	26.7	22.2	10.2	7.5	6.1	1.0	3.3	1.8	1.3	1.3	—	.7
18 50 to 99 .....	91.6	69.9	34.2	25.9	22.0	1.7	16.2	2.6	2.5	2.5	—	.8
19 100 to 149 .....	115.1	70.7	50.7	33.7	31.3	.9	23.0	3.1	1.8	1.5	.2	1.2
20 150 to 199 .....	103.1	73.4	54.5	31.1	26.6	1.1	14.6	4.8	2.2	2.1	.1	1.0
21 200 percent or more .....	596.4	468.1	392.0	188.5	158.3	13.2	42.2	27.0	10.2	9.4	.4	1.1
<b>Monthly Housing Costs</b>												
22 Less than \$100 .....	5.2	1.3	1.2	—	—	—	—	—	—	—	—	—
23 \$100 to \$199 .....	51.7	29.0	16.5	3.5	2.7	—	2.0	1.2	.4	.4	—	—
24 \$200 to \$249 .....	37.8	21.9	16.3	3.7	3.3	.2	2.1	.5	—	—	—	—
25 \$250 to \$299 .....	39.5	23.0	17.0	3.2	3.2	—	1.8	1.4	.3	.3	—	.2
26 \$300 to \$349 .....	38.1	24.2	17.1	3.2	2.8	—	1.6	.7	—	—	—	.2
27 \$350 to \$399 .....	38.6	21.9	14.9	4.2	3.8	.4	2.8	.3	.1	.1	—	.2
28 \$400 to \$449 .....	42.4	27.4	18.1	7.7	7.6	—	4.9	3.1	1.5	1.5	—	1.2
29 \$450 to \$499 .....	37.8	22.7	14.7	5.8	5.3	.4	3.1	2.4	.7	.7	—	.4
30 \$500 to \$599 .....	82.7	58.2	35.6	17.6	15.7	.8	8.2	4.5	2.4	2.4	—	1.3
31 \$600 to \$699 .....	71.9	51.8	33.1	19.4	16.5	1.9	8.8	4.1	2.1	2.1	—	.9
32 \$700 to \$799 .....	72.5	58.2	41.7	23.2	18.9	1.2	11.2	2.7	1.4	1.3	.1	.8
33 \$800 to \$999 .....	111.7	95.4	77.2	48.7	40.7	3.2	16.1	6.3	2.3	2.3	—	1.5
34 \$1,000 to \$1,249 .....	97.6	87.9	73.3	48.7	42.5	2.9	14.9	5.0	2.5	2.2	—	.5
35 \$1,250 to \$1,499 .....	66.8	61.8	55.3	35.2	28.7	2.6	6.8	2.8	1.3	.9	.4	.2
36 \$1,500 or more .....	73.5	66.8	61.3	41.9	33.0	2.5	7.8	2.2	1.5	1.3	—	.2
37 No cash rent .....	19.1	13.3	10.2	4.9	4.6	.3	2.2	1.1	.9	.7	—	.2
38 Mortgage payment not reported .....	48.3	39.3	36.2	17.7	15.0	1.6	4.9	1.3	.5	.5	—	.2
39 Median (excludes no cash rent) .....	685	776	851	973	960	1 002	795	712	751	721	—	—
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs .....	832	946	981	1 170	1 147	1 290	1 003	878	1 058	1 008	—	—
41 Monthly costs excluding 2nd and subsequent mortgage and maintenance costs .....	773	878	907	1 099	1 076	1 216	958	836	965	927	—	—
<b>Monthly Housing Costs as Percent of Current Income*</b>												
42 Less than 5 percent .....	14.4	10.3	8.9	2.5	2.3	—	—	.6	—	—	—	—
43 5 to 9 percent .....	52.9	40.6	33.4	8.3	6.7	.4	3.3	1.4	—	—	—	—
44 10 to 14 percent .....	76.3	64.7	54.4	19.4	16.7	1.2	5.5	3.2	.7	.7	—	—
45 15 to 19 percent .....	105.2	84.7	73.7	32.0	27.1	1.8	8.7	2.8	1.1	1.1	—	—
46 20 to 24 percent .....	118.8	91.3	78.9	44.2	38.8	2.3	10.7	3.9	2.3	2.2	—	—
47 25 to 29 percent .....	115.1	85.0	65.0	42.5	34.8	3.3	13.8	5.9	2.2	2.2	—	—
48 30 to 34 percent .....	87.9	71.3	53.8	31.9	26.3	1.7	11.7	5.5	2.5	2.3	—	—
49 35 to 39 percent .....	64.2	49.7	36.1	23.0	20.5	1.8	9.8	4.0	1.9	1.4	—	—
50 40 to 49 percent .....	68.7	45.7	32.0	21.8	20.3	.7	12.2	2.5	1.5	1.5	—	—
51 50 to 59 percent .....	50.8	31.8	20.5	13.2	11.2	.8	4.8	2.5	.8	.8	—	—
52 60 to 69 percent .....	34.5	24.0	13.5	10.0	8.2	.6	5.1	1.5	.8	.8	—	—
53 70 to 99 percent .....	41.1	28.8	14.0	9.3	7.4	.8	4.6	1.0	.8	.8	—	—
54 100 percent or more <sup>1</sup> .....	31.2	21.8	10.3	6.0	4.4	1.0	2.0	2.0	1.9	1.3	—	—
55 Zero or negative income .....	4.3	1.9	.9	—	—	—	—	.2	—	—	—	—
56 No cash rent .....	19.1	13.3	10.2	4.9	4.6	.3	2.2	1.1	.9	.7	—	—
57 Mortgage payment not reported .....	48.3	39.3	36.2	17.7	15.0	1.6	4.9	1.3	.5	.5	—	—
58 Median (excludes 4 lines before medians) .....	28	27	25	28	28	28	32	30	34	33	—	—
59 Median (excludes 4 lines before medians) .....	27	26	25	28	28	28	31	30	32	32	—	—

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
123.2	80.1	64.6	11.5	28.4	228.6	77.8	23.2	110.0	63.6	26.1	14.7	1
5.1	4.5	3.9	.5	2.3	7.0	1.7	—	4.6	2.3	.7	—	2
28.7	22.7	18.3	3.2	7.5	54.5	13.5	8.9	38.2	28.6	1.4	1.3	3
16.6	12.6	8.9	3.3	4.8	38.3	12.4	4.3	21.7	13.6	1.7	.7	4
15.8	8.8	7.1	1.3	4.0	21.6	6.8	3.2	11.8	6.7	1.6	1.3	5
12.8	8.3	6.6	1.2	2.2	14.4	5.7	.6	5.7	2.9	1.5	1.6	6
11.1	7.2	5.5	1.0	3.0	21.9	9.2	2.6	9.6	4.6	1.9	1.2	7
5.5	3.2	2.8	.4	1.2	12.9	4.6	.5	6.0	4.8	1.6	.7	8
6.3	2.7	2.4	.2	1.2	11.9	5.0	.3	4.4	1.5	1.8	.6	9
7.0	4.0	3.6	.2	1.2	17.4	7.2	1.4	3.6	1.6	3.8	2.8	10
7.4	3.1	2.8	—	.8	9.9	4.8	.4	2.3	.4	2.1	.7	11
4.9	2.6	2.2	.2	.5	11.5	2.6	.4	1.8	.4	5.0	2.1	12
2.8	.1	.1	—	—	3.1	1.9	.5	.2	—	.6	.4	13
.9	—	—	—	—	2.9	.7	—	—	—	1.7	.5	14
.4	.4	.4	—	—	3.4	1.7	.2	—	—	.9	.8	15
19 178	15 142	15 883	12 985	14 553	18 830	23 932	13 185	12 810	10 332	42 556	39 129	16
10.1	9.5	7.7	1.4	4.7	4.5	1.6	—	2.2	.7	.7	—	17
33.0	28.0	22.1	4.8	10.0	21.7	4.8	1.9	13.9	6.3	1.6	1.3	18
16.8	11.9	9.1	2.1	4.1	44.4	11.4	6.9	31.2	26.5	1.0	.8	19
14.2	7.8	6.8	.6	3.5	29.7	10.4	3.9	15.9	9.2	2.5	.9	20
49.1	22.8	19.0	2.6	6.0	128.4	49.6	10.4	48.8	21.0	20.3	11.7	21
.2	.2	.2	—	—	3.9	1.9	.5	2.0	.9	—	—	22
9.3	4.3	3.3	.8	1.5	22.7	7.8	5.5	14.7	12.4	.1	—	23
5.0	1.0	.7	.3	.1	15.8	5.2	3.9	10.1	8.5	.2	.3	24
4.6	2.2	1.6	.6	.7	16.5	4.8	3.0	10.9	10.3	.2	.6	25
6.4	4.0	2.5	.8	1.1	13.9	4.3	1.5	8.8	4.8	.5	.2	26
6.7	4.5	4.1	.2	1.0	14.7	4.7	2.2	8.8	5.5	.7	.5	27
8.2	5.3	4.7	.7	2.9	15.0	5.5	.9	7.3	3.1	1.3	.9	28
5.7	4.1	2.8	1.3	1.7	15.1	4.5	1.9	7.6	3.7	1.4	1.7	29
18.1	13.2	11.1	1.4	5.2	24.5	7.1	1.7	11.3	5.8	4.0	2.1	30
14.7	11.2	8.5	2.4	4.8	20.0	7.0	.2	8.3	3.2	2.1	2.5	31
13.9	9.6	8.8	.5	4.0	14.3	4.8	1.1	5.5	1.6	3.6	.4	32
11.9	7.6	5.1	1.5	1.8	16.3	5.6	.4	3.9	1.1	4.8	2.0	33
9.7	5.8	5.0	.6	1.3	9.7	3.9	—	2.5	—	2.4	.9	34
3.7	2.2	2.0	.2	.9	5.0	2.1	—	.5	.2	1.8	.7	35
3.4	1.8	1.4	—	—	6.6	3.1	.2	.9	—	1.2	1.5	36
2.0	1.8	1.7	—	.5	5.8	1.6	—	3.0	1.3	.9	.3	37
1.9	1.5	1.3	.2	.7	8.9	3.9	.4	4.2	1.1	.9	—	38
586	597	599	576	587	465	471	275	378	293	746	635	39
755	892	911	—	—	408	476	270	324	291	934	—	40
714	823	836	—	—	379	413	268	306	281	891	—	41
.8	—	—	—	—	4.1	2.4	.2	1.6	1.3	.2	—	42
5.8	1.5	1.3	—	.3	12.3	6.9	3.4	4.6	2.3	.8	.1	43
7.1	1.7	1.5	.2	.8	11.6	5.1	1.8	5.6	5.1	.7	.2	44
8.1	3.7	3.0	.4	1.7	20.5	7.1	2.9	9.4	4.4	2.8	1.2	45
8.5	4.0	3.7	.3	.5	27.5	12.7	3.8	12.3	5.0	.8	1.7	46
14.0	7.3	6.3	1.0	2.3	30.1	10.8	3.1	13.9	10.7	5.1	.4	47
12.0	7.7	5.8	1.5	1.9	16.6	4.4	.3	9.2	5.1	2.0	1.0	48
9.8	7.3	5.9	.8	2.1	14.5	4.6	1.2	6.4	4.6	2.1	1.5	49
11.3	8.3	5.8	1.9	2.3	23.0	6.6	2.4	11.2	7.1	2.2	2.9	50
8.8	7.2	6.0	.7	3.5	19.0	4.8	2.4	10.3	5.4	1.8	2.1	51
9.0	7.5	5.9	1.4	3.7	10.5	1.7	.4	7.5	4.7	.6	.7	52
13.9	11.8	9.2	1.8	4.2	12.2	3.6	.8	6.1	3.4	1.3	1.3	53
9.5	8.3	6.8	1.3	3.5	9.4	1.4	.4	4.4	2.1	2.6	.8	54
.8	.6	.6	—	.6	2.5	.4	—	.2	—	1.4	.4	55
2.0	1.8	1.7	—	.5	5.8	1.6	—	3.0	1.3	.9	.3	56
1.9	1.5	1.3	.2	.7	8.9	3.9	.4	4.2	1.1	.9	—	57
36	46	45	48	55	30	28	24	32	32	33	43	58
34	41	40	44	49	29	28	24	31	31	30	42	59

**Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple					Male householder, no wife present				
			Total	With own children under 18			Total	With own children under 18			Hhldr of Hispanic origin	
				Race of householder		Hhldr of Hispanic origin		Race of householder				
	White	Black	Hhldr of Hispanic origin	Total	White		Black	Hhldr of Hispanic origin				
<b>OWNER OCCUPIED UNITS</b>												
1 Total.....	633.5	494.2	418.0	205.5	174.7	11.7	64.5	24.0	9.2	8.3	.5	1.6
<b>Value</b>												
2 Less than \$10,000.....	27.8	8.6	5.6	1.0	1.0	-	-	1.0	1.0	1.0	-	1.0
3 \$10,000 to \$19,999.....	24.6	13.8	12.2	4.4	3.9	.2	2.0	.5	-	-	-	-
4 \$20,000 to \$29,999.....	19.1	12.0	8.8	2.1	2.1	-	1.5	1.8	.2	.2	-	-
5 \$30,000 to \$39,999.....	15.6	9.7	8.0	1.1	1.0	.2	.2	.2	.2	.2	-	.2
6 \$40,000 to \$49,999.....	11.5	5.3	4.5	1.0	.7	-	.6	.3	-	-	-	-
7 \$50,000 to \$59,999.....	11.5	7.5	6.8	1.5	1.5	-	.5	-	-	-	-	-
8 \$60,000 to \$69,999.....	16.6	11.8	9.4	3.2	3.0	-	1.2	.8	.1	-	.1	-
9 \$70,000 to \$79,999.....	17.2	12.1	9.7	5.9	5.5	.2	2.9	-	-	-	-	-
10 \$80,000 to \$89,999.....	72.3	58.0	46.8	26.4	23.5	.2	12.7	2.6	1.0	1.0	-	.2
11 \$100,000 to \$119,999.....	85.5	70.1	58.7	33.1	29.2	1.9	14.8	1.8	.8	.8	-	.2
12 \$120,000 to \$149,999.....	128.6	107.9	88.2	48.9	41.5	3.3	14.7	7.1	3.2	2.6	.4	-
13 \$150,000 to \$199,999.....	111.2	98.1	86.8	42.6	34.6	3.3	6.9	4.9	1.6	1.6	-	-
14 \$200,000 to \$249,999.....	41.9	35.0	31.1	15.4	10.8	1.4	3.0	2.5	1.1	1.1	-	.2
15 \$250,000 to \$299,999.....	17.3	15.2	14.4	7.3	6.5	.2	1.1	.2	-	-	-	-
16 \$300,000 or more.....	32.8	29.1	27.1	11.6	9.9	.8	2.4	.9	-	-	-	-
17 Median.....	123 491	130 610	133 105	134 118	131 454	148 379	114 293	134 858	131 743	132 745	-	-

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Hhldr of Hispanic origin	Total	Living alone				Other nonfamily		
	Total	Race of householder		Total			Male		Female		Male	Female	
		White	Black				Total	65 and over	Total	65 and over			
52.1	23.8	19.9	2.1	5.9	139.4	49.8	19.8	70.2	47.6	13.7	5.7	1	
2.0	1.5	1.1	-	-	19.2	7.5	5.7	10.7	7.5	1.0	-	2	
1.0	.5	.5	-	-	10.8	3.2	2.5	7.0	5.2	.6	-	3	
1.8	.3	.3	-	.3	7.1	1.2	1.1	5.9	5.2	-	-	4	
1.8	.8	.6	-	-	5.8	3.6	1.5	2.3	2.0	-	-	5	
.5	.5	.2	.4	.2	6.3	2.8	.3	2.7	1.4	.5	.3	6	
.7	.2	.2	-	-	4.0	.5	.4	2.7	2.1	.4	.4	7	
1.9	.4	.4	-	-	4.8	2.0	.6	2.8	2.4	-	-	8	
2.4	1.0	.8	-	.2	5.1	1.8	.7	2.8	2.5	.5	.2	9	
8.6	4.2	3.4	-	1.6	14.3	4.5	.9	7.1	5.4	1.9	.8	10	
9.6	4.5	4.1	.8	.4	15.4	5.5	2.5	6.4	3.0	2.9	.6	11	
12.7	6.0	4.6	.5	2.5	20.7	6.8	1.4	11.2	5.1	1.3	1.3	12	
6.5	2.9	2.9	-	.8	13.1	3.5	.4	5.8	3.8	2.8	.9	13	
1.4	1.0	.6	-	-	6.9	4.4	.8	1.3	.8	.4	.9	14	
1.1	.2	-	-	-	2.2	1.3	.5	.2	-	.6	-	15	
1.1	-	-	-	-	3.7	1.2	.4	1.5	1.1	.8	.4	16	
112 020	111 999	112 224	-	-	89 094	90 783	33 735	74 142	61 399	112 490	-	17	

Table 1-3. Housing Quality by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			
				Total	Race of householder				Total	Race of householder		Hhldr of Hispanic origin
		Total	White	Black		Total	White	Black				
1 Total	932.9	704.2	541.7	286.6	244.3	18.0	99.3	39.3	17.8	16.7	.7	4.9
<b>Water Supply Stoppage</b>												
2 With hot and cold piped water	932.7	704.2	541.7	286.6	244.3	18.0	99.3	39.3	17.8	16.7	.7	4.9
3 No stoppage in last 3 months	897.6	680.3	525.6	277.6	236.6	17.5	96.5	37.0	16.9	15.8	.7	4.7
4 With stoppage in last 3 months	29.1	19.7	13.1	7.7	6.9	.2	2.4	1.9	.8	.8	—	—
5 No stoppage lasting 6 hours or more	11.6	8.1	5.7	2.3	2.0	—	.7	.6	.2	.2	—	—
6 1 time lasting 6 hours or more	12.8	8.3	5.2	3.6	3.6	—	1.2	.8	.4	.4	—	—
7 2 times	1.5	.7	.2	.2	—	—	.2	.1	.1	.1	—	—
8 3 times	1.1	.7	.5	.2	.2	—	—	—	—	—	—	—
9 4 times or more	.5	.2	—	—	—	—	—	—	—	—	—	—
10 Number of times not reported	1.7	1.7	1.3	1.3	1.1	.2	.4	.3	—	—	—	—
11 Stoppage not reported	6.0	4.3	2.9	1.3	.9	.2	.4	.4	.1	.1	—	.1
<b>Flush Toilet Breakdowns</b>												
12 With one or more flush toilets	932.9	704.2	541.7	286.6	244.3	18.0	99.3	39.3	17.8	16.7	.7	4.9
13 With at least one working toilet at all times in last 3 months	877.5	680.6	512.2	269.0	230.7	16.5	92.8	35.9	16.2	15.1	.7	4.7
14 None working some time in last 3 months	54.0	42.6	28.3	17.2	13.7	1.5	6.5	3.4	1.6	1.6	—	.2
15 No breakdowns lasting 6 hours or more	21.9	16.3	11.6	7.5	5.7	.7	2.5	.2	.2	.2	—	—
16 1 time lasting 6 hours or more	21.0	16.9	10.6	5.8	5.2	.2	1.9	2.0	.9	.9	—	—
17 2 times	3.8	2.9	1.9	1.6	.6	.4	1.2	.5	.2	.2	—	—
18 3 times	1.3	1.3	.8	.4	.4	—	—	.3	—	—	—	—
19 4 times or more	2.1	1.6	1.1	.6	.6	—	.2	—	—	—	—	—
20 Number of times not reported	3.8	3.4	2.3	1.4	1.2	.2	.7	.3	.3	.3	—	.2
21 Breakdowns not reported	1.3	1.1	1.1	.4	—	—	—	—	—	—	—	—
<b>Sewage Disposal Breakdowns</b>												
22 With public sewer	758.8	565.2	426.9	228.4	190.9	16.6	79.8	31.6	15.2	14.1	.7	4.2
23 No breakdowns in last 3 months	748.7	557.3	421.3	223.9	187.2	16.0	77.5	31.3	14.9	13.8	.7	4.2
24 With breakdowns in last 3 months	10.1	7.9	5.5	4.5	3.7	.6	2.3	.3	.3	.3	—	—
25 No breakdowns lasting 6 hours or more	3.5	2.3	1.8	1.6	1.6	—	1.1	—	—	—	—	—
26 1 time lasting 6 hours or more	4.8	3.8	3.1	2.4	1.9	.5	1.0	—	—	—	—	—
27 2 times	.8	.8	.5	.5	.2	.2	.2	.3	.3	.3	—	—
28 3 times	.3	.3	.2	—	—	—	—	—	—	—	—	—
29 4 times or more	.8	.6	.2	—	—	—	—	—	—	—	—	—
30 With septic tank or cesspool	174.1	139.1	114.8	58.2	53.5	1.4	19.5	7.7	2.6	2.6	—	.6
31 No breakdowns in last 3 months	168.6	134.6	111.2	56.3	51.9	1.4	18.9	7.2	2.6	2.6	—	.6
32 With breakdowns in last 3 months	5.3	4.4	3.6	1.9	1.5	—	.6	.5	—	—	—	—
33 No breakdowns lasting 6 hours or more	1.3	.8	.8	.3	.3	—	—	—	—	—	—	—
34 1 time lasting 6 hours or more	3.2	2.9	2.1	1.2	1.2	—	.2	.5	—	—	—	—
35 2 times	.4	.4	.4	.4	—	—	.4	—	—	—	—	—
36 3 times	—	—	—	—	—	—	—	—	—	—	—	—
37 4 times or more	.4	.4	.4	—	—	—	—	—	—	—	—	—
<b>Heating Problems</b>												
38 With heating equipment and occupied last winter	870.0	660.2	511.3	265.1	225.7	16.7	90.4	36.5	16.1	15.0	.7	4.1
39 Not uncomfortably cold for 24 hours or more last winter	825.3	623.8	487.2	248.9	211.6	15.6	83.3	34.0	14.9	13.9	.6	3.5
40 Uncomfortably cold for 24 hours or more last winter <sup>1</sup>	44.3	35.8	24.1	16.2	14.1	1.1	7.1	2.5	1.3	1.1	.1	.6
41 Equipment breakdowns	18.2	15.3	10.8	7.4	6.5	.5	3.6	1.0	.6	.6	—	.6
42 No breakdowns lasting 6 hours or more	7.9	7.7	7.7	—	—	—	—	—	—	—	—	—
43 1 time lasting 6 hours or more	12.8	11.2	7.9	6.5	5.8	.3	3.0	1.0	.6	.6	—	.6
44 2 times	1.0	.6	.2	—	—	—	—	—	—	—	—	—
45 3 times	1.0	.8	.8	.2	—	.2	—	—	—	—	—	—
46 4 times or more	1.5	.8	.5	—	—	—	.7	—	—	—	—	—
47 Number of times not reported	1.1	1.1	.7	.7	.7	—	—	—	—	—	—	—
48 Other causes	26.0	20.5	13.2	8.8	7.7	.5	3.6	1.5	.7	.5	.1	—
49 Utility interruption	2.7	1.9	1.6	.8	.2	.4	—	.1	.1	.1	—	—
50 Inadequate heating capacity	4.7	3.6	2.3	1.1	1.1	—	.5	.3	.2	.2	—	—
51 Inadequate insulation	7.0	5.9	2.8	2.7	2.1	.2	1.1	.6	.2	.2	—	—
52 Other	10.5	7.9	5.5	3.2	3.2	—	1.7	.5	.2	.2	—	—
53 Not reported	1.0	1.0	1.0	1.0	1.0	—	.4	—	—	—	—	—
54 Reason for discomfort not reported	.5	.5	.5	.2	.2	—	—	—	—	—	—	—
55 Discomfort not reported	.5	.5	—	—	—	—	—	—	—	—	—	—
<b>Selected Deficiencies<sup>1</sup></b>												
56 Signs of rats in last 3 months	36.8	32.0	23.3	13.2	11.2	.7	6.3	1.6	.4	.4	—	.2
57 Holes in floors	6.0	4.4	3.5	2.2	1.7	—	.9	.2	.2	.2	—	—
58 Open cracks or holes (interior)	30.4	23.1	16.2	11.2	9.6	.6	4.7	1.0	.7	.7	—	.2
59 Broken plaster or peeling paint (interior)	25.3	19.5	13.5	8.3	7.4	.3	3.8	.5	—	—	—	—
60 No electrical wiring	—	—	—	—	—	—	—	—	—	—	—	—
61 Exposed wiring	4.9	2.6	1.8	1.1	1.1	—	.7	.2	.2	.2	—	.2
62 Rooms without electric outlets	10.5	8.0	6.1	3.3	2.6	.2	1.2	—	—	—	—	—
<b>Selected Amenities<sup>1</sup></b>												
63 Porch, deck, balcony, or patio	819.8	623.0	488.0	253.0	217.3	16.0	81.6	34.8	15.9	15.0	.5	4.1
64 Not reported	.2	.2	.2	.2	.2	—	.2	—	—	—	—	—
65 Telephone available	859.5	650.9	510.3	265.6	226.4	15.8	90.2	34.2	15.7	14.6	.7	3.5
66 Usable fireplace	476.5	395.6	335.7	182.6	150.6	13.7	43.6	20.1	9.8	9.0	.4	1.0
67 Separate dining room	443.2	358.0	295.5	157.4	133.8	10.1	37.9	17.7	6.4	6.2	—	1.8
68 With 2 or more living rooms or recreation rooms, etc.	323.1	269.8	231.8	109.4	93.4	6.9	25.8	12.1	5.4	5.0	.4	.4
69 Garage or carport included with home	794.9	614.1	485.5	254.2	218.0	16.2	81.7	32.5	14.4	13.4	.6	3.6
70 Garage or carport not included	137.0	89.1	55.8	31.8	27.7	1.8	17.2	6.8	3.5	3.3	.1	1.3
71 Offstreet parking included	123.3	80.4	52.0	29.1	25.0	1.8	15.4	5.8	2.9	2.8	.1	1.1
72 Offstreet parking not reported	2.1	1.4	.8	.4	.4	—	.2	—	—	—	—	—
73 Garage or carport not reported	1.0	1.0	.6	.6	.6	—	.4	—	—	—	—	—



Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Hhldr of Hispanic origin	Total	With own children under 18			Hhldr of Hispanic origin	
			Total	Race of householder				Total	Race of householder			
White	Black			White	Black							
<b>Overall Opinion of Structure</b>												
1 1 (worst).....	4.4	3.2	1.6	.9	.9	—	.7	.1	.1	.1	—	—
2 .....	3.2	2.2	1.4	.6	.6	—	.6	.2	.2	.2	—	.2
3 .....	6.4	4.1	1.7	.6	.6	—	.3	.3	.2	.2	—	.2
4 .....	10.6	8.7	4.2	2.2	1.7	.3	.8	.6	.6	.6	—	.2
5 .....	63.5	45.6	30.1	19.6	17.2	1.1	7.3	2.8	1.0	1.0	—	.5
6 .....	39.4	28.2	19.4	12.8	10.5	1.1	3.9	1.9	.7	.7	—	—
7 .....	94.2	73.3	52.4	31.6	25.2	2.1	9.6	4.8	2.7	2.7	—	—
8 .....	212.1	163.3	124.6	69.2	61.1	4.3	23.8	9.3	3.8	3.1	.7	.3
9 .....	153.5	119.5	94.9	52.8	45.1	1.9	19.8	6.4	3.0	2.8	—	2.0
10 10 (best).....	342.3	254.5	210.3	95.7	80.8	7.1	32.0	12.9	5.6	5.3	—	1.5
11 Not reported .....	3.3	1.7	1.2	.7	.7	—	.5	—	—	—	—	—
<b>Neighborhood Conditions</b>												
12 With neighborhood.....	921.9	698.3	536.9	283.4	241.1	18.0	98.1	39.3	17.8	16.7	.7	4.9
13 No problems.....	552.7	409.6	320.7	161.9	134.6	11.0	65.1	23.4	10.6	9.8	.6	4.5
14 With problems <sup>1</sup> .....	367.7	287.9	215.6	120.9	105.9	7.0	32.8	15.9	7.2	6.9	.1	.4
15 Crime .....	100.4	75.7	51.6	29.0	24.8	2.1	8.9	5.1	3.1	3.1	—	.2
16 Noise .....	62.2	46.5	31.4	17.8	14.8	1.1	6.8	3.7	1.3	1.1	—	.2
17 Traffic .....	44.2	35.9	26.8	17.8	15.5	1.7	4.5	3.1	1.4	1.4	—	—
18 Litter or housing deterioration .....	51.1	40.9	32.0	17.0	16.6	—	5.5	1.9	.9	.9	—	.2
19 Poor city or county services .....	20.5	18.4	15.2	8.5	8.5	—	2.2	.9	.2	.2	—	—
20 Undesirable commercial, institutional, industrial.....	10.4	9.3	6.9	5.0	4.0	1.0	1.5	.8	.1	—	.1	—
21 People .....	173.2	137.9	99.7	55.9	48.7	3.7	14.8	6.2	3.5	3.2	.1	.2
22 Other .....	71.2	54.8	45.7	25.0	22.3	1.0	4.6	2.2	.9	.7	.1	—
23 Type of problem not reported.....	2.2	2.0	2.0	2.0	1.6	.4	.2	—	—	—	—	—
24 Presence of problems not reported.....	1.5	.8	.6	.8	.6	—	.2	—	—	—	—	—
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst).....	13.5	10.3	7.0	3.7	3.7	—	1.1	.9	.5	.5	—	—
26 .....	12.1	9.6	5.6	2.2	2.1	—	.9	.5	.3	.3	—	.2
27 .....	17.0	12.9	8.9	4.4	4.2	—	.5	.3	.1	—	.1	—
28 .....	20.7	15.5	9.9	6.7	5.9	.7	2.1	.8	.2	.2	—	—
29 .....	88.5	60.6	39.9	21.1	18.4	.8	9.5	4.3	1.9	1.9	—	.3
30 .....	46.7	34.5	26.5	13.4	12.4	.8	3.4	1.4	.5	.5	—	.2
31 .....	103.0	81.0	59.9	36.6	30.0	3.6	10.2	5.5	2.3	2.2	—	.8
32 .....	193.1	145.9	113.7	60.0	51.4	3.2	17.9	8.1	3.7	3.1	.6	—
33 .....	130.2	98.9	81.5	47.8	41.3	1.7	17.1	5.0	2.0	2.0	—	.4
34 10 (best).....	299.1	229.1	184.1	87.5	71.7	7.1	35.7	12.6	6.3	6.0	—	3.3
35 No neighborhood .....	3.4	1.8	1.6	1.0	1.0	—	.4	—	—	—	—	—
36 Not reported .....	7.6	4.1	3.2	2.3	2.3	—	.8	—	—	—	—	—

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18			Hhldr of Hispanic origin	Total	Living alone			Other nonfamily		Total	Female	
	Total	Race of householder				Male	Female		Male	Female			
		White	Black				Total	65 and over					
1.5	1.3	.8	.3	.2	1.1	.2	—	.5	—	.5	—	1	
.7	.7	.3	.1	.1	1.0	—	—	1.0	1.0	—	—	2	
2.1	1.4	1.1	.1	.5	2.3	1.4	.4	.4	—	.4	.1	3	
3.9	3.8	3.2	.4	1.1	1.9	.7	—	.8	—	.2	.2	4	
12.7	8.9	7.9	.8	4.3	18.0	8.8	3.1	6.4	2.5	1.0	1.8	5	
6.9	4.6	3.8	.9	.8	11.2	4.1	1.0	4.4	2.1	2.4	.3	6	
16.2	10.8	7.8	2.5	3.6	20.8	9.4	2.1	6.6	1.9	2.6	2.2	7	
29.4	20.3	17.8	1.7	8.1	48.9	18.5	5.6	20.6	10.9	6.7	3.0	8	
18.1	10.4	7.2	2.2	2.1	34.0	9.4	2.1	17.9	11.2	4.8	1.9	9	
31.3	17.8	14.9	2.5	7.6	87.9	24.2	6.0	50.9	34.1	7.6	5.1	10	
.5	.2	.2	—	—	1.6	1.1	.9	.5	—	—	—	11	
122.1	79.8	64.5	11.5	28.2	223.6	75.6	22.0	107.3	61.5	26.0	14.7	12	
65.5	43.0	35.0	5.6	15.8	143.1	44.6	15.1	74.7	51.0	18.8	7.0	13	
56.3	36.6	29.3	5.9	12.2	79.8	31.0	6.9	32.1	10.3	9.0	7.7	14	
19.1	13.2	10.1	2.8	5.5	24.7	10.2	2.8	8.5	2.3	2.3	3.7	15	
11.4	5.6	3.7	1.6	2.4	15.7	6.1	.7	6.4	1.8	2.1	1.1	16	
6.1	4.4	3.4	.9	2.1	8.3	2.5	.6	4.6	1.5	1.0	.2	17	
6.9	4.1	3.2	.7	1.1	10.1	3.4	.2	5.2	1.8	.7	.9	18	
2.3	1.3	.7	.3	1.0	2.1	1.4	—	.4	.2	—	.3	19	
1.5	1.0	.9	.2	.3	1.1	.7	—	.4	—	—	—	20	
32.0	21.5	19.8	1.7	7.8	35.3	13.7	4.9	12.8	3.4	5.5	3.3	21	
6.9	5.0	4.4	.5	1.5	16.4	6.2	1.8	7.2	2.1	1.8	1.2	22	
—	—	—	—	—	.2	—	—	.2	—	—	—	23	
2	2	.2	—	.2	.7	—	—	.5	.1	.2	—	24	
2.3	2.0	1.4	.3	.9	3.2	1.0	—	1.3	.8	.6	.2	25	
3.5	2.1	1.6	.4	.8	2.5	.7	—	.7	—	.6	.3	26	
3.7	2.2	2.0	.2	.5	4.1	2.3	1.4	1.2	.1	—	.6	27	
4.9	4.6	3.7	.5	1.5	5.2	1.2	—	2.6	.5	.7	.6	28	
16.4	11.1	9.3	1.4	4.7	25.9	12.6	5.1	10.0	4.2	1.5	1.8	29	
6.6	4.4	4.1	.3	1.4	12.2	5.9	.8	4.9	2.1	.8	.6	30	
15.6	9.4	6.9	2.4	1.8	21.9	7.7	1.8	9.0	1.8	3.6	1.6	31	
24.1	17.7	15.0	2.0	6.2	47.3	17.1	4.5	18.6	12.4	6.1	3.5	32	
12.4	7.7	5.8	1.5	2.0	31.3	8.7	2.6	16.3	10.9	4.4	1.9	33	
32.5	18.6	14.7	2.7	8.5	70.0	18.5	5.7	42.6	28.5	5.5	3.4	34	
.2	.2	.2	—	—	1.6	1.1	.4	.3	—	.1	—	35	
.9	.2	—	—	.2	3.5	1.1	.9	2.4	2.2	—	—	36	

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	<b>932.9</b>	<b>633.5</b>	<b>299.4</b>	<b>74.5</b>	<b>108.8</b>	<b>4.4</b>	<b>20.9</b>	<b>64.8</b>	<b>207.0</b>	<b>199.5</b>	<b>202.6</b>	<b>118.2</b>	<b>84.0</b>	<b>354.3</b>	<b>49.2</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic	24.71	22.12	30.19	16.76	21.02	42.56	37.45	32.06	26.55	21.54	24.19	32.74	28.50	18.29	37.76
Neighborhood crime	28.44	27.31	30.85	22.17	22.66	50.19	40.07	29.15	25.43	20.97	22.20	29.54	30.03	26.86	47.41
Any condition(s)	39.81	37.10	45.55	31.84	33.38	63.71	59.96	43.81	37.74	32.33	35.54	45.51	43.00	34.31	58.56
Both conditions present	13.34	12.33	15.49	7.10	10.31	29.04	17.56	17.40	14.24	10.18	10.85	16.77	15.53	10.84	26.61
No conditions present	60.00	62.73	54.23	68.16	66.38	36.29	40.04	56.19	62.18	67.53	64.22	54.30	57.00	65.41	41.44
Not reported	.19	.17	.23	-	.25	-	-	-	.07	.13	.23	.19	-	.27	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic	14.99	14.09	16.92	13.02	8.68	24.97	21.99	17.85	16.14	9.86	12.84	18.01	20.01	11.41	25.66
Neighborhood crime	22.84	22.18	24.22	17.13	17.25	47.24	32.18	22.84	21.60	15.84	17.13	24.69	25.28	21.09	41.50
Unsatisfactory neighborhood shopping	11.35	11.97	10.02	17.27	8.75	6.13	17.27	8.86	10.05	11.53	9.80	12.34	3.22	11.43	12.47
Unsatisfactory public elementary school	4.37	4.60	3.86	4.39	1.39	3.36	6.84	5.39	4.50	4.40	4.20	6.10	1.89	3.79	5.62
Unsatisfactory public transportation	2.37	1.73	3.71	2.13	1.71	8.51	2.26	5.28	1.34	1.71	2.48	3.93	2.26	1.71	3.27
Any condition(s)	39.71	38.88	41.48	39.16	30.42	57.35	53.51	39.62	37.64	31.38	33.60	42.37	37.97	35.84	55.83
Two or more conditions	13.63	13.19	14.57	12.33	6.87	29.13	21.69	17.65	13.62	7.54	11.34	18.13	14.10	11.45	28.25
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic	6.29	5.44	8.08	1.78	4.15	3.73	13.34	10.08	7.38	2.51	5.63	11.37	8.28	4.59	12.72
Neighborhood crime	10.51	9.15	13.39	4.93	7.78	11.87	19.35	11.58	11.20	4.87	9.35	15.33	9.07	9.11	25.60
Unsatisfactory public elementary school	2.27	2.28	2.26	1.59	1.39	3.36	4.26	3.51	2.19	.20	2.22	3.95	1.40	2.01	1.80
Any condition(s)	13.95	12.39	17.24	6.83	10.36	11.67	24.44	16.81	14.04	6.19	12.08	20.93	12.18	11.80	30.53
Two or more conditions	4.85	4.30	6.00	1.47	2.72	7.09	11.83	7.85	6.42	1.39	4.80	9.04	6.36	3.69	6.64
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic	.19	.17	.23	-	.25	-	-	-	.07	.13	.23	.19	-	.27	-
Neighborhood crime	.30	.24	.44	-	.25	-	-	-	.19	.22	.62	.38	-	.50	.48
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16	43.78	40.31	51.10	56.00	17.79	18.43	48.97	52.82	67.70	3.31	55.37	66.56	38.42	39.34	56.05
Satisfactory public elementary school	34.23	31.47	40.06	44.51	14.67	9.95	40.11	41.48	55.28	2.55	42.31	54.62	26.98	31.82	47.07
Unsatisfactory public elementary school	4.37	4.60	3.86	4.39	1.39	3.36	6.84	5.39	4.50	.40	4.20	6.10	1.89	3.79	5.62
So bothered they want to move	2.27	2.28	2.26	1.59	1.39	3.36	4.26	3.51	2.19	.20	2.22	3.95	1.40	2.01	1.80
Not reported	.11	.11	.11	-	-	.78	-	-	.18	-	.16	.14	-	.09	-
Not reported or don't know	5.18	4.24	7.17	7.10	1.53	5.12	2.02	6.05	7.92	.37	8.86	5.85	9.55	3.73	3.36
Public elementary school less than 1 mile	28.05	25.34	33.78	30.69	8.92	16.43	30.94	41.21	48.85	2.08	35.74	44.61	27.65	22.26	40.54
Public elementary school 1 mile or more	15.08	14.58	16.15	25.02	8.87	-	18.03	11.30	17.89	1.23	18.28	21.27	10.48	16.47	14.94
Not reported	.65	.40	1.18	.30	-	-	-	.41	.96	-	1.35	.69	.29	.61	.58
Households without children aged 0-16	56.22	59.69	48.90	44.00	82.21	81.57	51.03	47.08	32.30	96.69	44.63	33.44	61.58	60.66	43.95
Households with children aged 4-16	36.94	34.59	41.92	45.63	14.07	13.31	42.92	43.48	58.07	2.70	43.30	57.18	29.54	33.94	49.97
Attend public school (K-12)	31.26	28.85	36.37	38.19	10.95	13.31	39.19	39.27	49.99	1.83	37.43	51.76	25.32	28.63	41.12
Attend private school (K-12)	3.20	3.71	2.11	2.77	.50	-	2.98	3.08	3.80	.87	1.29	1.06	2.96	2.19	4.90
Attend ungraded school, preschool, etc.	.89	.70	1.29	.82	2.83	-	-	-	1.91	-	2.43	1.52	1.29	1.16	-
Does not attend school	1.07	.95	1.33	2.57	.25	-	.10	1.25	1.18	-	1.44	1.85	.87	1.28	.46
Not reported	.94	.75	1.32	1.49	-	-	.65	.48	1.58	-	1.16	1.74	-	.63	3.95
<b>Public Transportation as a Percent of Total</b>															
With public transportation	63.73	58.04	75.78	51.57	56.57	77.96	62.30	61.07	69.47	57.49	69.53	74.40	69.84	52.20	68.07
Household uses it at least weekly	6.40	2.83	13.96	2.40	2.47	17.36	12.07	17.04	12.15	4.07	11.76	18.71	9.29	5.48	16.73
Satisfactory public transportation	5.70	2.51	12.43	2.10	2.08	8.85	11.00	13.36	11.49	3.78	10.49	17.11	9.13	4.84	15.15
Unsatisfactory public transportation	.66	.31	1.41	.30	.39	8.51	-	3.34	.60	.31	1.20	1.60	-	.63	1.58
Not reported	.04	-	.12	-	-	-	1.07	.35	.07	-	.07	-	.17	-	-
Household uses it less than weekly	12.73	10.59	17.26	13.74	13.10	3.38	11.92	15.28	16.76	10.66	15.66	19.02	8.75	10.23	15.27
Satisfactory public transportation	11.02	9.12	15.04	11.89	11.54	3.36	8.37	13.69	16.03	9.32	14.52	16.81	6.38	9.03	13.86
Unsatisfactory public transportation	1.62	1.39	2.12	1.52	1.32	-	2.26	1.80	.60	1.34	1.14	2.21	2.07	1.08	1.41
Not reported	.09	.08	.10	.33	.25	-	1.28	-	.13	-	-	-	.29	.12	-
Household does not use	44.47	44.51	44.38	35.12	40.78	57.24	38.32	48.40	40.42	42.56	41.96	36.56	71.61	36.42	55.79
Not reported	.13	.11	.18	.31	.25	-	-	.35	.14	.20	.15	.12	.19	.08	.28
No public transportation	35.91	41.68	23.69	48.43	42.83	22.04	37.70	18.93	30.45	42.37	29.98	25.41	10.16	47.24	11.93
Not reported	.36	.28	.52	-	.60	-	-	-	.07	.13	.49	.19	-	.55	-
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping	88.39	87.82	89.62	82.43	90.66	93.87	82.73	91.14	89.88	88.34	89.60	87.47	96.78	88.25	87.53
Less than 1 mile	65.86	62.71	72.52	56.17	68.65	84.34	60.42	78.08	72.13	65.65	69.78	69.82	80.56	64.80	71.09
1 mile or more	22.02	24.55	16.67	26.26	20.18	9.54	22.31	12.71	17.62	22.15	18.39	17.10	15.93	22.65	16.15
Not reported	.51	.55	.42	-	1.83	-	-	.35	.13	.33	1.45	.55	.29	.80	.28
Unsatisfactory neighborhood shopping	11.35	11.97	10.02	17.27	8.75	6.13	17.27	8.86	10.05	11.53	9.80	12.34	3.22	11.43	12.47
Not reported or don't know	.26	.21	.36	.30	.60	-	-	-	.07	.13	.60	.19	-	.32	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 2-4. Neighborhood Quality—Owner Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>633.5</b>	<b>58.5</b>	<b>95.1</b>	<b>2.8</b>	<b>9.4</b>	<b>32.4</b>	<b>115.4</b>	<b>171.9</b>	<b>60.5</b>	<b>40.0</b>	<b>53.8</b>	<b>256.4</b>	<b>28.1</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	22.12	16.86	19.23	47.92	34.28	33.44	22.96	21.47	12.39	29.68	23.95	16.76	36.88
Neighborhood crime.....	27.31	21.70	23.50	41.33	39.93	26.38	23.52	21.20	14.22	23.91	28.92	26.24	45.98
Any condition(s).....	37.10	32.42	32.25	62.37	58.80	41.72	33.60	32.25	21.88	37.27	37.11	32.80	57.65
Both conditions present.....	12.33	6.14	10.48	26.88	15.40	18.10	12.89	10.42	4.73	16.33	15.77	10.21	25.21
No conditions present.....	62.73	67.58	67.47	37.63	41.20	58.28	66.40	67.60	77.71	62.73	62.89	67.00	42.35
Not reported.....	.17	-	.28	-	-	-	-	.16	.40	-	-	.20	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	14.09	12.90	9.23	33.07	17.95	21.48	14.53	9.88	6.04	17.71	19.45	11.11	24.61
Neighborhood crime.....	22.18	18.12	17.31	41.33	36.98	21.13	19.98	16.02	9.06	22.85	24.47	20.98	43.06
Unsatisfactory neighborhood shopping.....	11.97	18.35	9.09	9.54	24.52	11.37	10.81	12.05	10.38	10.78	3.10	11.57	16.91
Unsatisfactory public elementary school.....	4.60	5.58	1.59	-	10.37	6.62	4.99	.46	3.66	3.05	1.97	3.66	6.03
Unsatisfactory public transportation.....	1.73	1.90	1.46	-	-	2.55	.87	1.39	.27	.56	2.25	.82	2.14
Any condition(s).....	38.88	38.92	31.18	57.07	56.92	41.47	36.01	31.65	23.39	34.95	36.04	34.10	60.18
Two or more conditions.....	13.19	12.83	6.95	26.88	24.18	17.09	13.78	7.76	6.02	15.63	14.89	11.94	27.86
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	5.44	1.84	4.75	-	10.08	8.46	6.78	2.43	1.85	13.24	6.60	4.10	12.22
Neighborhood crime.....	9.15	4.64	7.58	-	22.27	8.12	9.69	5.09	2.29	12.55	7.09	8.68	27.28
Unsatisfactory public elementary school.....	2.28	2.02	1.59	-	7.97	4.03	2.10	.23	1.34	2.48	1.21	1.94	2.19
Any condition(s).....	12.39	7.05	10.52	-	28.07	13.69	12.59	6.23	3.64	19.19	8.80	11.19	33.00
Two or more conditions.....	4.30	1.45	3.12	-	12.25	5.89	5.98	1.52	1.65	9.08	6.11	3.43	7.52
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.17	-	.28	-	-	-	-	.16	.40	-	-	.20	-
Neighborhood crime.....	.24	-	.28	-	-	-	.21	.25	.68	-	-	.36	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	40.31	58.88	13.51	-	50.61	50.49	66.70	3.67	55.14	40.67	38.51	36.37	51.68
Satisfactory public elementary school.....	31.47	47.07	10.17	-	37.30	37.30	54.71	2.78	46.00	34.63	27.31	29.49	43.24
Unsatisfactory public elementary school.....	4.60	5.58	1.59	-	10.37	6.62	4.99	.46	3.66	3.05	1.97	3.66	6.03
So bothered they want to move.....	2.28	2.02	1.59	-	7.97	4.03	2.10	.23	1.34	2.48	1.21	1.94	2.19
Not reported.....	.11	-	-	-	-	-	.20	-	-	-	-	-	-
Not reported or don't know.....	4.24	6.23	1.75	-	2.94	6.57	6.99	.42	5.48	2.99	9.23	3.22	2.41
Public elementary school less than 1 mile.....	25.34	31.90	6.69	-	31.01	38.70	49.19	2.24	32.19	27.68	26.95	20.03	34.05
Public elementary school 1 mile or more.....	14.58	26.60	6.83	-	19.60	11.37	17.05	1.43	22.18	12.65	11.57	16.08	16.61
Not reported.....	.40	.38	-	-	-	.42	.46	-	.77	.34	-	.25	1.01
Households without children aged 0-16.....	59.69	41.12	86.49	100.00	49.39	49.51	33.30	96.33	44.86	59.33	61.49	63.63	48.32
Households with children aged 4-16.....	34.59	48.88	9.72	-	43.52	43.89	58.26	2.96	45.76	39.64	31.42	31.61	46.33
Attend public school (K-12).....	28.85	41.23	8.10	-	41.16	39.04	48.40	1.95	39.94	37.27	26.75	26.37	34.72
Attend private school (K-12).....	3.71	3.14	.28	-	2.36	4.29	5.54	1.01	1.03	.79	3.82	2.62	6.50
Attend ungraded school, preschool, etc.....	.70	.79	1.06	-	-	-	2.10	-	2.40	.56	.75	.93	-
Does not attend school.....	.95	2.47	.28	-	-	1.30	1.01	-	1.61	1.62	.30	1.40	-
Not reported.....	.75	1.24	-	-	-	.42	1.20	-	.77	.34	-	.51	5.91
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	58.04	52.47	56.11	70.27	50.47	73.44	64.67	54.62	51.53	60.04	67.46	47.31	84.92
Household uses it at least weekly.....	2.83	2.25	1.14	-	4.55	11.39	4.82	1.94	4.31	7.03	4.59	2.13	11.45
Satisfactory public transportation.....	2.51	1.87	.69	-	4.55	9.54	4.48	1.72	4.31	6.47	4.59	1.84	10.64
Unsatisfactory public transportation.....	.31	.39	.45	-	-	1.85	.34	.22	.56	-	.28	.80	-
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-
Household uses it less than weekly.....	10.59	14.03	11.48	-	10.05	9.28	14.86	10.24	12.30	11.65	5.89	7.90	12.33
Satisfactory public transportation.....	9.12	12.10	10.18	-	7.20	9.28	14.10	9.07	12.03	11.65	3.19	7.26	10.99
Unsatisfactory public transportation.....	1.39	1.52	1.02	-	-	.53	1.17	.27	.27	-	2.25	.54	1.34
Not reported.....	.08	.42	.28	-	2.85	-	.23	-	-	-	.46	.10	-
Household does not use.....	44.51	36.19	43.21	70.27	35.88	52.07	44.99	42.28	34.92	41.36	76.98	37.18	61.14
Not reported.....	.11	-	.28	-	-	.70	-	.16	-	-	-	.10	-
No public transportation.....	41.68	47.53	43.21	29.73	49.53	26.56	35.33	45.22	47.84	39.96	12.54	52.36	15.08
Not reported.....	.28	-	.68	-	-	-	-	.16	.63	-	-	.33	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	87.82	83.27	90.23	90.46	75.48	88.63	89.19	87.79	88.25	89.22	96.90	88.33	83.09
Less than 1 mile.....	62.71	53.95	70.32	75.61	54.36	71.99	71.56	64.60	63.62	77.32	77.61	63.32	66.35
1 mile or more.....	24.55	29.32	17.81	14.85	21.12	15.94	17.39	22.81	21.87	11.23	19.30	24.25	16.74
Not reported.....	.55	-	2.09	-	-	.70	.23	.39	2.76	.67	-	.76	-
Unsatisfactory neighborhood shopping.....	11.97	16.35	9.09	9.54	24.52	11.37	10.81	12.05	10.38	10.78	3.10	11.57	16.91
Not reported or don't know.....	.21	.38	.68	-	-	-	-	.16	1.37	-	-	.10	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

Table 3-4. Neighborhood Quality—Renter Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>299.4</b>	<b>15.9</b>	<b>13.7</b>	<b>1.6</b>	<b>11.5</b>	<b>32.3</b>	<b>91.5</b>	<b>27.5</b>	<b>142.1</b>	<b>78.2</b>	<b>30.4</b>	<b>97.9</b>	<b>21.1</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	30.19	16.41	33.51	32.93	40.05	30.68	31.06	21.94	29.22	34.31	36.53	22.30	38.93
Neighborhood crime.....	30.85	23.91	16.84	66.11	40.18	31.94	27.84	19.59	25.60	32.42	31.98	27.75	49.30
Any condition(s).....	45.55	29.72	41.21	66.11	60.90	45.92	42.97	32.85	41.36	49.73	53.39	38.28	59.76
Both conditions present.....	15.49	10.60	9.14	32.93	19.33	16.69	15.93	8.68	13.46	17.00	15.11	11.77	28.47
No conditions present.....	54.23	70.28	58.79	33.89	39.10	54.08	56.87	67.15	58.48	49.99	46.61	61.25	40.24
Not reported.....	.23	-	-	-	-	-	.17	-	.16	.29	-	.47	-
<b>Condition Botherome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	16.92	13.46	4.87	10.42	25.29	13.79	18.17	9.73	15.73	18.16	21.02	12.18	27.04
Neighborhood crime.....	24.22	13.50	16.84	57.86	28.27	24.56	23.63	14.67	20.56	25.64	26.71	21.39	39.43
Unsatisfactory neighborhood shopping.....	10.02	20.63	6.38	-	11.35	6.34	9.09	8.24	9.55	13.13	3.44	11.06	6.56
Unsatisfactory public elementary school.....	3.86	-	-	9.40	3.95	4.17	3.89	-	4.43	7.66	1.73	4.14	5.08
Unsatisfactory public transportation.....	3.71	2.95	3.42	23.79	4.11	8.03	1.94	3.74	3.42	5.65	2.29	4.04	4.76
Any condition(s).....	41.48	40.03	25.12	57.86	50.72	37.76	39.70	28.69	37.94	48.17	41.37	40.39	50.04
Two or more conditions.....	14.57	10.50	6.37	33.18	19.65	18.21	13.43	6.18	13.60	19.41	12.72	10.16	28.76
<b>Conditions so Objectable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	8.08	1.55	-	10.42	16.00	11.70	8.13	3.02	7.32	10.41	11.26	5.85	13.38
Neighborhood crime.....	13.39	6.00	9.19	33.18	16.97	15.05	13.12	3.49	12.36	16.75	12.55	10.25	23.37
Unsatisfactory public elementary school.....	2.26	-	-	9.40	1.23	3.00	2.31	-	2.59	4.69	1.73	2.18	1.27
Any condition(s).....	17.24	6.00	9.19	33.18	21.48	19.94	15.86	5.96	15.68	21.82	18.14	13.40	27.24
Two or more conditions.....	6.00	1.55	-	18.82	11.49	9.82	6.97	.55	6.15	9.02	6.81	4.38	10.13
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.23	-	-	-	-	-	.17	-	.16	.29	-	.47	-
Neighborhood crime.....	.44	-	-	-	-	-	.17	-	.59	.57	-	.87	1.06
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	51.10	45.42	47.58	51.53	47.63	55.36	68.98	1.10	55.47	79.81	38.26	47.14	61.87
Satisfactory public elementary school.....	40.06	35.14	47.58	27.81	42.40	45.67	55.99	1.10	40.74	64.85	26.41	37.91	52.17
Unsatisfactory public elementary school.....	3.86	-	-	9.40	3.95	4.17	3.89	-	4.43	7.66	1.73	4.14	5.08
So bothered they want to move.....	2.26	-	-	9.40	1.23	3.00	2.31	-	2.59	4.69	1.73	2.18	1.27
Not reported.....	.11	-	-	-	1.41	-	.17	-	.23	.21	-	.33	-
Not reported or don't know.....	7.17	10.28	-	14.32	1.27	5.52	9.09	-	10.30	7.31	10.12	5.09	4.62
Public elementary school less than 1 mile.....	33.78	28.22	24.49	51.53	30.89	43.72	48.42	1.10	37.24	53.27	28.90	28.10	49.16
Public elementary school 1 mile or more.....	16.15	19.20	23.09	-	16.74	11.23	18.96	-	16.62	25.68	8.56	17.48	12.70
Not reported.....	1.18	-	-	-	-	.41	1.60	-	1.60	.87	.80	1.56	-
Households without children aged 0-16.....	48.90	54.58	52.42	48.47	52.37	44.64	31.02	96.90	44.53	20.19	61.74	52.86	38.13
Households with children aged 4-16.....	41.92	33.80	44.38	37.21	42.43	43.08	57.84	1.10	42.25	66.16	26.23	40.04	54.81
Attend public school (K-12).....	36.37	27.05	30.83	37.21	37.58	39.50	51.99	1.10	36.37	59.18	22.79	34.56	48.63
Attend private school (K-12).....	2.11	1.40	1.99	-	3.49	1.87	1.61	-	1.40	1.20	1.32	1.05	2.77
Attend ungraded school, preschool, etc.....	1.29	-	13.55	-	-	-	1.87	-	2.45	2.00	2.23	1.78	-
Does not attend school.....	1.33	2.93	-	-	.17	1.20	1.39	-	1.37	1.98	1.88	.98	1.06
Not reported.....	1.32	2.41	-	-	1.19	.51	2.08	-	1.33	2.46	-	1.67	1.35
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	75.78	48.25	59.79	91.75	71.96	88.73	75.54	75.38	77.18	81.75	94.05	65.01	92.28
Household uses it at least weekly.....	13.96	2.95	11.73	48.53	18.21	22.72	21.40	17.37	14.93	24.68	17.59	14.25	23.76
Satisfactory public transportation.....	12.43	2.95	11.73	24.74	18.27	17.19	20.32	16.49	13.12	22.56	17.13	12.69	21.15
Unsatisfactory public transportation.....	1.41	-	-	23.79	-	4.83	.92	.68	1.71	2.13	-	1.56	2.61
Not reported.....	.12	-	-	-	1.94	.69	.15	-	.10	-	.46	-	-
Household uses it less than weekly.....	17.28	12.67	24.36	9.40	13.44	21.31	19.16	13.24	17.09	22.80	13.79	18.34	19.19
Satisfactory public transportation.....	15.04	11.15	20.96	9.40	9.33	18.11	18.47	10.89	15.58	19.45	12.02	13.69	17.89
Unsatisfactory public transportation.....	2.12	1.52	3.42	-	4.11	3.20	.69	2.35	1.50	3.35	1.77	2.48	1.50
Not reported.....	.10	-	-	-	-	-	-	-	-	-	.17	-	-
Household does not use.....	44.38	31.20	23.68	33.82	40.31	44.70	34.66	44.27	44.96	34.10	62.14	34.42	48.68
Not reported.....	.18	1.43	-	-	-	-	.32	.50	.21	.18	.52	-	.65
No public transportation.....	23.69	51.75	40.21	8.25	28.04	11.27	24.29	24.62	22.38	17.96	5.95	33.84	7.72
Not reported.....	.52	-	-	-	-	-	.17	-	.44	.29	-	1.15	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	89.62	79.37	93.84	100.00	88.65	93.66	90.75	91.78	90.18	86.58	96.56	88.06	93.44
Less than 1 mile.....	72.52	64.32	56.97	100.00	65.36	84.19	72.83	73.71	72.37	65.99	85.78	68.70	77.40
1 mile or more.....	16.67	15.05	36.67	-	23.29	9.46	17.91	18.06	18.92	20.11	9.99	18.45	15.38
Not reported.....	.42	-	-	-	-	-	-	-	.89	.49	.80	.91	.66
Unsatisfactory neighborhood shopping.....	10.02	20.63	6.38	-	11.35	6.34	9.09	8.24	9.55	13.13	3.44	11.06	6.56
Not reported or don't know.....	.36	-	-	-	-	-	.17	-	.27	.29	-	.89	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 4-4. Neighborhood Quality—Occupied Units with Black Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	<b>64.8</b>	<b>32.4</b>	<b>32.3</b>	<b>4.5</b>	<b>-</b>	<b>1.4</b>	<b>1.3</b>	<b>7.8</b>	<b>19.4</b>	<b>12.5</b>	<b>4.1</b>	<b>15.0</b>	<b>9.0</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	32.06	33.44	30.68	15.30	...	62.94	29.65	47.69	25.20	37.41	64.86	28.60	45.27
Neighborhood crime .....	29.15	26.38	31.94	20.96	...	73.14	51.24	19.93	24.16	30.85	26.34	27.60	46.78
Any condition(s) .....	43.81	41.72	45.82	30.96	...	73.14	64.03	52.63	39.30	49.48	64.86	40.67	65.08
Both conditions present .....	17.40	18.10	16.69	5.31	...	62.94	16.85	14.99	10.06	18.88	28.34	15.53	28.98
No conditions present .....	58.19	58.28	54.08	69.04	...	28.86	35.97	47.37	60.70	50.52	35.14	59.33	34.92
Not reported .....	-	-	-	-	...	-	-	-	-	-	-	-	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	17.65	21.48	13.79	15.30	...	38.51	16.85	19.43	11.96	12.73	51.35	11.20	30.07
Neighborhood crime .....	22.84	21.13	24.56	5.31	...	73.14	40.56	13.24	18.33	25.38	22.50	17.70	39.61
Unsatisfactory neighborhood shopping .....	8.86	11.37	6.34	5.00	...	-	-	12.33	5.50	9.89	-	16.26	9.20
Unsatisfactory public elementary school .....	5.39	6.62	4.17	-	...	10.20	-	-	1.91	7.15	4.03	2.71	6.65
Unsatisfactory public transportation .....	5.28	2.55	8.03	5.37	...	25.82	11.44	4.82	11.03	11.74	-	7.02	6.17
Any condition(s) .....	39.62	41.47	37.76	25.67	...	73.14	40.56	34.64	31.97	43.41	55.38	39.36	49.79
Two or more conditions .....	17.65	17.09	18.21	5.31	...	63.22	28.29	15.18	15.91	19.87	22.50	14.45	33.04
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	10.08	8.46	11.70	-	...	11.31	16.85	-	8.10	9.74	24.77	4.34	11.57
Neighborhood crime .....	11.58	8.12	15.05	-	...	36.02	26.29	3.92	10.10	14.87	9.41	7.59	21.46
Unsatisfactory public elementary school .....	3.51	4.03	3.00	-	...	10.20	-	-	1.91	7.15	4.03	-	5.15
Any condition(s) .....	16.81	13.69	19.94	-	...	36.02	28.29	3.92	12.72	23.50	28.60	7.59	24.82
Two or more conditions .....	7.85	5.89	9.82	-	...	21.51	16.85	-	7.40	8.26	9.41	4.34	9.68
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	-	-	-	-	...	-	-	-	-	-	-	-	-
Neighborhood crime .....	-	-	-	-	...	-	-	-	-	-	-	-	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	52.92	50.49	55.36	59.02	...	48.98	76.52	14.58	55.99	85.14	36.52	44.79	58.40
Satisfactory public elementary school .....	41.48	37.30	45.67	43.78	...	21.24	76.52	14.58	48.54	71.87	14.98	38.26	48.39
Unsatisfactory public elementary school .....	5.39	6.62	4.17	-	...	10.20	-	-	1.91	7.15	4.03	2.71	6.65
So bothered they want to move .....	3.51	4.03	3.00	-	...	10.20	-	-	1.91	7.15	4.03	-	5.15
Not reported .....	-	-	-	-	...	-	-	-	-	-	-	-	-
Not reported or don't know .....	6.05	6.57	5.52	15.26	...	15.54	-	-	7.54	6.13	17.51	3.82	3.36
Public elementary school less than 1 mile .....	41.21	38.70	43.72	43.68	...	48.98	76.52	12.46	41.35	62.31	17.34	32.94	48.12
Public elementary school 1 mile or more .....	11.30	11.37	11.23	15.35	...	-	-	2.12	13.96	21.76	19.18	11.85	8.78
Not reported .....	.41	.42	.41	-	...	-	-	-	.68	1.08	-	-	1.50
Households without children aged 0-16 .....	47.08	49.51	44.64	40.98	...	53.02	23.48	85.42	44.01	14.86	63.48	55.21	41.60
Households with children aged 4-16 .....	43.48	43.89	43.08	44.07	...	31.44	76.52	14.58	44.89	67.21	24.84	40.99	54.05
Attend public school (K-12) .....	39.27	39.04	39.50	44.07	...	31.44	76.52	14.58	42.05	64.81	24.84	38.26	44.10
Attend private school (K-12) .....	3.08	4.29	1.87	-	...	-	-	-	-	-	-	2.73	8.45
Attend ungraded school, preschool, etc .....	-	-	-	-	...	-	-	-	-	-	-	-	-
Does not attend school .....	1.25	1.30	1.20	-	...	-	-	-	1.99	-	-	-	-
Not reported .....	.48	.42	.51	-	...	-	-	-	.85	2.40	-	-	1.50
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	81.07	73.44	88.73	66.30	...	100.00	87.21	76.74	86.54	89.27	94.11	70.16	98.11
Household uses it at least weekly .....	17.04	11.39	22.72	5.00	...	52.67	65.09	22.68	22.50	27.35	7.40	12.17	25.19
Satisfactory public transportation .....	13.36	9.54	17.19	5.00	...	26.86	48.23	17.87	15.54	20.55	7.40	8.40	20.71
Unsatisfactory public transportation .....	3.34	1.85	4.83	-	...	25.82	-	4.82	6.96	6.80	-	3.77	4.48
Not reported .....	.35	-	.69	-	...	-	16.85	-	-	-	-	-	-
Household uses it less than weekly .....	15.28	9.28	21.31	20.77	...	10.20	11.44	16.13	21.40	23.58	5.84	12.05	25.92
Satisfactory public transportation .....	13.69	9.28	18.11	15.39	...	10.20	-	16.13	17.34	18.65	5.84	8.81	24.23
Unsatisfactory public transportation .....	1.60	-	3.20	5.37	...	-	-	-	4.07	4.94	-	3.25	1.69
Not reported .....	-	-	-	-	...	-	-	-	-	-	-	-	-
Household does not use .....	48.40	52.07	44.70	40.54	...	37.13	10.68	37.93	42.64	38.34	80.87	45.93	47.00
Not reported .....	.35	.70	-	-	...	-	-	-	-	-	-	-	-
No public transportation .....	18.93	26.56	11.27	33.70	...	-	-	-	-	-	-	-	-
Not reported .....	-	-	-	-	...	-	12.79	23.26	13.46	10.73	5.89	29.84	1.89
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	91.14	88.63	93.66	95.00	...	100.00	100.00	87.67	94.50	90.11	100.00	83.74	90.80
Less than 1 mile .....	78.08	71.99	84.19	72.22	...	100.00	100.00	73.94	78.90	75.51	100.00	69.29	86.07
1 mile or more .....	12.71	15.84	9.46	22.78	...	-	-	13.73	15.59	14.59	-	14.44	4.72
Not reported .....	.35	.70	-	-	...	-	-	-	-	-	-	-	-
Unsatisfactory neighborhood shopping .....	8.86	11.37	6.34	5.00	...	-	-	12.33	5.50	9.89	-	16.26	9.20
Not reported or don't know .....	-	-	-	-	...	-	-	-	-	-	-	-	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	<b>207.0</b>	<b>115.4</b>	<b>91.5</b>	<b>15.5</b>	<b>12.8</b>	<b>.5</b>	<b>6.6</b>	<b>17.1</b>	<b>62.2</b>	<b>48.6</b>	<b>20.3</b>	<b>72.6</b>	<b>15.4</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	26.55	22.98	31.06	18.45	22.09	-	54.02	29.86	28.30	30.83	22.19	20.36	51.73
Neighborhood crime.....	25.43	23.52	27.84	14.29	17.14	100.00	29.35	20.27	22.09	26.20	23.84	21.21	51.14
Any condition(s).....	37.74	33.80	42.97	25.89	29.82	100.00	65.56	36.13	36.86	40.23	35.36	31.60	62.02
Both conditions present.....	14.24	12.89	15.93	6.85	9.40	-	17.82	14.00	13.53	16.80	10.67	9.97	40.84
No conditions present.....	62.18	66.40	56.87	74.11	70.18	-	34.44	63.87	63.14	59.77	64.64	68.19	37.98
Not reported.....	.07	-	.17	-	-	-	-	-	-	-	-	.21	-
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	16.14	14.53	18.17	9.66	4.25	-	25.31	18.99	13.90	15.60	15.54	11.08	37.28
Neighborhood crime.....	21.60	19.98	23.63	14.29	9.40	75.89	22.80	14.42	18.19	23.82	23.03	17.57	46.37
Unsatisfactory neighborhood shopping .....	10.05	10.81	9.09	20.69	5.84	-	7.53	9.11	9.57	11.85	3.10	12.00	10.94
Unsatisfactory public elementary school .....	4.50	4.99	3.89	2.98	2.09	-	-	-	4.44	3.71	2.11	5.70	4.64
Unsatisfactory public transportation .....	1.34	.87	1.94	1.43	-	-	-	-	1.76	1.88	1.63	.78	1.85
Any condition(s).....	37.64	36.01	39.70	37.82	19.30	75.89	37.82	33.37	35.07	36.53	32.21	34.53	59.25
Two or more conditions.....	13.62	13.78	13.43	11.23	2.09	-	17.82	8.90	10.86	14.77	11.45	11.26	37.13
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	7.38	6.78	8.13	3.93	2.09	-	18.06	5.25	5.61	9.13	9.98	5.70	19.91
Neighborhood crime.....	11.20	9.69	13.12	6.82	2.09	-	15.75	3.44	9.25	14.58	12.43	8.53	24.50
Unsatisfactory public elementary school .....	2.19	2.10	2.31	2.98	2.09	-	-	-	1.85	1.90	2.11	2.91	2.73
Any condition(s).....	14.04	12.59	15.86	9.80	4.18	-	18.06	7.68	11.47	16.44	14.37	11.40	33.35
Two or more conditions.....	6.42	5.66	6.97	3.93	2.09	-	15.75	1.01	4.99	8.44	9.25	5.27	12.91
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.07	-	.17	-	-	-	-	-	-	-	-	.21	-
Neighborhood crime.....	.19	.21	.17	-	-	-	-	-	-	-	-	.55	-
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	67.70	66.70	68.98	70.54	50.81	24.11	71.52	6.54	72.28	79.10	69.49	66.52	73.63
Satisfactory public elementary school.....	55.28	54.71	55.99	57.12	39.96	24.11	69.30	6.54	56.53	69.71	52.12	53.00	67.10
Unsatisfactory public elementary school .....	4.50	4.99	3.89	2.98	2.09	-	-	-	4.44	3.71	2.11	5.70	4.64
So bothered they want to move.....	2.19	2.10	2.31	2.98	2.09	-	-	-	1.85	1.90	2.11	2.91	2.73
Not reported.....	.19	.20	.17	-	-	-	-	-	.25	-	-	.22	-
Not reported or don't know.....	7.92	6.99	9.09	10.43	8.76	-	2.22	-	11.31	5.68	15.27	7.82	1.89
Public elementary school less than 1 mile.....	48.85	49.19	48.42	40.10	27.74	24.11	52.36	3.01	51.03	55.58	53.36	39.11	53.63
Public elementary school 1 mile or more.....	17.89	17.05	18.96	30.44	23.08	-	19.16	3.53	20.04	23.17	16.13	26.09	20.00
Not reported.....	.96	.46	1.60	-	-	-	-	-	1.20	.34	-	1.32	-
Households without children aged 0-16 .....	32.30	33.30	31.02	29.46	49.19	75.89	28.48	93.46	27.72	20.90	30.51	33.48	26.37
Households with children aged 4-16.....	58.07	58.28	57.84	61.66	38.57	24.11	67.07	6.54	56.80	69.85	53.50	57.47	65.08
Attend public school (K-12).....	49.99	48.40	51.99	52.66	21.30	24.11	62.30	6.54	50.67	64.46	45.78	47.73	60.76
Attend private school (K-12).....	3.80	5.54	1.61	4.31	2.09	-	2.40	-	4.49	.35	6.13	2.32	-
Attend ungraded school, preschool, etc.....	1.91	2.10	1.67	-	15.18	-	-	-	4.08	2.02	2.15	3.91	-
Does not attend school.....	1.18	1.01	1.39	4.69	-	-	.30	-	1.20	1.21	1.59	1.99	-
Not reported.....	1.58	1.20	2.06	-	-	-	2.07	-	1.07	1.81	-	1.52	4.32
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	69.47	64.67	75.54	60.72	74.24	75.89	71.19	65.82	74.04	76.59	87.03	62.19	89.61
Household uses it at least weekly.....	12.15	4.82	21.40	5.61	7.33	-	18.54	7.73	17.95	23.97	21.42	13.28	23.94
Satisfactory public transportation.....	11.49	4.48	20.32	5.61	7.33	-	18.54	7.73	16.84	23.33	20.74	11.98	22.99
Unsatisfactory public transportation.....	.60	.34	.92	-	-	-	-	-	.88	.64	-	1.30	.95
Not reported.....	.07	-	.15	-	-	-	-	-	.22	-	.69	-	-
Household uses it less than weekly.....	16.76	14.86	19.18	22.26	14.52	-	13.91	6.78	16.92	17.66	12.85	16.08	8.38
Satisfactory public transportation.....	16.03	14.10	18.47	20.83	12.43	-	9.86	5.82	16.40	16.97	12.85	14.83	8.38
Unsatisfactory public transportation.....	.60	.53	.69	1.43	-	-	-	.95	.52	.69	-	.88	-
Not reported.....	.13	.23	-	-	2.09	-	4.05	-	-	-	-	.37	-
Household does not use.....	40.42	44.99	34.66	32.84	52.39	75.89	36.74	50.50	38.70	34.66	51.97	32.82	56.39
Not reported.....	.14	-	.32	-	-	-	-	.81	.48	.30	.78	-	.90
No public transportation.....	30.45	35.33	24.29	39.28	25.76	24.11	28.81	34.18	25.96	23.41	12.97	37.60	10.39
Not reported.....	.07	-	.17	-	-	-	-	-	-	-	-	.21	-
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	89.88	89.19	90.75	79.31	94.36	100.00	92.47	90.89	90.43	88.35	96.90	87.79	89.06
Less than 1 mile.....	72.13	71.56	72.83	50.67	72.37	100.00	58.06	71.00	73.49	68.45	82.99	67.25	74.82
1 mile or more.....	17.62	17.39	17.91	28.64	19.90	-	34.41	19.89	16.51	19.33	13.90	20.17	14.24
Not reported.....	1.13	.23	-	-	2.09	-	-	-	.43	.58	-	.37	-
Unsatisfactory neighborhood shopping.....	10.05	10.81	9.09	20.69	5.84	-	7.53	9.11	9.57	11.65	3.10	12.00	10.94
Not reported or don't know.....	.07	-	.17	-	-	-	-	-	-	-	-	.21	-

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 6-1. General Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	1 015.4	882.4	575.8	306.5	133.0	16.6	11.1	5.9	5.1	5.6
<b>Units in Structure</b>										
1, detached.....	645.5	577.1	480.3	116.8	68.4	6.0	3.3	1.0	2.3	2.8
1, attached.....	41.7	24.7	11.4	13.3	17.0	.2	-.	-.	-.	.2
2 to 4.....	83.3	71.5	6.3	65.2	11.8	2.4	1.6	.2	1.5	.7
5 to 9.....	54.7	48.2	4.4	43.8	6.5	1.9	.6	-.	.6	.3
10 to 19.....	42.5	34.6	2.4	32.2	7.9	.8	-.	-.	.6	.2
20 to 49.....	22.1	17.0	.4	18.8	5.1	.2	-.	-.	.2	-.
50 or more.....	8.8	7.0	.7	8.4	1.8	-.	-.	-.	-.	-.
Mobile home or trailer.....	116.7	102.3	90.1	12.3	14.4	6.1	4.7	4.7	-.	1.4
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994.....	40.4	23.7	14.8	8.9	16.6	.4	.4	.3	.2	-.
1985 to 1989.....	231.4	206.8	130.9	75.7	24.8	.4	.1	.1	-.	.3
1980 to 1984.....	86.7	72.4	49.6	22.8	14.3	.8	.8	.8	-.	-.
1975 to 1979.....	139.7	123.8	94.8	28.9	15.9	1.1	.4	.3	.2	.7
1970 to 1974.....	95.7	80.4	54.4	26.0	15.4	1.9	.7	.6	.2	1.1
1960 to 1969.....	227.4	204.8	134.8	70.0	22.6	6.2	4.7	2.3	2.4	1.6
1950 to 1959.....	103.6	91.9	55.9	36.0	11.7	3.9	2.1	1.1	1.0	1.9
1940 to 1949.....	56.5	49.9	28.0	23.9	6.6	2.0	1.4	.6	.8	.6
1930 to 1939.....	24.2	20.6	9.3	11.3	3.8	.4	-.	-.	-.	.4
1920 to 1929.....	5.7	4.9	3.2	1.7	.8	-.	-.	-.	-.	-.
1919 or earlier.....	4.1	3.3	2.1	1.2	.8	-.	-.	-.	-.	-.
Median.....	1973	1973	1975	1971	1974	1962	1963	1965	...	1959
<b>Rooms</b>										
1 room.....	4.1	2.7	-.	2.7	1.4	.5	.2	-.	.2	.3
2 rooms.....	7.9	5.6	1.3	4.3	2.2	1.1	.2	-.	.2	1.0
3 rooms.....	102.2	82.6	21.0	61.6	19.6	7.3	5.7	4.2	1.5	1.6
4 rooms.....	213.9	173.5	80.1	113.4	40.5	4.3	2.8	1.7	.9	1.7
5 rooms.....	214.5	188.7	122.7	64.0	27.8	1.7	1.3	-.	1.3	.4
6 rooms.....	205.7	184.5	148.1	36.4	21.2	1.1	.5	-.	.5	.6
7 rooms.....	141.7	129.7	113.5	16.1	12.0	.6	.6	-.	.6	-.
8 rooms.....	85.0	79.9	74.4	5.5	5.1	-.	-.	-.	-.	-.
9 rooms.....	27.1	24.8	22.4	2.2	2.4	-.	-.	-.	-.	-.
10 rooms or more.....	13.3	12.6	12.3	.3	.7	-.	-.	-.	-.	-.
Median.....	6.3	5.4	6.1	4.2	4.6	3.4	3.4	3.2	...	3.4
<b>Bedrooms</b>										
None.....	6.8	7.2	.6	6.8	2.6	1.3	.2	-.	.2	1.1
1.....	132.2	108.8	31.2	77.6	23.4	7.9	6.4	4.5	1.8	1.5
2.....	350.6	288.3	148.2	140.1	62.3	4.2	2.7	1.4	1.4	1.5
3.....	357.9	326.0	260.8	65.2	31.9	2.3	1.3	-.	1.3	1.0
4 or more.....	163.9	152.1	135.0	17.1	11.8	1.5	.5	-.	.5	-.
Median.....	2.5	2.6	2.9	2.0	2.1	1.4	1.3	1.2	...	...
<b>Complete Bathrooms</b>										
None.....	4.9	3.1	1.8	1.4	1.7	1.0	.2	-.	.2	.8
1.....	358.7	306.8	118.6	188.2	51.9	13.6	9.9	5.9	4.0	3.7
1 and one-half.....	89.7	80.8	56.5	24.3	8.8	.2	.2	-.	.2	-.
2 or more.....	582.1	491.6	399.0	92.6	70.5	1.9	.8	-.	.8	1.0
<b>Air Conditioning</b>										
No air conditioning.....	194.9	155.8	95.8	60.0	39.1	7.3	4.5	1.8	2.6	2.8
With air conditioning.....	820.5	726.6	480.0	246.8	93.9	9.4	6.6	4.1	2.5	2.8
Central.....	616.6	539.0	388.4	150.6	77.8	2.7	1.4	.9	.5	1.3
1 room unit.....	168.2	151.1	71.0	80.1	15.1	5.6	4.1	2.5	1.5	1.5
2 room units.....	30.9	29.8	15.1	14.7	1.1	1.2	1.2	.7	.5	-.
3 room units or more.....	6.8	6.8	5.5	1.2	-.	-.	-.	-.	-.	-.
<b>Main Heating Equipment</b>										
Warm-air furnace.....	657.5	573.5	427.8	145.7	64.0	7.8	6.1	4.6	1.5	1.7
Steam or hot water system.....	.1	.1	.1	-.	-.	-.	-.	-.	-.	-.
Electric heat pump.....	32.5	27.7	13.0	14.6	4.8	.7	-.	-.	-.	.7
Built-in electric units.....	55.6	45.4	18.2	27.2	10.3	.5	.5	.2	.3	-.
Floor, wall, or other built-in hot air units without ducts.....	200.3	173.3	78.3	97.0	27.0	5.0	2.3	.2	2.1	2.8
Room heaters with flue.....	13.2	12.2	6.0	4.2	1.0	.9	.9	.8	.3	-.
Room heaters without flue.....	1.6	1.6	1.2	.7	-.	-.	-.	-.	-.	-.
Portable electric heaters.....	9.5	8.9	4.9	4.0	.8	.8	.8	.3	.3	-.
Stoves.....	13.5	11.6	7.6	4.0	1.9	.7	.7	-.	.7	-.
Fireplaces with inserts.....	6.7	5.7	5.1	.7	-.	-.	-.	-.	-.	-.
Fireplaces without inserts.....	12.7	10.4	7.1	3.3	2.3	.2	.2	.2	-.	-.
Other.....	6.0	6.0	4.4	1.6	-.	-.	-.	-.	-.	-.
None.....	6.8	5.7	2.1	3.6	1.1	.4	-.	-.	-.	.4
<b>Main House Heating Fuel</b>										
Housing units with heating fuel.....										
Electricity.....	144.0	119.9	51.3	68.6	24.1	2.0	1.2	.4	.8	.8
Piped gas.....	784.7	689.1	476.8	212.3	95.6	10.7	6.9	3.4	3.5	3.8
Bottled gas.....	24.3	19.9	14.6	5.3	4.4	2.0	1.4	1.4	-.	.5
Fuel oil.....	8.9	7.0	1.1	5.9	1.9	-.	-.	-.	-.	-.
Kerosene or other liquid fuel.....	6.1	5.3	3.9	1.4	.8	.2	.2	-.	.2	-.
Coal or coke.....	-.	-.	-.	-.	-.	-.	-.	-.	-.	-.
Wood.....	35.6	31.2	22.6	8.7	4.3	.8	.8	.2	.7	-.
Solar energy.....	1.0	.8	.2	.4	.4	-.	-.	-.	-.	-.
Other.....	4.1	3.8	3.3	.2	.5	.5	.5	.5	-.	-.

**Table 6-1. General Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units				Year-round housing units removed					
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
Total .....	---	882.4	575.8	306.5	---	---	11.1	5.9	5.1	---
<b>Race and Origin</b>										
White .....	---	773.4	521.0	252.3	---	---	10.6	5.8	4.8	---
Non-Hispanic .....	---	635.2	443.6	191.6	---	---	8.9	5.3	3.6	---
Hispanic .....	---	138.1	77.4	60.7	---	---	1.7	.4	1.2	---
Black .....	---	56.1	24.9	31.2	---	---	.2	-	.2	---
Other .....	---	52.9	29.9	23.0	---	---	.3	.2	.2	---
Total Hispanic .....	---	159.5	86.7	72.9	---	---	1.8	.4	1.4	---
<b>Persons Per Room</b>										
0.50 or less .....	---	529.7	386.5	143.1	---	---	5.5	3.0	2.4	---
0.51 to 1.00 .....	---	308.5	174.1	134.3	---	---	5.0	2.9	2.0	---
1.01 to 1.50 .....	---	38.4	13.2	23.2	---	---	.5	-	.5	---
1.51 or more .....	---	7.8	2.0	5.9	---	---	.2	-	.2	---
<b>Selected Subareas<sup>2</sup></b>										
Area one .....	---	87.2	50.3	36.9	---	---	.3	.3	-	---
Area two .....	---	322.7	229.8	93.0	---	---	6.1	4.6	1.5	---
Area three .....	---	52.3	26.2	26.0	---	---	.8	.4	.3	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.  
<sup>2</sup>See inside back cover for details.

Table 6-2. Quality Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	1 015.4	682.4	575.8	306.5	133.0	16.8	11.1	5.9	5.1	5.8
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	1.6	1.4	.1	1.2	.2	-	-	-	-	-
Missing roofing material .....	7.2	6.1	3.1	3.0	1.1	.2	.2	-	.2	-
Hole in roof .....	.8	.8	-	.8	-	-	-	-	-	-
Could not see roof .....	17.3	15.0	7.9	7.1	2.3	1.3	.6	.3	.3	.7
Missing bricks, siding, other outside wall material ..	6.1	5.1	3.0	2.1	1.0	-	-	.3	-	-
Sloping outside walls .....	1.8	1.8	1.4	.4	-	-	-	-	-	-
Boarded up windows .....	3.5	1.8	.5	1.3	1.7	-	-	-	-	-
Broken windows .....	9.3	7.8	3.0	4.9	1.5	.2	.2	-	.2	-
Bars on windows .....	3.6	3.4	2.8	.6	.3	5.5	-	-	-	.5
Foundation crumbling or has open crack or hole ..	5.4	4.3	1.4	3.0	1.1	3.3	.1	-	.1	.2
Could not see foundation .....	28.6	28.0	17.4	8.8	3.7	7.7	.2	-	.2	.5
None of the above .....	941.7	819.9	539.2	280.6	121.8	13.7	9.9	5.4	4.5	3.8
Could not observe or not reported .....	13.9	10.5	7.9	2.6	3.4	1.2	.2	.2	-	1.0
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	857.0	749.3	520.6	228.7	107.7	9.2	6.8	4.0	2.9	2.4
Not reported .....	4.0	1.1	.3	.9	.9	.8	-	-	-	.8
Usable fireplace .....	475.0	412.9	345.7	67.2	62.1	2.1	1.5	.2	1.4	.8
Separate dining room .....	411.3	367.8	288.4	79.4	43.5	1.9	1.3	.2	1.1	.6
With 2 or more living rooms or recreation rooms, etc. ....	352.7	316.0	280.2	35.8	36.7	1.9	1.0	.2	.8	.9
Garage or carport included with home .....	783.7	735.3	518.5	216.9	48.4	5.1	4.8	2.6	2.2	.3
Garage or carport not included .....	158.8	142.2	54.6	87.6	14.5	7.4	6.3	3.3	3.0	1.1
Offstreet parking included .....	130.8	116.1	49.1	69.0	12.6	6.9	5.8	3.3	2.5	1.1
Offstreet parking not reported .....	9.5	9.2	1.1	8.1	.2	1.1	.1	-	.1	-
Garage or carport not reported .....	20.1	4.8	2.8	2.1	15.3	.4	-	-	-	.4
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	22.0	13.2	8.8	...	...	.2	-	.2	...
Holes in floors .....	9.4	8.4	3.8	4.6	1.0	.2	-	-	-	.2
Open cracks or holes (interior) .....	43.4	40.5	16.5	24.0	2.9	1.2	.7	-	.7	.8
Broken plaster or peeling paint (interior) .....	35.0	31.5	15.1	16.4	3.5	1.1	.5	-	.5	.6
No electrical wiring .....	.5	-	-	-	.5	.4	-	-	-	.4
Exposed wiring .....	15.5	14.0	7.0	7.0	1.5	.2	.2	-	.2	-
Rooms without electric outlets .....	18.3	16.5	6.9	9.8	1.8	.7	.6	.2	.3	.2
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	26.8	22.2	9.3	12.9	4.6	.4	.4	-	.4	-
About the same .....	730.3	645.3	435.5	209.8	85.1	4.8	3.7	2.0	1.7	1.1
Newer .....	22.7	19.5	12.8	6.7	3.2	-	-	-	-	-
Vary mixed .....	205.3	171.3	104.1	67.1	34.1	8.6	6.3	4.0	2.4	2.2
No other residential buildings .....	22.2	18.5	11.1	7.4	3.7	1.7	.5	-	.5	1.3
Not reported .....	8.0	5.7	3.0	2.7	2.3	1.2	.2	-	.2	1.0
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	962.6	841.2	552.4	288.8	121.7	13.9	10.3	5.9	4.4	3.6
1 Building .....	10.2	8.3	3.2	5.1	1.9	.2	.2	-	.2	-
More than 1 building .....	8.2	6.4	3.0	3.4	1.8	.1	.1	-	.1	-
No buildings within 300 feet .....	18.8	15.8	11.1	4.7	3.0	1.3	.3	-	.3	1.0
Not reported .....	15.4	10.7	6.1	4.6	4.7	1.1	.2	-	.2	1.0
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet .....	981.2	855.9	558.6	297.3	125.3	14.2	10.6	5.9	4.7	3.6
No bars on windows .....	908.3	790.1	519.5	270.6	118.2	12.6	9.5	5.7	3.8	3.1
1 building with bars .....	28.9	25.7	17.5	8.2	3.2	-	-	-	-	-
2 or more buildings with bars .....	37.3	34.0	17.8	16.2	3.3	1.2	.7	-	.7	.5
Not reported .....	6.7	6.1	3.8	2.3	.6	.4	.4	.2	.2	-
<b>Conditions of Streets</b>										
No repairs needed .....	797.2	700.0	456.7	243.3	97.1	10.8	8.2	4.8	3.4	2.6
Minor repairs needed .....	151.6	128.2	81.9	46.3	23.4	3.5	2.4	1.0	1.4	1.1
Major repairs needed .....	48.5	40.2	28.6	11.6	8.3	1.2	.4	.2	.2	.9
No streets within 300 feet .....	11.9	10.4	6.4	4.0	1.5	1.1	.1	-	.1	-
Not reported .....	6.2	3.5	2.2	1.3	2.7	1.0	-	-	-	1.0
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	817.2	715.3	493.3	222.0	101.9	9.8	7.2	4.8	2.4	2.6
Minor accumulation .....	188.2	142.1	69.0	73.1	26.0	3.7	2.3	.8	1.7	1.4
Major accumulation .....	23.3	20.6	10.8	10.1	2.7	2.2	1.6	.6	1.0	.6
Not reported .....	6.7	4.3	2.9	1.4	2.3	1.0	-	-	-	1.0

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	---	<b>682.4</b>	<b>575.8</b>	<b>306.5</b>	---	---	<b>11.1</b>	<b>5.9</b>	<b>5.1</b>	---
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100 .....	---	16.8	16.0	.7	---	---	1.8	1.8	---	---
\$100 to \$199 .....	---	75.5	68.2	9.3	---	---	1.5	1.5	---	---
\$200 to \$249 .....	---	47.8	38.7	9.2	---	---	1.4	.7	.7	---
\$250 to \$299 .....	---	30.5	23.4	7.1	---	---	.5	.5	---	---
\$300 to \$349 .....	---	33.0	22.1	10.9	---	---	.5	.5	---	---
\$350 to \$399 .....	---	41.0	21.7	19.3	---	---	.3	---	.3	---
\$400 to \$449 .....	---	32.4	11.4	21.1	---	---	.8	---	.6	---
\$450 to \$499 .....	---	36.6	13.4	23.3	---	---	.9	---	.9	---
\$500 to \$599 .....	---	89.4	26.3	63.2	---	---	.9	---	.9	---
\$600 to \$699 .....	---	77.7	24.5	53.2	---	---	.5	---	.5	---
\$700 to \$799 .....	---	57.7	28.3	29.5	---	---	.6	.3	.3	---
\$800 to \$999 .....	---	90.8	62.5	28.2	---	---	---	---	---	---
\$1000 to \$1249 .....	---	79.9	67.4	12.5	---	---	.2	.2	---	---
\$1250 to \$1499 .....	---	49.6	46.6	3.0	---	---	---	---	---	---
\$1500 or more .....	---	60.8	59.7	1.0	---	---	.3	---	.3	---
No cash rent .....	---	15.1	---	15.1	---	---	.5	---	.5	---
Mortgage payment not reported .....	---	47.8	47.8	---	---	---	.4	.4	---	---
Median (excludes no cash rent) .....	---	609	701	571	---	---	278	159	---	---
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs .....	---	---	730	---	---	---	---	170	---	---
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs .....	---	---	629	---	---	---	---	159	---	---
<b>Rent Reductions</b>										
No subsidy or income reporting .....	---	---	---	272.2	---	---	---	---	---	---
Rent control .....	---	---	---	2.5	---	---	---	---	---	---
No rent control .....	---	---	---	269.0	---	---	---	---	---	---
Reduced by owner .....	---	---	---	17.9	---	---	---	---	---	---
Not reduced by owner .....	---	---	---	248.1	---	---	---	---	---	---
Owner reduction not reported .....	---	---	---	3.1	---	---	---	---	---	---
Rent control not reported .....	---	---	---	.7	---	---	---	---	---	---
Owned by public housing authority .....	---	---	---	8.3	---	---	---	---	---	---
Other, Federal subsidy .....	---	---	---	11.8	---	---	---	---	---	---
Other, State or local subsidy .....	---	---	---	3.7	---	---	---	---	---	---
Other, income verification .....	---	---	---	3.9	---	---	---	---	---	---
Subsidy or income verification not reported .....	---	---	---	6.8	---	---	---	---	---	---
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	<b>682.4</b>	<b>575.8</b>	<b>306.5</b>	---	---	<b>11.1</b>	<b>5.9</b>	<b>5.1</b>	---
<b>Household Income</b>										
Less than \$5,000 .....	---	42.8	20.7	22.1	---	---	1.8	.8	1.2	---
\$5,000 to \$9,999 .....	---	85.4	47.9	47.4	---	---	2.7	1.2	1.5	---
\$10,000 to \$14,999 .....	---	82.6	42.0	40.6	---	---	1.2	.4	.8	---
\$15,000 to \$19,999 .....	---	71.8	34.2	37.6	---	---	1.6	1.0	.6	---
\$20,000 to \$24,999 .....	---	70.1	34.7	35.5	---	---	.5	---	.5	---
\$25,000 to \$29,999 .....	---	78.9	48.5	30.4	---	---	2.3	2.1	.2	---
\$30,000 to \$34,999 .....	---	58.5	36.1	22.4	---	---	---	---	---	---
\$35,000 to \$39,999 .....	---	50.7	35.5	15.2	---	---	.2	.2	---	---
\$40,000 to \$49,999 .....	---	101.3	78.4	24.9	---	---	.7	.3	.5	---
\$50,000 to \$59,999 .....	---	64.7	53.8	10.9	---	---	---	---	---	---
\$60,000 to \$79,999 .....	---	80.2	67.4	12.8	---	---	.2	.2	---	---
\$80,000 to \$99,999 .....	---	41.3	37.3	4.0	---	---	---	---	---	---
\$100,000 to \$119,999 .....	---	17.4	16.3	1.0	---	---	---	---	---	---
\$120,000 or more .....	---	26.6	25.0	1.7	---	---	---	---	---	---
Median .....	---	29 910	38 347	20 784	---	---	14 423	18 749	---	---
<b>As percent of poverty level:</b>										
Less than 50 percent .....	---	40.6	18.4	22.2	---	---	1.2	---	1.2	---
50 to 99 .....	---	67.5	21.7	45.7	---	---	2.2	.8	1.4	---
100 to 149 .....	---	96.9	48.6	48.3	---	---	2.1	1.2	.9	---
150 to 199 .....	---	91.8	54.9	36.9	---	---	.9	.3	.7	---
200 percent or more .....	---	585.6	432.2	153.4	---	---	4.6	3.7	.9	---
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000 .....	---	46.3	21.1	25.1	---	---	2.0	.7	1.2	---
\$5,000 to \$9,999 .....	---	99.6	48.9	50.8	---	---	3.0	1.2	1.7	---
\$10,000 to \$14,999 .....	---	86.5	42.6	44.0	---	---	1.0	.3	.8	---
\$15,000 to \$19,999 .....	---	74.0	34.9	39.1	---	---	1.3	1.0	.5	---
\$20,000 to \$24,999 .....	---	71.7	35.7	36.0	---	---	.5	---	.5	---
\$25,000 to \$29,999 .....	---	80.6	48.6	31.9	---	---	2.4	2.1	.3	---
\$30,000 to \$34,999 .....	---	58.5	36.5	22.0	---	---	---	---	---	---
\$35,000 to \$39,999 .....	---	48.4	35.5	12.9	---	---	.2	.2	---	---
\$40,000 to \$49,999 .....	---	98.5	78.3	20.2	---	---	.8	.3	.3	---
\$50,000 to \$59,999 .....	---	61.8	53.1	8.5	---	---	---	---	---	---
\$60,000 to \$79,999 .....	---	77.5	66.8	10.7	---	---	.2	.2	---	---
\$80,000 to \$99,999 .....	---	38.8	36.0	2.7	---	---	---	---	---	---
\$100,000 to \$119,999 .....	---	16.4	15.6	.8	---	---	---	---	---	---
\$120,000 or more .....	---	25.9	24.2	1.7	---	---	---	---	---	---
Median .....	---	28 910	37 780	19 271	---	---	12 890	16 749	---	---

**Table 6-3. Financial Characteristics of 1990 Year-Round Housing Units and 1990 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	---	---	575.8	---	---	---	---	5.9	---	---
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	---	---	18.2	---	---	---	---	1.5	---	---
\$10,000 to \$19,999 .....	---	---	17.8	---	---	---	---	2.0	---	---
\$20,000 to \$29,999 .....	---	---	15.5	---	---	---	---	1.4	---	---
\$30,000 to \$39,999 .....	---	---	13.7	---	---	---	---	.2	---	---
\$40,000 to \$49,999 .....	---	---	18.3	---	---	---	---	.3	---	---
\$50,000 to \$59,999 .....	---	---	18.6	---	---	---	---	—	---	---
\$60,000 to \$69,999 .....	---	---	20.3	---	---	---	---	.2	---	---
\$70,000 to \$79,999 .....	---	---	24.3	---	---	---	---	—	---	---
\$80,000 to \$89,999 .....	---	---	54.2	---	---	---	---	.2	---	---
\$100,000 to \$119,999 .....	---	---	58.2	---	---	---	---	.2	---	---
\$120,000 to \$149,999 .....	---	---	98.4	---	---	---	---	—	---	---
\$150,000 to \$199,999 .....	---	---	109.4	---	---	---	---	—	---	---
\$200,000 to \$249,999 .....	---	---	49.5	---	---	---	---	—	---	---
\$250,000 to \$299,999 .....	---	---	25.7	---	---	---	---	—	---	---
\$300,000 or more .....	---	---	39.8	---	---	---	---	—	---	---
Time shared units .....	---	---	—	---	---	---	---	—	---	---
Median .....	---	---	130 260	---	---	---	---	17 421	---	---

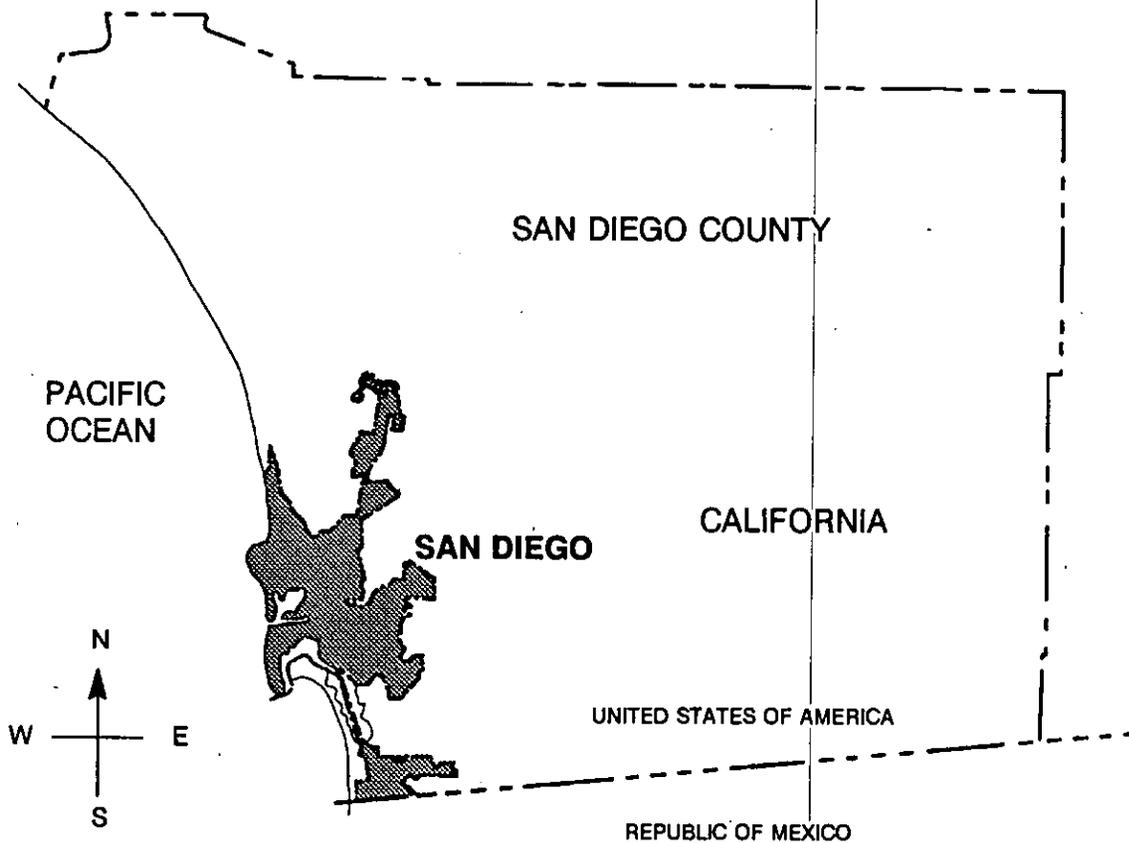
<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

# Metropolitan Statistical Area



## San Diego, CA



-  Central City
-  International Line
-  County Line

0 5 10 15 20 Miles

**Table 1-1. General Characteristics by Family Type—Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin	
	White	Black		White	Black							
<b>1 Total</b> .....	<b>696.8</b>	<b>607.5</b>	<b>464.0</b>	<b>227.4</b>	<b>179.1</b>	<b>12.0</b>	<b>56.8</b>	<b>38.1</b>	<b>17.2</b>	<b>14.2</b>	<b>1.0</b>	<b>3.0</b>
<b>Tenure</b>												
<b>2 Owner occupied</b> .....	<b>500.9</b>	<b>370.9</b>	<b>312.3</b>	<b>134.4</b>	<b>112.1</b>	<b>5.1</b>	<b>23.7</b>	<b>20.0</b>	<b>7.7</b>	<b>6.9</b>	<b>6</b>	<b>1.3</b>
<b>3 Percent of all occupied</b> .....	<b>55.9</b>	<b>61.1</b>	<b>67.3</b>	<b>59.1</b>	<b>62.6</b>	<b>42.5</b>	<b>41.7</b>	<b>52.5</b>	<b>44.9</b>	<b>48.4</b>	<b>54.8</b>	<b>42.7</b>
<b>4 Renter occupied</b> .....	<b>395.8</b>	<b>236.6</b>	<b>151.6</b>	<b>93.0</b>	<b>67.1</b>	<b>6.9</b>	<b>33.1</b>	<b>18.1</b>	<b>9.5</b>	<b>7.3</b>	<b>.5</b>	<b>1.7</b>
<b>Units In Structure</b>												
<b>5 1, detached</b> .....	<b>487.8</b>	<b>375.0</b>	<b>313.7</b>	<b>150.9</b>	<b>123.8</b>	<b>7.3</b>	<b>26.3</b>	<b>20.5</b>	<b>8.8</b>	<b>7.7</b>	<b>6</b>	<b>1.3</b>
<b>6 1, attached</b> .....	<b>55.0</b>	<b>33.6</b>	<b>25.2</b>	<b>10.2</b>	<b>8.5</b>	<b>.2</b>	<b>2.7</b>	<b>2.4</b>	<b>1.4</b>	<b>.9</b>	<b>—</b>	<b>.5</b>
<b>7 2 to 4</b> .....	<b>84.3</b>	<b>50.0</b>	<b>28.7</b>	<b>19.1</b>	<b>14.0</b>	<b>1.2</b>	<b>7.9</b>	<b>4.7</b>	<b>2.3</b>	<b>1.8</b>	<b>.2</b>	<b>.7</b>
<b>8 5 to 9</b> .....	<b>66.0</b>	<b>48.1</b>	<b>29.8</b>	<b>19.7</b>	<b>14.5</b>	<b>.7</b>	<b>6.7</b>	<b>2.3</b>	<b>1.2</b>	<b>.5</b>	<b>—</b>	<b>—</b>
<b>9 10 to 19</b> .....	<b>91.4</b>	<b>51.4</b>	<b>30.8</b>	<b>18.1</b>	<b>11.7</b>	<b>1.9</b>	<b>5.7</b>	<b>4.1</b>	<b>2.4</b>	<b>2.4</b>	<b>—</b>	<b>—</b>
<b>10 20 to 49</b> .....	<b>39.9</b>	<b>18.5</b>	<b>11.9</b>	<b>4.9</b>	<b>3.3</b>	<b>.7</b>	<b>3.3</b>	<b>1.9</b>	<b>.7</b>	<b>.5</b>	<b>—</b>	<b>.5</b>
<b>11 50 or more</b> .....	<b>26.3</b>	<b>8.4</b>	<b>7.2</b>	<b>1.2</b>	<b>.7</b>	<b>—</b>	<b>.2</b>	<b>.2</b>	<b>—</b>	<b>.5</b>	<b>—</b>	<b>.5</b>
<b>12 Mobile home or trailer</b> .....	<b>46.1</b>	<b>22.6</b>	<b>16.5</b>	<b>3.4</b>	<b>2.6</b>	<b>—</b>	<b>2.0</b>	<b>1.9</b>	<b>.5</b>	<b>.5</b>	<b>—</b>	<b>—</b>
<b>Year Structure Built<sup>1</sup></b>												
<b>13 1990 to 1994</b> .....	<b>47.9</b>	<b>35.4</b>	<b>29.6</b>	<b>15.8</b>	<b>13.5</b>	<b>—</b>	<b>3.5</b>	<b>2.1</b>	<b>1.6</b>	<b>1.6</b>	<b>—</b>	<b>.2</b>
<b>14 1985 to 1989</b> .....	<b>146.6</b>	<b>103.6</b>	<b>82.7</b>	<b>45.7</b>	<b>34.4</b>	<b>3.5</b>	<b>8.8</b>	<b>3.7</b>	<b>2.3</b>	<b>1.9</b>	<b>—</b>	<b>.5</b>
<b>15 1980 to 1984</b> .....	<b>78.0</b>	<b>52.8</b>	<b>41.0</b>	<b>21.8</b>	<b>15.6</b>	<b>1.0</b>	<b>4.2</b>	<b>3.4</b>	<b>1.8</b>	<b>1.3</b>	<b>.3</b>	<b>.5</b>
<b>16 1975 to 1979</b> .....	<b>117.3</b>	<b>80.6</b>	<b>62.8</b>	<b>30.6</b>	<b>24.9</b>	<b>2.0</b>	<b>6.4</b>	<b>4.9</b>	<b>2.4</b>	<b>2.1</b>	<b>—</b>	<b>.5</b>
<b>17 1970 to 1974</b> .....	<b>119.0</b>	<b>83.6</b>	<b>61.9</b>	<b>31.6</b>	<b>23.8</b>	<b>1.5</b>	<b>6.9</b>	<b>5.8</b>	<b>2.8</b>	<b>1.9</b>	<b>.2</b>	<b>.2</b>
<b>18 1960 to 1969</b> .....	<b>177.1</b>	<b>117.4</b>	<b>90.0</b>	<b>39.9</b>	<b>32.4</b>	<b>1.7</b>	<b>11.5</b>	<b>7.0</b>	<b>1.5</b>	<b>1.1</b>	<b>.2</b>	<b>.2</b>
<b>19 1950 to 1959</b> .....	<b>107.8</b>	<b>78.5</b>	<b>56.0</b>	<b>24.2</b>	<b>19.8</b>	<b>1.4</b>	<b>8.5</b>	<b>6.0</b>	<b>3.2</b>	<b>2.9</b>	<b>.3</b>	<b>1.0</b>
<b>20 1940 to 1949</b> .....	<b>56.4</b>	<b>32.8</b>	<b>22.8</b>	<b>9.8</b>	<b>7.8</b>	<b>.4</b>	<b>4.0</b>	<b>3.1</b>	<b>.5</b>	<b>.5</b>	<b>—</b>	<b>.2</b>
<b>21 1930 to 1939</b> .....	<b>15.0</b>	<b>10.2</b>	<b>5.6</b>	<b>2.6</b>	<b>1.9</b>	<b>.2</b>	<b>2.4</b>	<b>1.3</b>	<b>1.1</b>	<b>1.1</b>	<b>—</b>	<b>.3</b>
<b>22 1920 to 1929</b> .....	<b>11.4</b>	<b>6.4</b>	<b>4.1</b>	<b>1.3</b>	<b>1.3</b>	<b>—</b>	<b>.9</b>	<b>.3</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>.3</b>
<b>23 1919 or earlier</b> .....	<b>7.7</b>	<b>3.5</b>	<b>2.9</b>	<b>1.2</b>	<b>1.2</b>	<b>—</b>	<b>.5</b>	<b>.3</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>.3</b>
<b>24 Median</b> .....	<b>1973</b>	<b>1973</b>	<b>1974</b>	<b>1975</b>	<b>1975</b>	<b>1976</b>	<b>1971</b>	<b>1971</b>	<b>1974</b>	<b>1974</b>	<b>—</b>	<b>—</b>
<b>Age of Householder</b>												
<b>25 Under 25 years</b> .....	<b>47.8</b>	<b>23.3</b>	<b>14.6</b>	<b>9.4</b>	<b>6.3</b>	<b>1.9</b>	<b>3.5</b>	<b>1.9</b>	<b>.7</b>	<b>.2</b>	<b>—</b>	<b>.7</b>
<b>26 25 to 29</b> .....	<b>83.8</b>	<b>55.5</b>	<b>38.7</b>	<b>24.4</b>	<b>19.5</b>	<b>.3</b>	<b>12.6</b>	<b>5.7</b>	<b>.7</b>	<b>.7</b>	<b>—</b>	<b>.9</b>
<b>27 30 to 34</b> .....	<b>117.1</b>	<b>83.3</b>	<b>62.5</b>	<b>50.1</b>	<b>37.9</b>	<b>2.2</b>	<b>14.2</b>	<b>4.5</b>	<b>3.5</b>	<b>2.3</b>	<b>.5</b>	<b>1.9</b>
<b>28 35 to 44</b> .....	<b>201.3</b>	<b>161.6</b>	<b>121.8</b>	<b>96.6</b>	<b>79.2</b>	<b>5.7</b>	<b>17.9</b>	<b>9.4</b>	<b>6.0</b>	<b>7.2</b>	<b>.8</b>	<b>3.8</b>
<b>29 45 to 54</b> .....	<b>112.9</b>	<b>86.4</b>	<b>40.8</b>	<b>31.4</b>	<b>21.1</b>	<b>1.9</b>	<b>7.8</b>	<b>8.8</b>	<b>3.8</b>	<b>3.3</b>	<b>.3</b>	<b>3.8</b>
<b>30 55 to 64</b> .....	<b>101.2</b>	<b>71.1</b>	<b>60.1</b>	<b>5.1</b>	<b>4.3</b>	<b>—</b>	<b>.8</b>	<b>2.1</b>	<b>.5</b>	<b>.5</b>	<b>—</b>	<b>.5</b>
<b>31 65 to 74</b> .....	<b>103.2</b>	<b>61.1</b>	<b>48.2</b>	<b>.9</b>	<b>.5</b>	<b>—</b>	<b>—</b>	<b>.3</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>.3</b>
<b>32 75 years and over</b> .....	<b>91.2</b>	<b>38.8</b>	<b>31.7</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>2.0</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>
<b>33 Median</b> .....	<b>45</b>	<b>44</b>	<b>45</b>	<b>38</b>	<b>38</b>	<b>38</b>	<b>34</b>	<b>42</b>	<b>40</b>	<b>40</b>	<b>—</b>	<b>—</b>
<b>Persons 65 Years Old and Over</b>												
<b>34 None</b> .....	<b>682.1</b>	<b>487.9</b>	<b>369.1</b>	<b>220.5</b>	<b>176.2</b>	<b>11.8</b>	<b>55.4</b>	<b>30.5</b>	<b>17.2</b>	<b>14.2</b>	<b>1.0</b>	<b>3.0</b>
<b>35 1 person</b> .....	<b>145.1</b>	<b>51.0</b>	<b>30.0</b>	<b>5.7</b>	<b>2.9</b>	<b>—</b>	<b>1.2</b>	<b>6.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>
<b>36 2 persons or more</b> .....	<b>69.6</b>	<b>68.6</b>	<b>64.9</b>	<b>1.2</b>	<b>—</b>	<b>—</b>	<b>.2</b>	<b>1.4</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>
<b>Persons</b>												
<b>37 1 person</b> .....	<b>216.2</b>	<b>245.7</b>	<b>182.8</b>	<b>70.1</b>	<b>58.8</b>	<b>4.6</b>	<b>11.6</b>	<b>16.2</b>	<b>4.1</b>	<b>4.1</b>	<b>—</b>	<b>1.2</b>
<b>38 2 persons</b> .....	<b>301.8</b>	<b>143.9</b>	<b>102.8</b>	<b>70.1</b>	<b>71.2</b>	<b>4.6</b>	<b>18.4</b>	<b>9.6</b>	<b>5.3</b>	<b>4.1</b>	<b>.5</b>	<b>1.2</b>
<b>39 3 persons</b> .....	<b>156.1</b>	<b>125.5</b>	<b>101.2</b>	<b>85.4</b>	<b>44.5</b>	<b>1.8</b>	<b>13.7</b>	<b>7.2</b>	<b>4.9</b>	<b>3.6</b>	<b>.6</b>	<b>.5</b>
<b>40 4 persons</b> .....	<b>125.6</b>	<b>59.5</b>	<b>48.9</b>	<b>14.7</b>	<b>9.9</b>	<b>.8</b>	<b>7.2</b>	<b>2.7</b>	<b>2.0</b>	<b>1.5</b>	<b>—</b>	<b>.5</b>
<b>41 5 persons</b> .....	<b>22.0</b>	<b>21.7</b>	<b>17.0</b>	<b>1.7</b>	<b>1.4</b>	<b>—</b>	<b>1.4</b>	<b>1.4</b>	<b>.6</b>	<b>.6</b>	<b>—</b>	<b>.6</b>
<b>42 6 persons</b> .....	<b>14.2</b>	<b>14.2</b>	<b>11.2</b>	<b>9.7</b>	<b>5.2</b>	<b>.3</b>	<b>5.9</b>	<b>1.0</b>	<b>.3</b>	<b>.3</b>	<b>—</b>	<b>.3</b>
<b>43 7 persons or more</b> .....	<b>2.3</b>	<b>2.9</b>	<b>3.0</b>	<b>4.0</b>	<b>4.0</b>	<b>3.6</b>	<b>4.4</b>	<b>2.8</b>	<b>3.3</b>	<b>3.2</b>	<b>—</b>	<b>—</b>
<b>44 Median</b> .....	<b>2.3</b>	<b>2.9</b>	<b>3.0</b>	<b>4.0</b>	<b>4.0</b>	<b>3.6</b>	<b>4.4</b>	<b>2.8</b>	<b>3.3</b>	<b>3.2</b>	<b>—</b>	<b>—</b>
<b>Rooms</b>												
<b>45 1 room</b> .....	<b>7.4</b>	<b>.7</b>	<b>.7</b>	<b>.3</b>	<b>.3</b>	<b>—</b>	<b>.3</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>
<b>46 2 rooms</b> .....	<b>11.8</b>	<b>1.9</b>	<b>1.4</b>	<b>.5</b>	<b>.5</b>	<b>—</b>	<b>.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>
<b>47 3 rooms</b> .....	<b>105.1</b>	<b>38.8</b>	<b>25.9</b>	<b>10.4</b>	<b>5.5</b>	<b>.9</b>	<b>6.6</b>	<b>2.8</b>	<b>1.4</b>	<b>.4</b>	<b>—</b>	<b>.7</b>
<b>48 4 rooms</b> .....	<b>223.3</b>	<b>130.7</b>	<b>81.5</b>	<b>42.4</b>	<b>30.1</b>	<b>2.9</b>	<b>19.0</b>	<b>12.0</b>	<b>5.7</b>	<b>5.4</b>	<b>—</b>	<b>.8</b>
<b>49 5 rooms</b> .....	<b>185.1</b>	<b>131.0</b>	<b>86.2</b>	<b>45.7</b>	<b>38.0</b>	<b>3.5</b>	<b>12.4</b>	<b>7.7</b>	<b>3.7</b>	<b>2.7</b>	<b>.7</b>	<b>.5</b>
<b>50 6 rooms</b> .....	<b>150.7</b>	<b>116.8</b>	<b>84.9</b>	<b>39.2</b>	<b>32.4</b>	<b>1.7</b>	<b>6.1</b>	<b>6.6</b>	<b>2.3</b>	<b>2.0</b>	<b>—</b>	<b>.5</b>
<b>51 7 rooms</b> .....	<b>110.7</b>	<b>94.1</b>	<b>80.2</b>	<b>40.0</b>	<b>33.7</b>	<b>1.0</b>	<b>6.3</b>	<b>4.7</b>	<b>1.8</b>	<b>1.5</b>	<b>.3</b>	<b>.7</b>
<b>52 8 rooms</b> .....	<b>63.8</b>	<b>57.4</b>	<b>51.7</b>	<b>28.7</b>	<b>23.8</b>	<b>1.6</b>	<b>3.3</b>	<b>2.9</b>	<b>1.6</b>	<b>1.3</b>	<b>—</b>	<b>.5</b>
<b>53 9 rooms</b> .....	<b>30.6</b>	<b>27.9</b>	<b>25.0</b>	<b>14.0</b>	<b>11.8</b>	<b>.5</b>	<b>2.1</b>	<b>.6</b>	<b>.2</b>	<b>.2</b>	<b>—</b>	<b>.3</b>
<b>54 10 rooms or more</b> .....	<b>8.3</b>	<b>8.1</b>	<b>6.4</b>	<b>3.2</b>	<b>3.2</b>	<b>—</b>	<b>.5</b>	<b>1.2</b>	<b>.2</b>	<b>.2</b>	<b>—</b>	<b>.3</b>
<b>55 Median</b> .....	<b>5.0</b>	<b>5.5</b>	<b>5.8</b>	<b>5.8</b>	<b>6.0</b>	<b>5.1</b>	<b>4.7</b>	<b>5.1</b>	<b>4.9</b>	<b>5.0</b>	<b>—</b>	<b>—</b>
<b>Persons Per Room</b>												
<b>56 0.50 or less</b> .....	<b>575.8</b>	<b>314.0</b>	<b>242.0</b>	<b>48.0</b>	<b>42.1</b>	<b>1.0</b>	<b>4.8</b>	<b>19.9</b>	<b>6.9</b>	<b>6.9</b>	<b>—</b>	<b>1.0</b>
<b>57 0.51 to 1.00</b> .....	<b>283.6</b>	<b>257.6</b>	<b>197.8</b>	<b>156.7</b>	<b>123.1</b>	<b>10.8</b>	<b>34.0</b>	<b>15.2</b>	<b>8.6</b>	<b>6.1</b>	<b>1.0</b>	<b>1.5</b>
<b>58 1.01 to 1.50</b> .....	<b>29.5</b>	<b>28.6</b>	<b>18.1</b>	<b>17.2</b>	<b>11.3</b>	<b>.2</b>	<b>13.5</b>	<b>2.8</b>	<b>1.8</b>	<b>1.3</b>	<b>—</b>	<b>.5</b>
<b>59 1.51 or more</b> .....	<b>7.8</b>	<b>7.3</b>	<b>6.2</b>	<b>5.5</b>	<b>2.7</b>	<b>—</b>	<b>4.6</b>	<b>.2</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18			Hhldr of Hispanic origin	Total	Living alone				Other nonfamily		Total	
	Total	Race of householder				Male		Female		Male	Female		
		White	Black			Total	65 and over	Total	65 and over				
105.4	64.2	41.5	11.4	19.4	289.3	94.6	29.4	121.6	61.9	45.7	27.3	1	
38.8	13.5	11.4	.2	3.9	130.0	43.7	20.4	63.6	38.3	13.7	9.0	2	
36.6	21.0	27.4	2.1	20.2	44.9	46.2	69.5	52.3	61.9	30.0	33.1	3	
66.8	50.7	30.1	11.2	15.5	159.3	50.9	9.0	58.0	23.6	32.0	18.3	4	
40.8	18.8	14.4	.7	5.4	82.8	29.0	10.2	37.1	23.0	17.8	8.8	5	
6.0	3.7	2.9	.5	1.3	21.4	7.8	3.2	8.8	5.2	1.6	3.1	6	
16.5	12.7	6.8	4.0	2.6	34.3	12.5	1.4	11.3	3.3	4.7	5.8	7	
18.0	11.7	6.7	2.8	4.2	37.9	11.9	2.1	14.8	4.9	7.7	3.5	8	
18.4	12.7	7.0	3.4	2.6	40.0	12.1	1.9	16.1	5.5	8.8	3.0	9	
4.7	3.0	2.1	—	2.1	21.4	8.2	1.6	8.7	4.6	2.9	1.7	10	
.9	.5	.5	—	.2	17.9	4.6	2.3	9.6	5.9	2.2	1.4	11	
4.2	1.1	1.1	—	1.1	23.6	8.4	6.7	15.2	9.5	—	—	12	
3.7	2.8	1.9	.5	.2	12.5	4.2	—	2.7	.7	3.5	2.1	13	
17.1	13.1	7.7	2.6	4.0	43.0	15.9	4.0	16.9	7.0	6.6	3.5	14	
8.4	5.8	3.3	1.5	1.9	25.1	6.9	3.0	12.0	4.8	4.3	1.8	15	
12.9	6.7	4.0	1.2	1.3	36.7	12.0	3.6	16.5	7.7	6.2	2.1	16	
15.9	11.6	9.5	1.3	4.4	35.4	10.4	3.2	17.2	10.0	5.2	2.7	17	
20.4	10.0	5.0	2.8	3.2	59.7	19.8	8.8	28.2	17.3	7.6	4.1	18	
14.5	7.8	5.0	1.4	2.1	31.3	9.7	1.9	11.2	7.0	3.6	6.8	19	
8.8	3.5	2.5	—	1.1	23.6	7.9	2.4	8.8	4.0	4.4	2.5	20	
3.5	2.3	1.8	.2	.7	12.6	4.5	1.6	4.8	1.6	2.6	.7	21	
2.0	.4	.4	—	—	5.1	1.0	.2	2.4	1.2	1.0	.7	22	
.2	.2	.2	—	.2	4.3	2.4	.7	.9	.7	.7	.2	23	
1972	1973	1973	1975	1972	1971	1971	1969	1971	1970	1973	1967	24	
6.8	5.0	2.4	1.7	1.8	24.5	3.6	—	3.9	—	9.0	7.9	25	
11.1	9.7	5.3	2.1	3.7	28.2	9.5	—	6.0	—	8.3	4.4	26	
16.3	15.5	8.5	3.9	4.5	33.9	12.4	—	6.2	—	10.4	4.9	27	
30.3	25.9	18.9	3.2	8.3	39.7	16.3	—	12.0	—	8.8	2.6	28	
17.7	7.3	5.8	.5	1.1	38.3	13.2	—	16.1	—	5.3	3.6	29	
8.9	.8	.8	—	—	30.2	10.1	—	15.6	—	1.7	2.7	30	
9.2	—	—	—	—	42.1	13.0	13.0	27.9	27.9	.9	.3	31	
5.1	—	—	—	—	52.4	16.4	—	34.0	34.0	1.3	.8	32	
41	36	37	32	35	50	49	75+	65	75+	33	31	33	
88.3	63.6	41.2	11.4	19.1	194.2	65.2	—	59.7	—	43.3	25.9	34	
14.9	.6	.3	—	.3	94.1	29.4	29.4	61.9	61.9	1.9	.9	35	
2.3	—	—	—	—	1.0	—	—	—	—	.5	.5	36	
48.7	21.4	15.6	4.0	4.5	216.2	94.6	29.4	121.6	61.9	—	—	37	
31.6	22.2	15.2	2.8	6.6	56.0	—	—	—	—	35.0	21.0	38	
14.0	10.8	5.5	3.4	4.0	12.2	—	—	—	—	7.2	5.0	39	
7.9	6.6	3.7	.5	3.1	3.1	—	—	—	—	2.1	1.0	40	
3.4	2.0	.7	—	—	1.4	—	—	—	—	1.1	.3	41	
2.0	1.2	.5	—	—	.3	—	—	—	—	.3	—	42	
2.7	3.0	2.8	3.1	3.3	1.5	—	—	—	—	—	—	43	
—	—	—	—	—	6.7	3.2	.7	3.2	1.2	—	.2	45	
.5	.3	—	.3	—	8.9	4.8	2.4	4.2	2.3	.7	.2	46	
10.1	7.0	4.6	.7	3.0	66.2	25.3	5.5	31.3	12.2	6.1	3.5	47	
37.2	26.6	16.1	5.6	8.7	92.6	24.7	6.3	36.1	18.6	19.6	10.1	48	
27.1	15.5	9.7	3.0	5.8	54.1	18.2	7.1	22.1	13.5	7.4	6.5	49	
15.3	7.1	4.8	1.3	1.3	33.9	9.8	4.5	15.6	9.7	5.5	3.0	50	
9.2	4.5	3.5	.4	.4	16.6	6.0	2.0	5.1	3.2	2.8	2.7	51	
2.7	1.5	1.5	—	—	6.4	1.8	.5	1.7	1.3	1.9	1.0	52	
2.7	1.5	1.0	—	—	2.7	.8	.4	.3	—	1.6	—	53	
.5	.3	.3	—	—	.2	—	—	—	—	.2	—	54	
4.7	4.4	4.5	4.3	4.3	4.2	4.1	4.5	4.1	4.3	4.3	4.5	55	
52.1	24.7	17.6	4.0	5.1	261.8	91.4	28.7	118.4	60.7	32.4	19.5	56	
44.6	32.8	19.9	6.9	9.8	26.1	3.2	.7	3.2	1.2	12.1	7.6	57	
7.7	6.0	3.8	.5	4.2	1.0	—	—	—	—	1.0	—	58	
.9	.7	.2	—	.4	.5	—	—	—	—	.2	.2	59	

Table 1-2. Financial Characteristics by Family Type—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple					Male householder, no wife present				
			Total	With own children under 18			Hhldr. of Hispanic origin	Total	With own children under 18			Hhldr. of Hispanic origin
				Total	Race of householder				Total	Race of householder		
			White	Black			White	Black				
1 Total	898.8	607.5	464.0	227.4	179.1	12.0	58.8	38.1	17.2	14.2	1.0	3.0
<b>Household Income</b>												
2 Less than \$5,000	14.7	6.1	3.1	1.7	.6	.2	.3	1.1	.2	.2	-	-
3 \$5,000 to \$9,999	71.5	27.0	11.2	5.4	3.3	-	3.6	.7	.7	.5	-	.5
4 \$10,000 to \$14,999	75.8	40.7	22.0	11.5	7.5	.7	8.0	4.0	2.4	1.4	.2	.9
5 \$15,000 to \$19,999	63.6	40.1	23.7	12.2	7.8	1.2	6.0	1.4	1.2	.6	.3	.3
6 \$20,000 to \$24,999	69.3	43.3	30.0	13.7	10.8	.5	7.2	3.4	1.2	.9	.1	.3
7 \$25,000 to \$29,999	84.8	53.2	37.7	16.1	12.2	1.1	6.7	4.0	1.2	1.2	.1	.2
8 \$30,000 to \$34,999	68.5	44.6	33.0	15.8	12.4	.9	3.2	3.8	2.0	1.8	.1	.3
9 \$35,000 to \$39,999	58.0	39.7	32.8	17.3	11.8	1.1	3.6	2.1	.7	.7	-	-
10 \$40,000 to \$49,999	93.0	66.8	53.1	23.1	17.3	1.9	5.1	4.4	2.4	2.4	.1	.2
11 \$50,000 to \$59,999	69.0	56.2	48.1	26.4	23.2	1.2	4.2	2.8	1.1	.8	.3	.3
12 \$60,000 to \$79,999	95.5	75.4	65.1	32.0	28.0	.7	3.5	4.7	2.1	1.6	-	-
13 \$80,000 to \$99,999	61.7	52.2	46.4	25.9	22.3	1.7	3.6	3.1	.2	.2	-	-
14 \$100,000 to \$119,999	28.8	25.3	23.5	11.2	9.8	-	1.0	1.0	.2	.2	-	-
15 \$120,000 or more	44.5	36.9	34.3	15.0	12.5	.8	1.0	1.6	1.6	1.6	-	.2
16 Median	35 012	41 351	47 253	48 838	52 643	41 617	27 493	36 555	34 335	37 970	-	-
As percent of poverty level:												
17 Less than 50 percent	17.8	10.9	5.9	4.3	2.3	.2	2.1	1.4	.5	.2	-	.2
18 50 to 99	59.9	44.1	19.9	14.2	8.7	.5	11.1	3.2	2.4	1.5	.2	1.0
19 100 to 149	93.2	51.3	33.4	24.5	17.3	1.5	12.2	3.3	1.7	1.1	.3	.5
20 150 to 199	85.2	55.7	36.8	21.8	16.0	1.0	8.3	3.4	2.0	1.8	.2	.3
21 200 percent or more	640.7	445.5	368.0	162.6	134.8	8.8	23.1	26.9	10.7	9.6	.3	1.0
<b>Monthly Housing Costs</b>												
22 Less than \$100	5.5	1.9	1.5	.7	.4	.2	.2	-	-	-	-	-
23 \$100 to \$199	54.1	24.7	16.4	1.5	.6	-	.9	1.1	.2	.2	-	-
24 \$200 to \$249	26.6	16.8	12.5	1.6	1.3	-	1.1	2.0	.2	-	.2	-
25 \$250 to \$299	18.7	12.5	8.4	1.0	.7	-	.2	-	-	-	-	-
26 \$300 to \$349	27.5	18.0	15.1	3.3	2.8	-	2.1	1.0	.3	.3	-	-
27 \$350 to \$399	34.7	19.4	12.5	3.0	1.8	.2	2.3	1.5	1.0	.7	-	-
28 \$400 to \$449	32.2	20.1	14.5	4.5	2.4	-	2.6	.8	.5	.5	-	-
29 \$450 to \$499	38.5	15.6	9.9	2.9	2.2	-	1.4	1.2	.7	-	-	-
30 \$500 to \$599	90.0	49.9	32.4	13.9	9.0	1.9	7.6	3.2	1.3	1.3	.7	.2
31 \$600 to \$699	95.1	61.1	37.7	20.8	14.7	1.0	9.3	4.7	1.3	1.0	.3	.3
32 \$700 to \$799	70.0	47.2	33.3	16.0	12.5	1.2	4.5	4.4	1.8	1.6	-	-
33 \$800 to \$899	89.6	62.6	47.9	28.8	21.5	1.6	6.8	5.9	3.1	3.1	.3	.3
34 \$1,000 to \$1,249	89.9	67.2	58.3	35.3	26.5	3.6	3.7	2.0	1.2	.6	.6	.6
35 \$1,250 to \$1,499	84.6	54.2	45.7	29.7	24.3	.3	5.5	4.0	2.2	1.7	.3	.3
36 \$1,500 or more	94.9	84.9	75.7	44.6	40.5	.5	4.4	4.1	2.5	2.5	.2	.2
37 No cash rent	13.9	10.7	8.7	6.2	4.7	.5	.9	.5	.2	-	.2	-
38 Mortgage payment not reported	51.1	39.9	33.7	15.8	13.2	1.0	3.4	1.7	.7	.7	.2	.2
39 Median (excludes no cash rent)	693	780	870	1 049	1 100	897	683	756	853	872	-	-
<b>Median Monthly Housing Costs For Owners</b>												
40 Monthly costs including all mortgages plus maintenance costs	901	1 043	1 089	1 347	1 377	-	1 192	918	1 337	-	-	-
41 Monthly costs excluding 2nd and subsequent mortgages and maintenance costs	829	964	1 012	1 278	1 303	-	1 159	859	1 257	1 281	-	-
<b>Monthly Housing Costs as Percent of Current Income<sup>2</sup></b>												
42 Less than 5 percent	15.7	11.0	9.3	2.1	1.6	.2	-	.6	.3	.3	-	-
43 5 to 9 percent	60.4	44.8	37.8	7.4	5.5	.5	2.0	2.7	.8	.6	-	-
44 10 to 14 percent	74.8	54.5	45.4	13.2	10.0	1.3	2.0	3.8	.5	.5	-	.2
45 15 to 19 percent	102.7	77.1	65.4	28.2	24.0	1.0	5.3	4.0	1.3	1.0	-	-
46 20 to 24 percent	116.8	80.7	66.8	33.8	28.7	1.7	5.8	3.8	2.4	1.9	-	-
47 25 to 29 percent	93.3	65.8	50.2	31.0	25.5	1.4	7.8	4.4	2.1	1.9	.2	.2
48 30 to 34 percent	82.2	56.1	42.3	26.1	20.1	1.2	7.2	3.5	1.2	1.2	.3	.3
49 35 to 39 percent	58.3	38.0	28.5	18.5	14.5	1.3	5.3	1.2	.5	.5	.3	.3
50 40 to 49 percent	74.6	48.3	32.0	18.2	14.0	.2	6.5	4.7	2.5	2.0	.3	.3
51 50 to 59 percent	47.1	26.1	15.1	10.9	5.9	1.1	4.1	2.0	1.0	.5	.2	.2
52 60 to 69 percent	33.6	19.7	10.8	7.0	5.7	-	3.6	1.3	1.1	1.1	.5	.5
53 70 to 99 percent	42.4	21.9	10.4	4.8	2.7	.5	1.6	2.1	1.9	1.2	.3	.5
54 100 percent or more <sup>1</sup>	27.4	11.3	6.3	4.3	3.1	.2	1.3	1.2	.9	.9	.4	.4
55 Zero or negative income	2.8	1.7	1.3	.2	-	-	-	.3	-	-	-	-
56 No cash rent	13.9	10.7	8.7	6.2	4.7	.5	.9	.5	.2	.2	.2	.2
57 Mortgage payment not reported	51.1	39.9	33.7	15.6	13.2	1.0	3.4	1.7	.7	.7	.2	.2
58 Median (excludes 3 previous lines)	27	28	24	28	27	27	32	28	34	32	-	-
59 Median (excludes 4 lines before medians)	27	25	24	28	27	27	32	28	32	31	-	-

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Total	Living alone				Other nonfamily			
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female		
		White	Black			Total	65 and over	Total	65 and over				
105.4	64.2	41.5	11.4	19.4	269.3	94.6	29.4	121.6	61.9	45.7	27.3	1	
1.9	.8	.8	—	.2	8.8	2.9	.3	4.5	1.3	.7	.5	2	
15.1	12.5	8.0	3.8	4.8	44.5	9.7	4.6	31.7	22.2	1.3	1.7	3	
14.8	11.0	7.9	1.7	4.9	35.1	12.9	6.9	18.2	12.9	2.8	1.2	4	
15.0	9.8	5.8	2.0	3.1	23.5	7.8	3.1	10.5	6.7	3.9	1.2	5	
9.9	6.2	4.1	.4	2.1	26.0	10.5	4.5	12.1	4.4	1.9	1.5	6	
11.8	5.1	2.5	2.1	2.0	31.8	12.1	2.8	14.9	6.9	3.1	1.4	7	
7.7	5.4	5.0	—	1.8	24.0	7.6	1.6	8.8	2.4	4.4	3.2	8	
4.9	2.4	1.9	.2	.5	16.3	5.3	1.1	4.6	.5	3.5	2.8	9	
9.3	3.6	2.4	.7	.6	26.2	7.8	.8	8.2	2.6	6.4	3.9	10	
5.3	1.7	.7	.2	.2	12.6	4.8	.7	2.8	.5	3.8	1.4	11	
5.7	3.5	2.8	.2	.2	20.1	5.1	1.2	3.6	.8	5.7	5.7	12	
2.8	1.0	.7	—	—	9.5	3.6	.6	.5	.3	3.6	1.8	13	
.8	.5	.5	—	—	3.5	1.2	—	—	—	2.0	.2	14	
.9	.7	.7	—	—	7.8	3.4	1.3	1.1	.5	2.4	.7	15	
22 999	18 995	20 575	15 624	14 801	26 101	28 456	19 686	18 032	12 875	41 694	40 336	16	
3.8	2.7	1.8	.7	1.3	6.9	2.4	.3	3.0	.5	.7	.8	17	
21.0	17.1	8.8	4.7	6.9	15.8	3.8	.2	9.3	3.7	1.8	1.0	18	
14.6	11.6	7.7	1.8	4.2	41.8	8.1	5.2	27.1	21.7	4.6	1.9	19	
15.5	8.9	5.8	1.2	3.0	29.5	11.0	5.0	14.5	9.6	2.6	1.4	20	
50.7	23.9	17.7	3.0	4.0	195.2	69.3	18.7	67.7	26.5	35.9	22.3	21	
4	4	4	—	4	3.6	.5	.5	3.1	2.1	—	—	22	
7.2	4.6	2.0	2.6	1.5	29.4	9.4	7.0	18.2	15.2	1.5	.2	23	
2.3	1.5	.5	.2	1.0	9.8	3.5	2.8	5.5	4.7	—	.8	24	
4.1	1.8	1.1	.5	4	6.2	1.9	1.1	4.1	3.3	—	.3	25	
2.8	1.8	.9	—	1.3	8.5	2.7	1.5	4.4	3.7	.8	.5	26	
5.4	1.8	1.3	.2	1.4	15.3	5.3	2.8	9.1	5.9	.5	.4	27	
4.9	2.6	2.1	—	1.2	12.1	4.3	.8	6.3	3.1	1.2	.2	28	
4.6	2.3	1.1	.2	1.6	22.9	6.9	1.9	13.9	6.6	.9	1.2	29	
14.3	9.6	5.2	2.3	2.8	40.1	15.8	2.9	15.0	5.2	6.1	3.2	30	
18.7	13.8	9.5	1.9	3.9	34.0	12.1	1.7	10.9	4.5	7.0	4.0	31	
9.5	5.9	3.9	1.1	1.0	22.6	6.2	1.8	8.2	1.4	6.0	2.4	32	
8.8	6.1	2.9	2.4	.8	27.0	6.1	.6	8.7	1.6	7.4	4.8	33	
7.0	4.1	3.4	—	.5	22.7	7.0	.6	5.5	.9	5.3	4.9	34	
4.5	2.1	2.1	—	.2	10.5	3.5	.5	2.8	.2	2.6	1.7	35	
5.1	4.0	3.2	—	1.1	10.0	4.0	1.3	1.6	.8	3.4	1.0	36	
1.5	1.0	1.0	—	.2	3.2	1.6	.4	.6	.2	1.0	—	37	
4.5	.9	.9	—	.2	11.2	3.8	1.1	4.0	2.3	1.9	1.5	38	
620	635	654	583	526	574	564	387	478	355	755	780	39	
690	1 114	1 121	—	—	531	563	334	428	294	1 072	997	40	
641	1 053	1 054	—	—	488	561	321	400	271	976	880	41	
1.2	.5	.5	—	—	4.7	2.6	1.1	1.8	1.6	.2	—	42	
4.3	.6	.2	.4	—	15.6	7.8	3.4	6.3	4.3	1.7	—	43	
5.3	2.0	1.5	.5	1.0	20.3	9.6	4.4	8.6	6.6	1.0	1.1	44	
7.7	3.0	1.8	.7	.7	25.7	10.0	2.9	12.7	7.9	2.6	.5	45	
10.1	5.5	3.9	.7	2.6	36.1	13.1	2.8	16.1	6.1	4.4	2.5	46	
11.3	6.8	4.5	1.3	1.2	27.4	11.6	2.8	10.2	3.0	4.5	1.1	47	
10.2	7.3	4.5	1.8	2.0	26.2	6.1	1.5	12.7	5.2	3.8	3.6	48	
8.2	6.5	3.8	1.2	1.0	20.4	3.9	1.2	9.8	4.2	4.4	2.3	49	
11.5	7.8	4.3	1.0	2.6	26.3	8.4	2.8	8.8	4.5	4.4	4.8	50	
8.9	7.2	5.0	.7	2.5	21.0	6.8	2.4	8.1	4.0	3.8	2.4	51	
7.8	5.7	4.7	.5	2.8	13.9	1.9	.2	7.2	4.1	2.8	1.9	52	
9.4	5.7	3.8	1.6	2.5	20.4	4.6	1.7	8.8	5.4	3.0	3.1	53	
3.9	2.1	1.0	1.1	—	16.0	2.6	.7	5.0	2.5	6.1	2.4	54	
—	—	—	—	—	—	—	—	—	—	—	.3	55	
1.5	1.0	1.0	—	.2	3.2	1.6	.4	.6	.2	1.0	—	56	
4.5	.9	.9	—	—	11.2	3.8	1.1	4.0	2.3	1.9	1.5	57	
35	39	39	37	44	44	28	24	31	30	39	44	58	
34	38	38	35	44	31	25	23	30	28	35	41	59	

Table 1-2. Financial Characteristics by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households											
		Total	Married couple					Male householder, no wife present					
			Total	With own children under 18			Total	With own children under 18			Total	With own children under 18	
				Total	Race of householder			Hhldr of Hispanic origin	Total	Race of householder		Hhldr of Hispanic origin	
			White	Black			White	Black					
<b>OWNER OCCUPIED UNITS</b>													
1 Total.....	500.9	370.9	312.3	134.4	112.1	5.1	23.7	20.0	7.7	6.9	6.6	1.3	
<b>Value</b>													
2 Less than \$10,000.....	6.5	2.5	1.5	1.0	1.0	-	.4	-	-	-	-	-	
3 \$10,000 to \$19,999.....	11.1	5.4	2.8	.7	.4	-	.4	1.0	-	-	-	-	
4 \$20,000 to \$29,999.....	9.4	4.5	4.0	1.0	1.0	-	.4	.5	.5	-	-	-	
5 \$30,000 to \$39,999.....	6.2	3.3	3.0	-	-	-	-	-	-	-	-	-	
6 \$40,000 to \$49,999.....	2.2	1.6	1.1	-	-	-	-	-	-	-	-	-	
7 \$50,000 to \$59,999.....	4.4	1.7	1.5	1.2	1.2	-	.5	.2	-	-	-	-	
8 \$60,000 to \$69,999.....	7.0	1.9	1.6	.2	.2	-	.2	-	-	-	-	-	
9 \$70,000 to \$79,999.....	7.8	3.9	2.9	1.2	.9	.2	.2	.5	.2	-	-	-	
10 \$80,000 to \$89,999.....	20.2	11.2	7.8	4.8	3.5	.3	2.0	.8	.3	.3	-	.3	
11 \$100,000 to \$119,999.....	28.9	17.8	13.5	5.7	3.8	.2	2.3	1.4	-	-	-	-	
12 \$120,000 to \$149,999.....	78.1	54.0	41.1	17.1	13.7	1.7	3.5	3.4	1.8	1.6	.3	.5	
13 \$150,000 to \$199,999.....	138.4	108.9	94.1	45.7	35.8	1.5	8.5	4.8	1.8	1.5	.3	.3	
14 \$200,000 to \$249,999.....	63.0	52.9	46.1	21.5	19.8	.3	2.3	1.7	.7	.7	-	.2	
15 \$250,000 to \$299,999.....	44.8	38.2	35.1	12.8	10.7	.3	.8	2.2	.5	1.2	-	-	
16 \$300,000 or more.....	77.1	63.3	56.6	21.9	20.2	.2	2.1	3.5	1.9	1.9	-	-	
17 Median.....	176 277	185 732	190 212	187 759	192 310	-	160 873	173 361	178 830	179 054	-	-	

<sup>1</sup>May reflect a temporary situation, living off savings, or response error.  
<sup>2</sup>Beginning with 1989 this item uses current income in its calculation. See appendix A.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
38.6	13.5	11.4	.2	3.9	130.0	43.7	20.4	63.6	38.3	13.7	9.0	1
1.0	—	—	—	—	4.0	2.1	.8	1.9	1.9	—	—	2
1.8	1.1	1.1	—	1.1	5.8	3.0	2.5	2.7	1.5	—	—	3
—	—	—	—	—	4.9	.7	.7	3.9	2.8	.2	—	4
.3	—	—	—	—	2.9	1.3	1.1	1.6	1.0	—	—	5
.5	—	—	—	—	.6	—	—	.4	.4	—	.2	6
—	—	—	—	—	2.7	.8	.3	1.9	.5	—	—	7
.3	—	—	—	—	5.1	.5	.2	3.9	2.1	.5	.2	8
.5	.2	.2	—	—	3.9	1.7	.8	1.2	.5	.5	.5	9
2.8	.7	.5	.2	.2	9.0	2.6	1.2	5.1	2.8	.8	.7	10
2.7	1.3	.8	—	.5	9.4	4.2	2.6	4.6	2.6	.5	—	11
9.5	4.1	3.4	—	1.4	22.1	6.6	1.9	10.5	5.9	2.2	2.9	12
10.0	2.3	1.8	—	.2	29.5	9.4	3.2	13.3	8.5	4.2	2.7	13
5.2	2.0	2.0	—	.2	10.1	4.1	1.1	4.0	2.2	1.5	.5	14
.9	—	—	—	—	6.5	2.4	1.4	2.8	1.3	1.2	.2	15
3.2	1.8	1.5	—	.2	13.9	4.4	2.8	6.0	4.3	2.4	1.1	16
149 698	145 240	147 109	—	—	143 096	142 733	119 698	133 281	135 628	176 030	150 169	17

**Table 1-3. Housing Quality by Family Type—Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Total	Married couple						Male householder, no wife present			
			Total	With own children under 18			Total	With own children under 18				
				Total	Race of householder			Total	Race of householder		Hhldr of Hispanic origin	
		White	Black	Hhldr of Hispanic origin		White	Black		Hhldr of Hispanic origin			
<b>1 Total</b>	<b>896.8</b>	<b>607.5</b>	<b>464.0</b>	<b>227.4</b>	<b>179.1</b>	<b>12.0</b>	<b>56.8</b>	<b>38.1</b>	<b>17.2</b>	<b>14.2</b>	<b>1.0</b>	<b>3.0</b>
<b>Water Supply Stoppage</b>												
2 With hot and cold piped water	896.0	607.2	463.7	227.4	179.1	12.0	56.8	38.1	17.2	14.2	1.0	3.0
3 No stoppage in last 3 months	828.8	568.1	435.5	213.9	168.4	11.8	53.0	34.2	15.1	12.8	.8	3.0
4 With stoppage in last 3 months	61.7	34.8	25.1	11.9	9.6	.2	3.4	3.4	1.9	1.2	.2	
5 No stoppage lasting 6 hours or more	30.1	14.4	11.8	5.4	4.3		1.3	1.3	.9	.9		
6 1 time lasting 6 hours or more	18.2	12.0	8.2	4.5	3.6	.2	1.6	.5	.3	.3		
7 2 times	6.4	4.4	2.3	1.2	.9		.2	1.2	.7		.2	
8 3 times	1.8	.8	.5	.2	.2			.3				
9 4 times or more	1.4	1.4	1.4	.4	.4							
10 Number of times not reported	3.9	1.9	1.2	.2	.2		.2					
11 Stoppage not reported	7.6	4.3	3.1	1.6	1.1		.5	.5	.2	.2		
<b>Flush Toilet Breakdowns</b>												
12 With one or more flush toilets	896.1	607.5	464.0	227.4	179.1	12.0	56.8	38.1	17.2	14.2	1.0	3.0
13 With at least one working toilet at all times in last 3 months	835.3	565.3	435.9	214.8	169.9	11.8	53.5	34.5	15.1	12.8	.8	2.7
14 None working some time in last 3 months	55.1	38.6	25.5	11.9	8.5	.2	3.3	3.3	1.9	1.2	.2	.2
15 No breakdowns lasting 6 hours or more	18.7	11.7	8.0	3.8	2.9		1.1	.7	.2	.2		
16 1 time lasting 6 hours or more	26.5	18.3	12.6	4.7	3.3		1.6	2.0	1.2	.5	.2	.2
17 2 times	3.4	2.7	1.6	1.3	1.3		.4	.2	.2	.2		.2
18 3 times	2.2	1.2	.8	.5	.2	.2						
19 4 times or more	3.3	2.7	1.3	1.0	.5	.2	.2					
20 Number of times not reported	2.9	1.9	1.2	.9	.2		.5	.2	.2	.2		
21 Breakdowns not reported	5.7	3.6	2.6	.8	.8			.2	.2	.2		
<b>Sewage Disposal Breakdowns</b>												
22 With public sewer	841.7	560.9	422.2	213.3	166.1	12.0	55.7	36.9	16.8	13.8	1.0	3.0
23 No breakdowns in last 3 months	829.8	554.5	418.3	211.3	165.1	12.0	55.0	35.7	16.1	13.3	.8	3.0
24 With breakdowns in last 3 months	11.9	6.4	3.9	1.9	1.0		.7	1.2	.7	.4	.2	
25 No breakdowns lasting 6 hours or more	3.7	1.4	.9	.5	.2		.2	.2	.2	.2		
26 1 time lasting 6 hours or more	7.0	4.0	2.2	.9	.2		.2	.7	.4	.2	.2	
27 2 times	.2	.2	.2	.2	.2							
28 3 times												
29 4 times or more	1.0	.8	.5	.3	.3		.3	.3				
30 With septic tank or cesspool	55.0	46.6	41.8	14.1	13.0		1.1	1.2	.5	.5		
31 No breakdowns in last 3 months	54.2	46.0	41.2	14.1	13.0		1.1	1.2	.5	.5		
32 With breakdowns in last 3 months	.8	.8	.8									
33 No breakdowns lasting 6 hours or more												
34 1 time lasting 6 hours or more	.8	.8	.6									
35 2 times												
36 3 times												
37 4 times or more												
<b>Heating Problems</b>												
38 With heating equipment and occupied last winter	785.4	537.5	416.4	196.9	159.2	9.6	43.7	33.7	15.1	13.1	1.0	2.0
39 Not uncomfortably cold for 24 hours or more last winter	739.7	506.5	398.7	187.8	152.4	8.4	41.7	30.6	13.2	11.6	1.0	1.7
40 Uncomfortably cold for 24 hours or more last winter <sup>1</sup>	44.0	29.8	16.7	8.3	6.1	1.1	1.7	2.8	1.7	1.2		.3
41 Equipment breakdowns	13.8	9.7	5.6	2.6	1.7	.5		.9	.9	.4		
42 No breakdowns lasting 6 hours or more	.5	.5	.2	.2								
43 1 time lasting 6 hours or more	7.8	5.7	3.8	2.0	1.5	.2		.2	.2	.2		
44 2 times	1.7	1.5	.8					.2	.2	.2		
45 3 times												
46 4 times or more	1.0	.7	.5	.5	.2	.2						
47 Number of times not reported	2.6	1.3	.4				.5	.5				
48 Other causes	34.0	22.5	12.6	6.0	4.6	.4	1.7	1.9	.8	.8		.3
49 Utility interruption	1.2	.7					.3	.3	.3	.3		
50 Inadequate heating capacity	8.8	6.0	3.0	1.7	.8	.4	.2	.5				
51 Inadequate insulation	5.4	3.6	2.2	1.0	1.0		.3					
52 Other	18.2	12.0	7.4	3.3	2.8		1.3	1.1	.5	.5		.3
53 Not reported	.5	.2										
54 Reason for discomfort not reported	.2	.2	.2	.2	.2		.2					
55 Discomfort not reported	1.7	1.2	1.0	.8	.8		.2	.2	.2	.2		
<b>Selected Deficiencies<sup>1</sup></b>												
56 Signs of rats in last 3 months	28.0	22.7	17.8	9.1	6.8		3.1	1.2	.5	.5		
57 Holes in floors	8.1	4.8	2.7	1.2	1.2		.8					
58 Open cracks or holes (interior)	32.1	18.9	12.0	6.5	3.8		3.3	1.7	1.0	.3		
59 Broken plaster or peeling paint (interior)	23.8	14.5	9.7	6.0	4.4		2.7	1.1	.3	.3		
60 No electrical wiring												
61 Exposed wiring	11.9	6.3	3.3	1.9	1.2		.7	.7	.2	.2		
62 Rooms without electric outlets	15.6	9.8	6.4	3.8	2.8		2.3	.8	.5	.5		.2
<b>Selected Amenities<sup>1</sup></b>												
63 Porch, deck, balcony, or patio	767.8	531.3	414.6	196.6	159.9	9.0	42.1	32.7	15.4	12.9	.8	2.5
64 Not reported	1.7	1.2	.7	.2	.2							
65 Telephone available	852.9	585.5	450.2	217.7	172.0	11.7	52.7	36.4	16.0	13.5	.7	2.5
66 Usable fireplace	421.7	321.0	273.0	128.0	106.4	5.1	15.3	15.7	7.7	6.9	.3	1.3
67 Separate dining room	304.3	232.1	195.0	91.7	77.5	2.9	13.8	10.4	5.4	4.5	.3	.8
68 With 2 or more living rooms or recreation rooms, etc.	289.1	234.9	201.3	94.1	79.3	4.3	13.5	11.9	5.2	4.7		.8
69 Garage or carport included with home	668.9	480.7	385.6	180.2	147.3	8.2	32.9	29.2	13.5	11.5	.8	2.2
70 Garage or carport not included	227.8	125.0	77.2	46.8	31.6	3.8	23.4	8.9	3.7	2.8	.2	.8
71 Offstreet parking included	190.8	111.0	70.0	41.9	27.8	3.4	20.7	7.9	3.3	2.3	.2	.8
72 Offstreet parking not reported	2.3	.7	.5	.2	.2							
73 Garage or carport not reported	2.1	1.8	1.1	.5	.2		.5					

Family households—Con.					Nonfamily households								
Female householder, no husband present													
Total	With own children under 18				Total	Living alone				Other nonfamily			
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female		
		White	Black			Total	65 and over	Total	65 and over				
105.4	64.2	41.5	11.4	19.4	289.3	94.6	29.4	121.6	61.9	45.7	27.3	1	
105.4	64.2	41.5	11.4	19.4	288.6	94.6	29.4	121.4	61.6	45.5	27.3	2	
98.3	59.6	38.6	10.8	18.1	258.7	84.1	24.8	109.0	56.1	41.8	23.7	3	
16.4	4.6	2.9	.6	1.4	26.9	9.6	3.9	10.6	4.3	3.5	3.2	4	
1.5	1.3	1.0	—	.2	15.8	5.3	2.0	6.7	2.8	2.5	1.2	5	
3.3	1.8	.9	.4	.4	6.1	2.2	.3	2.3	1.3	1.0	.7	6	
.9	.9	.5	.2	.2	2.0	1.1	.9	.5	—	—	.4	7	
—	—	—	—	—	1.0	.5	.5	.3	—	—	.2	8	
—	—	—	—	—	—	—	—	—	—	—	—	9	
.7	.7	.5	—	.5	2.0	.4	.2	.8	.2	—	.7	10	
.8	—	—	—	—	3.3	.9	.7	1.7	1.2	.2	.4	11	
105.4	64.2	41.5	11.4	19.4	288.6	94.4	29.2	121.4	61.6	45.5	27.3	12	
94.8	57.2	38.0	10.0	16.4	270.0	89.8	27.5	113.0	57.3	42.4	25.1	13	
9.8	6.8	3.2	1.4	3.1	16.5	4.0	1.3	7.6	3.8	2.6	2.3	14	
3.0	1.5	.9	.2	.7	5.0	1.3	.5	2.8	1.6	.9	—	15	
3.8	2.6	1.4	.7	.9	8.2	2.2	.8	3.5	1.1	1.0	1.5	16	
.9	.9	.5	—	.5	.7	.3	—	.2	—	—	.2	17	
.5	.5	—	.2	.2	1.0	—	—	—	—	.5	.5	18	
1.4	1.2	.4	.2	.7	.5	—	—	.5	.5	—	—	19	
.2	.2	—	—	.2	1.0	.2	—	.5	.5	.2	—	20	
.8	.2	.2	—	—	2.1	.8	.3	.7	.5	.5	—	21	
101.6	62.3	39.7	11.4	18.7	280.8	91.3	27.9	118.9	59.6	44.3	26.3	22	
100.5	61.6	39.1	11.4	18.7	275.3	89.8	27.9	117.4	58.6	42.6	25.5	23	
1.3	.7	.7	—	—	5.5	1.5	—	1.5	1.0	1.8	.7	24	
.2	—	—	—	—	2.3	.5	—	1.0	.8	.8	—	25	
1.1	.7	.7	—	—	3.0	1.0	—	.2	.2	1.0	.7	26	
—	—	—	—	—	—	—	—	—	—	—	—	27	
—	—	—	—	—	—	—	—	—	—	—	—	28	
—	—	—	—	—	.2	—	—	.2	—	—	—	29	
3.6	1.9	1.7	—	.7	8.5	3.4	1.5	2.7	2.2	1.3	1.1	30	
3.6	1.9	1.7	—	.7	8.2	3.1	1.5	2.7	2.2	1.3	1.1	31	
—	—	—	—	—	.3	.3	—	—	—	—	—	32	
—	—	—	—	—	.3	.3	—	—	—	—	—	33	
—	—	—	—	—	—	—	—	—	—	—	—	34	
—	—	—	—	—	—	—	—	—	—	—	—	35	
—	—	—	—	—	—	—	—	—	—	—	—	36	
—	—	—	—	—	—	—	—	—	—	—	—	37	
87.5	49.2	31.4	9.7	12.1	247.9	81.4	28.2	112.7	59.9	34.0	19.7	38	
77.2	42.5	26.8	8.7	10.7	233.2	77.2	27.7	106.3	57.1	32.1	17.7	39	
10.3	6.7	4.5	1.0	1.4	14.2	4.2	.5	6.2	2.6	1.7	2.1	40	
3.3	1.8	1.2	.5	.2	3.9	.8	—	2.6	1.1	.2	.3	41	
.3	—	—	—	—	—	—	—	—	—	—	—	42	
1.7	.7	.2	.5	—	2.1	.8	—	1.1	.5	.2	—	43	
.5	.3	.3	—	—	.2	—	—	.2	—	—	—	44	
—	—	—	—	—	—	—	—	—	—	—	—	45	
.3	.3	.3	—	—	.3	—	—	.3	—	—	—	46	
.5	.5	.5	—	.2	1.3	—	—	1.0	.6	—	.3	47	
8.0	5.7	4.0	.5	1.2	11.5	3.5	.5	4.5	1.9	1.7	1.8	48	
.4	.2	.2	—	—	.5	.5	—	.2	—	—	.2	49	
2.4	2.1	1.2	.2	.2	2.9	1.0	—	1.4	.5	.4	—	50	
1.5	1.5	1.2	—	.7	1.7	.5	—	1.0	.2	.2	—	51	
3.5	1.7	1.2	.3	.5	6.2	1.8	.2	1.8	1.1	1.0	1.6	52	
.2	.2	.2	—	—	.2	.2	.2	—	—	—	—	53	
—	—	—	—	—	—	—	—	—	—	—	—	54	
—	—	—	—	—	.5	—	—	.2	.2	.2	—	55	
3.7	2.6	2.2	—	1.2	5.3	.8	—	2.3	1.6	1.7	.5	56	
2.1	1.2	1.2	—	.9	3.4	.5	—	.7	—	.6	1.6	57	
6.1	4.2	2.1	1.1	1.4	12.2	4.1	.6	3.6	.8	2.3	2.2	58	
3.8	2.5	1.1	.5	.4	9.3	2.4	.2	3.1	1.1	2.3	1.5	59	
—	—	—	—	—	—	—	—	—	—	—	—	60	
2.3	1.8	1.1	.2	.4	5.6	1.5	.5	1.9	.8	1.3	.9	61	
2.6	1.3	.7	.5	.5	5.9	1.2	.2	2.8	.7	.7	1.2	62	
84.0	49.3	33.5	7.3	14.5	236.5	74.6	24.0	100.3	51.8	38.2	23.2	63	
.5	.2	—	.2	—	.5	.2	—	.2	.2	—	—	64	
96.9	60.7	38.7	11.2	16.0	277.5	90.9	28.9	117.4	60.0	43.6	25.7	65	
32.3	17.0	11.8	2.1	2.8	100.7	28.9	8.3	39.9	19.1	20.3	11.6	66	
26.7	15.5	11.0	2.3	3.3	72.2	26.7	9.2	26.8	14.1	12.6	6.0	67	
21.8	10.6	6.6	.9	1.7	54.2	16.3	7.5	24.9	16.8	7.1	5.8	68	
65.8	35.5	25.8	3.4	10.4	186.3	61.3	21.6	80.0	41.8	27.6	17.4	69	
38.9	28.0	15.4	7.8	8.5	102.8	33.3	7.8	41.6	20.1	17.9	10.0	70	
33.0	23.0	12.4	6.4	6.3	79.8	25.4	6.3	33.8	16.4	13.1	7.8	71	
.2	.2	.2	—	—	1.7	.2	—	.2	—	.9	.3	72	
.7	.7	.5	.2	.5	.2	—	—	—	—	.2	—	73	

Table 1-3. Housing Quality by Family Type—Occupied Units—Con.

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	All households	Family households										
		Married couple						Male householder, no wife present				
		Total	With own children under 18			Total	With own children under 18					
			Total	Race of householder			Total	Race of householder		Hhldr of Hispanic origin		
		White	Black	Hhldr of Hispanic origin		White	Black	Hhldr of Hispanic origin				
<b>Overall Opinion of Structure</b>												
1 1 (worst) .....	2.0	1.8	.5	.5	.2	.3	.2	.2	.2	-	-	-
2 .....	3.8	1.9	1.2	.5	.2	-	.2	.5	.2	-	-	-
3 .....	7.4	4.9	3.5	1.4	1.2	.2	.2	.5	.2	-	-	-
4 .....	10.0	6.3	4.7	3.5	1.6	.5	1.5	.2	.2	-	-	-
5 .....	51.9	33.6	22.0	15.1	11.5	.7	4.1	3.2	2.2	2.0	1.3	.3
6 .....	38.1	26.0	16.3	10.8	8.6	.7	2.0	3.1	1.2	1.2	.2	.2
7 .....	103.3	66.0	50.9	31.3	23.7	2.2	8.1	4.4	2.3	1.9	.5	.5
8 .....	223.2	153.8	114.4	57.6	45.6	3.0	16.6	10.0	3.5	2.8	.5	.2
9 .....	151.8	104.3	81.9	39.2	32.9	2.2	8.8	6.1	3.0	3.0	.5	.5
10 10 (best) .....	297.9	204.4	163.9	65.4	52.9	2.3	14.9	9.9	4.6	3.0	.3	1.2
11 Not reported .....	7.4	4.8	4.8	2.2	.7	-	-	-	-	-	-	-
<b>Neighborhood Conditions</b>												
<b>With neighborhood</b> .....												
12 No problems .....	886.6	600.2	457.7	225.2	178.5	12.0	58.8	38.1	17.2	14.2	1.0	3.0
13 With problems <sup>1</sup> .....	484.5	330.8	252.7	119.3	88.6	7.4	32.6	19.8	9.0	7.2	.5	1.8
14 Crime .....	400.3	268.6	204.2	105.4	89.3	4.6	23.7	18.2	8.2	7.0	.5	1.1
15 Noise .....	105.6	67.4	45.3	24.4	20.5	2.5	6.2	6.7	3.0	2.8	.7	.7
16 Traffic .....	106.5	68.0	50.9	23.9	18.3	1.1	7.2	4.4	1.3	.4	.2	.2
17 Litter or housing deterioration .....	69.4	45.6	34.7	16.9	15.2	.2	2.2	3.4	.9	.9	-	.4
18 Poor city or county services .....	33.7	23.6	18.3	8.3	6.6	.8	1.3	2.0	1.0	1.0	-	.2
19 Undesirable commercial, institutional, industrial .....	17.6	13.6	10.1	4.4	3.7	.2	1.4	.9	.4	.4	-	.2
20 People .....	8.1	5.9	3.7	1.7	1.1	-	-	.2	.2	.2	-	-
21 Other .....	170.5	118.5	90.7	45.7	39.6	2.4	11.5	6.6	3.1	2.6	.5	.4
22 Type of problem not reported .....	78.4	48.9	39.5	21.0	17.3	1.1	3.2	2.7	1.6	1.6	-	.4
23 Presence of problems not reported .....	5.2	3.6	2.6	1.3	1.0	-	.2	.2	-	-	-	-
24 .....	1.8	.8	.8	.6	.6	-	.6	-	-	-	-	-
<b>Overall Opinion of Neighborhood</b>												
25 1 (worst) .....	10.4	7.0	4.2	2.0	1.0	.5	.9	.2	-	-	-	-
26 .....	7.8	5.9	4.0	2.9	2.4	-	1.2	.4	.4	.4	-	.2
27 .....	11.1	7.4	4.4	3.0	2.7	.2	.4	.9	.7	.7	-	-
28 .....	19.0	10.7	7.0	4.0	2.8	.2	1.5	.5	.2	.2	-	.2
29 .....	71.8	46.1	33.7	19.0	15.4	.5	4.9	3.0	1.2	1.0	.3	.3
30 .....	49.6	32.0	22.8	8.4	6.5	.2	2.6	2.9	1.0	1.0	.3	.3
31 .....	102.9	66.5	49.8	26.1	20.7	1.6	7.0	5.5	2.1	1.4	.2	.7
32 .....	211.7	142.7	111.5	57.9	45.8	2.9	13.1	8.8	4.0	3.7	.3	.2
33 .....	132.0	94.2	73.8	35.5	29.1	1.7	10.2	5.3	2.6	1.9	.2	.2
34 10 (best) .....	270.2	187.9	146.5	66.5	52.1	4.1	15.0	10.6	5.0	4.0	-	1.3
35 No neighborhood .....	.7	.7	.7	-	-	-	-	-	-	-	-	-
36 Not reported .....	9.5	6.6	5.8	2.2	.7	-	-	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

Family households—Con.					Nonfamily households							
Female householder, no husband present												
Total	With own children under 18				Total	Living alone				Other nonfamily		
	Total	Race of householder		Hhldr of Hispanic origin		Male		Female		Male	Female	
		White	Black			Total	65 and over	Total	65 and over			
.8	.4	.2	.2	.2	.5	—	—	.2	—	.2	—	1
.2	.2	.2	.2	.2	1.9	1.0	—	.7	.2	—	—	2
.9	.7	.2	.2	—	2.5	.9	.9	.2	—	.9	.5	3
1.4	.7	.4	.2	—	3.7	.9	.7	1.5	1.2	.7	.7	4
8.4	6.2	3.3	.9	2.0	18.3	4.8	.9	9.1	4.4	3.4	1.2	5
6.6	3.8	1.5	1.3	1.2	12.2	5.6	1.5	3.2	1.1	2.0	1.3	6
10.7	8.2	4.9	2.6	1.8	37.3	15.1	3.0	8.8	2.1	9.8	3.7	7
29.5	18.0	12.1	2.7	4.9	69.4	22.2	4.9	28.8	14.1	9.3	9.1	8
16.3	9.4	5.7	1.9	3.9	47.5	14.0	4.9	19.8	8.8	10.2	3.4	9
30.7	18.6	12.9	1.4	5.1	83.4	29.5	12.0	47.8	29.0	8.8	7.3	10
—	—	—	—	—	2.6	.9	.7	1.4	1.0	.3	—	11
104.4	63.2	41.2	10.9	19.1	288.4	93.4	28.7	120.2	60.9	45.4	27.3	12
58.3	35.4	23.1	4.9	11.5	153.7	50.2	20.2	71.0	42.2	18.6	13.8	13
46.2	27.8	18.0	6.0	7.6	131.8	42.7	8.5	49.2	18.6	26.6	13.3	14
15.4	10.0	7.1	1.8	2.4	36.3	12.6	1.8	12.9	4.0	8.8	4.0	15
12.7	9.0	5.0	2.8	1.6	38.5	12.5	2.3	14.6	4.5	6.9	4.6	16
7.6	4.0	2.5	.8	.9	23.8	7.8	1.4	9.6	4.2	5.3	1.2	17
3.2	2.2	1.4	.4	.8	10.1	2.6	.8	4.9	1.8	2.1	.5	18
2.5	1.7	1.5	.3	.7	4.1	.9	—	1.7	.8	.4	1.0	19
1.9	1.2	1.2	—	.2	2.2	1.1	—	.7	.2	.2	.2	20
21.2	12.8	9.0	2.6	3.1	52.0	15.8	3.9	19.5	6.8	9.9	6.8	21
6.7	3.6	2.7	.2	.9	29.5	9.5	1.3	11.4	4.5	6.0	2.7	22
.8	—	—	—	—	1.6	.7	—	.4	—	.2	.3	23
—	—	—	—	—	1.0	.5	—	—	—	.2	.3	24
2.5	1.3	.9	.2	.7	3.4	1.8	.3	1.2	.7	.2	.2	25
1.4	.7	.5	.2	—	1.9	.5	.2	1.2	.7	—	.2	26
2.1	1.4	.5	.5	—	3.8	1.0	—	1.2	.7	1.4	.2	27
3.2	2.3	.9	1.0	.6	8.3	1.9	—	2.8	.5	2.4	1.2	28
9.3	7.4	4.1	1.7	2.5	25.8	11.0	2.4	9.5	3.8	2.9	2.4	29
6.2	4.0	2.8	.7	1.5	17.7	4.4	1.6	6.7	2.4	4.6	1.9	30
11.2	6.3	3.9	.9	1.1	36.4	15.0	2.9	11.2	4.4	8.4	1.8	31
22.5	11.7	8.1	.9	2.9	69.0	21.0	6.3	28.3	13.8	11.4	8.3	32
15.1	8.2	6.2	2.0	4.2	37.8	13.4	2.9	15.0	6.4	5.4	4.0	33
30.9	17.4	13.2	1.8	5.7	82.3	23.5	11.9	43.1	27.6	8.7	7.1	34
—	—	—	—	—	—	—	—	—	—	—	—	35
1.0	1.0	.3	.5	.3	2.8	1.2	.8	1.4	1.0	.3	—	36

Table 1-4. Neighborhood Quality—Occupied Units

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate								
<b>Total</b> .....	896.8	500.9	395.8	41.5	46.1	6.1	25.2	47.5	137.0	194.5	221.0	77.7	408.0	488.7	-
<b>Condition Present as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	34.16	26.57	41.23	28.49	23.57	40.43	41.60	38.98	33.29	30.59	36.44	35.38	39.15	29.99	...
Neighborhood crime.....	36.03	32.38	40.66	31.79	18.01	68.19	51.42	42.79	32.07	29.10	30.92	32.77	43.24	30.02	...
Any condition(s).....	51.32	45.28	58.95	44.14	32.70	76.40	65.34	58.89	48.12	43.99	49.87	48.96	58.74	45.12	...
Both conditions present.....	18.87	15.68	22.94	16.14	8.89	32.22	27.68	22.88	17.24	15.69	17.39	19.19	23.65	14.88	...
No conditions present.....	48.32	54.40	40.82	55.86	67.30	23.60	33.74	40.58	51.88	55.21	49.59	50.72	40.76	54.63	...
Not reported.....	.36	.31	.43	-	-	-	.92	.53	-	.80	.44	.32	.50	.25	...
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	18.58	15.25	22.79	15.29	14.00	36.50	28.03	20.97	20.48	13.71	19.21	18.35	20.30	17.14	...
Neighborhood crime.....	25.14	22.19	28.86	24.78	7.24	43.18	44.67	28.96	23.28	14.93	21.46	24.01	29.79	21.25	...
Unsatisfactory neighborhood shopping.....	8.74	8.94	8.50	12.29	5.99	12.28	17.74	16.59	6.87	9.78	8.79	12.23	9.15	8.41	...
Unsatisfactory public elementary school.....	3.21	3.20	3.23	4.47	-	-	6.87	3.17	4.67	.15	3.22	4.39	2.76	3.59	...
Unsatisfactory public transportation.....	5.27	5.16	5.42	2.24	1.63	3.49	7.00	7.23	3.74	3.41	4.05	5.07	6.01	4.68	...
Any condition(s).....	44.03	40.83	48.07	43.23	25.24	64.44	64.92	51.87	42.09	32.73	41.35	44.06	48.02	40.69	...
Two or more conditions.....	13.90	11.59	16.83	13.59	2.60	19.55	25.86	20.03	14.31	8.30	12.21	15.94	16.00	12.15	...
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	6.74	5.08	8.84	5.75	5.49	10.91	15.58	12.21	8.35	3.80	6.92	7.03	7.89	5.78	...
Neighborhood crime.....	8.71	6.09	12.03	7.44	-	26.47	22.34	13.40	9.86	2.79	7.30	12.01	11.60	6.30	...
Unsatisfactory public elementary school.....	1.49	1.26	1.78	2.24	-	-	3.93	1.97	1.61	-	1.31	1.67	1.17	1.76	...
Any condition(s).....	12.76	9.85	16.45	10.80	5.49	26.47	28.12	19.10	14.41	5.47	11.87	15.19	15.40	10.57	...
Two or more conditions.....	3.99	2.51	5.88	4.07	-	10.91	11.81	7.97	5.27	1.12	3.64	5.22	5.02	3.13	...
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>															
Street noise or traffic.....	.39	.36	.43	-	-	-	.92	.53	-	.80	.44	.32	.56	.25	...
Neighborhood crime.....	.51	.53	.49	.56	-	-	.92	.53	.20	1.06	.66	.62	.75	.30	...
<b>Public Elementary School as a Percent of Total</b>															
Households with any children aged 0-16.....	35.93	32.61	40.15	40.66	11.34	28.16	49.02	54.09	62.28	2.48	41.81	57.83	32.79	38.56	...
Satisfactory public elementary school.....	25.58	24.58	26.84	28.78	9.04	28.16	33.02	33.88	45.68	1.78	26.02	39.93	23.10	27.65	...
Unsatisfactory public elementary school.....	3.21	3.20	3.23	4.47	-	-	6.87	3.17	4.67	.15	3.22	4.39	2.76	3.59	...
So bothered they want to move.....	1.49	1.26	1.78	2.24	-	-	3.93	1.97	1.61	-	1.31	1.67	1.17	1.76	...
Not reported.....	.25	.15	.39	.56	-	-	-	1.97	1.61	-	.42	1.20	.29	.22	...
Not reported or don't know.....	7.14	4.83	10.07	7.40	2.30	-	9.13	17.03	11.93	.52	12.57	13.51	6.93	7.32	...
Public elementary school less than 1 mile.....	24.12	21.38	27.60	23.38	7.80	20.04	35.10	35.23	42.34	1.43	26.12	39.66	22.81	25.22	...
Public elementary school 1 mile or more.....	10.53	10.27	10.87	15.04	3.54	8.12	12.96	16.37	18.21	.78	13.54	16.29	8.71	12.05	...
Not reported.....	1.28	.96	1.69	2.23	-	-	.94	2.49	1.74	.25	2.15	1.89	1.27	1.29	...
Households without children aged 0-16.....	64.07	67.39	59.85	59.34	88.68	71.84	50.98	45.91	37.72	97.54	58.19	42.17	67.21	61.44	...
Households with children aged 4-18.....	28.91	27.35	30.88	31.02	8.88	28.16	42.62	43.86	51.10	1.87	29.61	48.78	26.41	31.00	...
Attend public school (K-12).....	24.26	22.17	26.92	25.44	6.84	24.34	40.49	38.97	45.25	1.13	24.96	45.13	21.61	26.48	...
Attend private school (K-12).....	3.11	4.20	1.73	3.91	2.04	3.82	2.13	2.69	3.18	.31	1.94	1.21	3.59	2.70	...
Attend ungraded school, preschool, etc.....	.52	.64	.37	1.10	-	-	-	-	.95	-	.57	-	.59	.47	...
Does not attend school.....	1.08	.82	1.41	1.12	-	-	-	.98	1.32	.18	1.48	1.51	.82	1.31	...
Not reported.....	.41	.33	.52	-	-	-	-	1.02	.77	.25	.66	.91	.29	.51	...
<b>Public Transportation as a Percent of Total</b>															
With public transportation.....	80.28	73.35	89.06	63.72	86.95	95.85	81.17	87.06	85.76	78.79	84.70	86.59	82.04	78.81	...
Household uses it at least weekly.....	10.78	4.68	18.48	4.65	8.96	22.78	20.90	29.88	23.86	9.54	14.76	28.66	13.48	8.52	...
Satisfactory public transportation.....	9.92	4.39	16.93	4.65	8.96	19.28	17.95	25.87	22.54	8.86	13.59	26.39	12.19	8.03	...
Unsatisfactory public transportation.....	.85	.29	1.56	-	-	3.49	2.96	4.21	1.32	.68	1.17	2.27	1.29	.49	...
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	-	-	...
Household uses it less than weekly.....	31.58	30.63	32.79	27.59	36.60	44.40	39.36	24.87	26.22	29.62	30.54	31.00	33.61	29.89	...
Satisfactory public transportation.....	26.96	25.57	28.76	24.23	34.97	44.40	35.32	21.85	23.64	26.89	27.55	28.20	28.72	25.52	...
Unsatisfactory public transportation.....	4.42	4.87	3.86	2.24	1.63	-	4.05	3.03	2.41	2.73	2.88	2.80	4.73	4.17	...
Not reported.....	.19	.20	.17	1.12	-	-	-	-	.17	-	.11	-	.16	.21	...
Household does not use.....	37.87	37.99	37.73	31.49	41.39	28.68	20.90	32.31	35.51	37.63	39.40	26.94	34.95	40.31	...
Not reported.....	.05	.04	.06	-	-	-	-	-	.17	-	-	-	-	.09	...
No public transportation.....	19.08	26.08	10.22	34.03	13.05	4.15	17.91	12.41	14.07	22.29	14.43	12.78	16.91	20.89	...
Not reported.....	.84	.57	.72	2.25	-	-	.92	.53	.17	.92	.87	.62	1.05	.30	...
<b>Neighborhood Shopping as a Percent of Total</b>															
Satisfactory neighborhood shopping.....	90.49	90.58	90.38	88.59	94.01	87.72	80.31	81.29	92.78	88.79	90.12	88.81	90.00	90.89	...
Less than 1 mile.....	74.42	69.95	80.08	60.56	75.14	67.73	65.75	71.84	79.54	72.39	76.66	75.13	76.60	72.60	...
1 mile or more.....	15.39	20.11	9.41	25.47	18.26	18.17	12.74	8.52	12.66	15.70	12.49	9.98	12.40	17.88	...
Not reported.....	.67	.52	.87	.56	.61	3.82	1.81	.94	.58	.69	.97	1.69	.99	.41	...
Unsatisfactory neighborhood shopping.....	8.74	8.94	8.50	12.29	5.99	12.28	17.74	16.59	6.87	9.78	8.79	12.23	9.15	8.41	...
Not reported or don't know.....	.77	.48	1.14	1.13	-	-	1.96	2.12	.35	1.44	1.09	.96	.85	.70	...

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 2-4. Neighborhood Quality—Owner Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Mod-erate								
<b>Total</b> .....	<b>500.9</b>	<b>26.6</b>	<b>41.3</b>	<b>2.1</b>	<b>10.6</b>	<b>13.3</b>	<b>56.2</b>	<b>147.2</b>	<b>48.4</b>	<b>15.6</b>	<b>204.3</b>	<b>296.7</b>	<b>-</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	28.57	24.28	25.52	62.34	38.33	24.34	32.31	27.00	23.62	26.02	32.78	25.67	...
Neighborhood crime .....	32.38	30.33	17.97	53.14	51.65	32.79	31.45	27.12	20.53	18.84	40.19	27.00	...
Any condition(s) .....	45.28	39.93	33.58	77.37	68.59	40.72	46.68	39.79	35.10	35.29	52.74	40.15	...
Both conditions present .....	15.66	14.68	9.94	38.10	19.40	16.41	17.08	14.32	9.05	9.58	20.23	12.51	...
No conditions present .....	54.40	60.07	66.44	22.63	31.41	59.28	53.32	59.48	64.90	64.71	46.72	59.69	...
Not reported .....	.31	-	-	-	-	-	-	.73	-	-	.54	.16	...
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	15.25	13.35	15.65	62.34	22.64	11.47	18.19	12.54	10.72	17.83	16.48	14.41	...
Neighborhood crime .....	22.19	22.89	8.09	12.26	44.70	19.62	23.81	15.20	14.91	12.08	27.66	18.43	...
Unsatisfactory neighborhood shopping .....	8.94	13.04	5.69	-	10.09	17.94	8.45	10.85	6.72	17.87	8.95	8.93	...
Unsatisfactory public elementary school .....	3.20	4.35	-	-	4.91	2.58	5.75	.20	3.58	5.55	3.19	3.20	...
Unsatisfactory public transportation .....	5.16	2.62	1.82	-	7.94	6.58	3.00	3.43	.48	3.68	5.85	4.68	...
Any condition(s) .....	40.83	42.03	27.21	62.34	67.56	38.56	43.01	32.66	29.32	45.19	45.76	37.44	...
Two or more conditions .....	11.59	12.47	2.91	12.26	17.75	15.14	13.60	8.60	6.62	8.45	12.96	10.65	...
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	5.08	4.62	6.14	-	4.99	9.68	5.94	3.26	2.59	5.10	6.40	4.17	...
Neighborhood crime .....	6.09	5.50	-	-	18.81	3.60	8.19	2.58	1.94	4.90	9.08	4.02	...
Unsatisfactory public elementary school .....	1.26	1.75	-	-	-	-	1.96	-	.62	3.86	1.14	1.34	...
Any condition(s) .....	9.85	8.99	6.14	-	18.81	11.68	11.83	5.00	3.69	12.17	12.96	7.71	...
Two or more conditions .....	2.51	2.87	-	-	4.99	1.60	4.27	.84	1.46	1.69	3.52	1.82	...
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	.36	-	-	-	-	-	-	.73	-	-	.66	.16	...
Neighborhood crime .....	.53	-	-	-	-	-	.49	1.08	.48	-	.93	.25	...
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	32.61	44.83	10.81	11.29	46.41	48.23	56.92	2.77	44.49	30.35	32.16	32.91	...
Satisfactory public elementary school .....	24.58	35.25	9.61	11.29	34.90	36.89	42.91	2.05	31.40	21.73	23.82	25.11	...
Unsatisfactory public elementary school .....	3.20	4.35	-	-	4.91	2.58	5.75	.20	3.58	5.55	3.19	3.20	...
So bothered they want to move .....	1.26	1.75	-	-	-	-	1.96	-	.62	3.86	1.14	1.34	...
Not reported .....	.15	-	-	-	-	-	-	-	-	-	.13	.16	...
Not reported or don't know .....	4.63	5.23	1.20	-	6.60	8.77	8.26	.52	9.51	3.07	5.15	4.60	...
Public elementary school less than 1 mile .....	21.38	24.02	6.85	-	24.82	31.44	35.15	1.74	28.23	16.39	22.20	20.81	...
Public elementary school 1 mile or more .....	10.27	19.08	3.98	11.29	19.39	14.79	20.93	.87	15.28	12.26	8.81	11.28	...
Not reported .....	.96	1.72	-	-	2.20	2.00	.84	.16	.98	1.71	1.16	.82	...
Households without children aged 0-16 .....	67.39	55.17	89.19	88.71	53.59	51.77	43.06	97.23	55.51	69.65	67.84	67.09	...
Households with children aged 4-16 .....	27.35	36.12	9.43	11.29	42.02	46.48	51.15	1.99	33.43	30.35	27.47	27.27	...
Attend public school (K-12) .....	22.17	30.05	7.15	-	37.05	40.35	42.37	1.19	26.68	28.66	21.36	22.72	...
Attend private school (K-12) .....	4.20	4.35	2.28	11.29	4.97	4.37	6.96	.41	3.02	1.69	5.32	3.42	...
Attend ungraded school, preschool, etc .....	.64	1.72	-	-	-	-	1.47	-	2.12	-	.68	.81	...
Does not attend school .....	.82	.88	-	-	-	-	.41	.24	1.11	-	.81	.97	...
Not reported .....	.33	-	-	-	-	1.76	.84	.16	.49	-	.34	.32	...
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	73.35	54.81	88.48	87.74	82.39	75.73	79.12	72.65	75.23	78.01	73.92	72.96	...
Household uses it at least weekly .....	4.88	1.12	7.80	14.50	16.34	12.21	8.84	5.03	5.39	10.99	5.12	4.38	...
Satisfactory public transportation .....	4.39	1.12	7.80	14.50	13.50	9.63	8.84	4.60	5.39	8.79	4.40	4.38	...
Unsatisfactory public transportation .....	.29	-	-	-	2.84	2.58	-	.43	-	2.19	.72	-	...
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	...
Household uses it less than weekly .....	30.63	20.92	38.69	27.74	44.53	29.28	28.01	28.38	26.68	25.81	34.32	28.09	...
Satisfactory public transportation .....	25.57	16.55	36.87	27.74	39.42	25.28	25.01	25.39	26.20	24.32	29.06	23.15	...
Unsatisfactory public transportation .....	4.87	2.62	1.82	-	5.11	4.00	3.00	2.99	.48	1.49	5.13	4.68	...
Not reported .....	.20	1.75	-	-	-	-	-	-	-	-	.11	.26	...
Household does not use .....	37.99	32.77	41.99	45.50	21.52	34.26	42.27	39.24	43.16	41.22	34.47	40.41	...
Not reported .....	.04	-	-	-	-	-	-	-	-	-	-	.07	...
No public transportation .....	26.08	43.44	11.52	12.26	17.81	24.27	20.46	26.47	24.77	21.99	25.03	26.81	...
Not reported .....	.57	1.75	-	-	-	-	.41	.89	-	-	1.06	.24	...
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	90.58	86.96	94.31	100.00	89.91	79.82	91.55	88.22	93.28	82.13	90.38	90.74	...
Less than 1 mile .....	69.95	57.45	77.08	62.87	70.95	66.19	73.81	69.80	68.97	64.08	73.55	67.48	...
1 mile or more .....	20.11	29.51	16.55	37.13	18.95	12.03	17.73	17.67	24.31	18.05	15.93	22.99	...
Not reported .....	.52	-	.69	-	-	1.60	-	.75	-	-	.87	.28	...
Unsatisfactory neighborhood shopping .....	8.94	13.04	5.69	-	10.09	17.94	8.45	10.85	6.72	17.87	8.95	8.93	...
Not reported or don't know .....	.48	-	-	-	-	2.24	-	.93	-	-	.69	.33	...

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 3-4. Neighborhood Quality—Renter Occupied Units**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Housing unit characteristics				Household characteristics					Selected subareas <sup>1</sup>		
		New construction 4 yrs	Mobile homes	Physical problems		Black	Hispanic	Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
				Severe	Moderate								
<b>Total</b> .....	<b>395.8</b>	<b>14.9</b>	<b>4.9</b>	<b>4.0</b>	<b>14.4</b>	<b>34.2</b>	<b>80.7</b>	<b>47.2</b>	<b>172.6</b>	<b>62.1</b>	<b>203.8</b>	<b>192.1</b>	-
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	41.23	36.00	7.10	29.21	45.54	44.67	33.98	41.79	40.03	37.73	45.53	36.66	...
Neighborhood crime.....	40.66	34.39	18.34	75.90	51.25	46.67	32.50	35.28	33.83	36.27	46.30	34.66	...
Any condition(s).....	58.95	51.63	25.44	75.90	62.90	65.04	49.13	57.10	54.13	52.39	64.75	52.80	...
Both conditions present.....	22.94	18.75	-	29.21	33.89	25.39	17.34	19.87	19.73	21.61	27.06	18.54	...
No conditions present.....	40.62	48.37	74.56	24.10	35.49	33.33	50.87	41.69	45.30	47.21	34.79	46.81	...
Not reported.....	.43	-	-	-	1.61	.73	-	1.01	.57	.40	.46	.39	...
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	22.79	18.75	-	23.27	32.07	24.66	22.08	17.37	21.59	18.48	24.14	21.36	...
Neighborhood crime.....	28.66	28.13	-	59.01	44.64	32.59	23.04	14.07	23.29	27.00	31.93	25.61	...
Unsatisfactory neighborhood shopping.....	8.50	10.94	8.56	18.56	23.48	16.06	5.77	6.43	9.37	10.82	9.34	7.60	...
Unsatisfactory public elementary school.....	3.23	4.70	-	-	8.34	3.41	3.92	-	3.12	4.10	2.33	4.18	...
Unsatisfactory public transportation.....	5.42	1.56	-	5.28	6.30	7.49	4.25	3.38	5.05	5.42	6.17	4.62	...
Any condition(s).....	48.07	45.37	8.56	65.51	62.94	58.76	41.45	32.95	44.72	43.77	50.29	45.72	...
Two or more conditions.....	16.63	15.58	-	23.27	31.93	21.92	14.80	7.35	13.78	17.82	19.05	14.47	...
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	8.84	7.78	-	16.50	23.52	13.19	10.03	5.48	8.13	7.52	9.39	8.27	...
Neighborhood crime.....	12.03	10.90	-	40.02	26.48	17.20	11.02	3.44	6.80	13.80	14.12	9.82	...
Unsatisfactory public elementary school.....	1.78	3.13	-	-	6.87	2.73	1.38	-	1.50	1.12	1.19	2.40	...
Any condition(s).....	16.45	14.03	-	40.02	36.59	21.97	16.21	6.96	13.90	15.94	17.83	14.97	...
Two or more conditions.....	5.88	6.21	-	16.50	16.93	10.44	5.96	1.96	4.28	6.11	6.52	5.16	...
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.43	-	-	-	1.61	.73	-	1.01	.57	.40	.46	.39	...
Neighborhood crime.....	.49	1.57	-	-	1.61	.73	-	1.01	.70	.78	.58	.39	...
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	40.15	33.22	15.88	36.81	50.98	58.37	66.02	1.47	41.06	64.73	33.42	47.28	...
Satisfactory public elementary school.....	26.84	17.25	4.21	36.81	31.61	32.73	47.61	.94	24.52	44.50	22.37	31.58	...
Unsatisfactory public elementary school.....	3.23	4.70	-	-	8.34	3.41	3.92	-	3.12	4.10	2.33	4.18	...
So bothered they want to move.....	1.78	3.13	-	-	6.87	2.73	1.38	-	1.50	1.12	1.19	2.40	...
Not reported.....	.39	1.57	-	-	-	-	1.45	-	.54	1.50	.46	.31	...
Not reported or don't know.....	10.07	11.27	11.67	-	11.03	20.23	14.50	.53	13.43	16.13	8.71	11.51	...
Public elementary school less than 1 mile.....	27.60	22.25	15.88	30.30	42.80	36.71	47.34	.44	25.53	45.50	23.42	32.02	...
Public elementary school 1 mile or more.....	10.87	7.84	-	6.50	8.18	16.98	16.31	.50	13.05	17.30	8.62	13.25	...
Not reported.....	1.69	3.13	-	-	-	2.68	2.37	.53	2.48	1.93	1.38	2.01	...
Households without children aged 0-16.....	59.85	66.78	84.12	63.19	49.02	43.63	33.98	96.53	58.94	35.27	66.58	52.72	...
Households with children aged 4-16.....	30.88	21.92	4.21	36.81	43.08	42.57	51.06	1.47	29.54	53.38	25.35	36.75	...
Attend public school (K-12).....	26.92	17.23	4.21	36.81	43.08	38.44	47.26	.94	24.48	49.26	21.86	32.28	...
Attend private school (K-12).....	1.73	3.13	-	-	-	2.04	.55	-	1.64	1.08	1.66	1.59	...
Attend ungraded school, preschool, etc.....	.37	-	-	-	-	-	.58	-	.14	-	.49	.24	...
Does not attend school.....	1.41	1.56	-	-	-	1.36	1.95	-	1.58	1.89	1.03	1.82	...
Not reported.....	.52	-	-	-	-	.73	.73	.53	.70	1.14	.24	.82	...
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	89.06	79.61	74.03	100.00	80.26	91.46	90.39	89.72	87.35	88.75	80.19	87.85	...
Household uses it at least weekly.....	18.48	10.94	18.77	27.01	24.32	36.73	34.33	23.60	17.39	33.10	21.86	14.90	...
Satisfactory public transportation.....	16.93	10.94	18.77	21.73	21.27	31.90	32.09	22.13	15.89	30.81	20.01	13.68	...
Unsatisfactory public transportation.....	1.56	-	-	5.28	3.05	4.84	2.24	1.47	1.50	2.30	1.85	1.24	...
Not reported.....	-	-	-	-	-	-	-	-	-	-	-	-	...
Household uses it less than weekly.....	32.79	39.47	18.84	52.93	35.50	23.17	24.98	33.48	31.62	32.30	32.90	32.67	...
Satisfactory public transportation.....	26.78	37.92	18.84	52.93	32.25	20.52	22.89	31.57	27.93	29.17	28.37	29.17	...
Unsatisfactory public transportation.....	3.86	1.56	-	-	3.25	2.65	2.00	1.91	3.56	3.12	4.32	3.38	...
Not reported.....	.17	-	-	-	-	.28	.28	-	.14	-	.21	.12	...
Household does not use.....	37.73	29.20	36.32	20.06	20.44	31.55	30.80	32.84	38.34	23.35	35.43	40.16	...
Not reported.....	.06	-	-	-	-	.28	.28	-	-	-	-	.12	...
No public transportation.....	10.22	17.26	25.97	-	18.13	7.81	9.81	9.27	11.54	10.47	8.77	11.78	...
Not reported.....	.72	3.13	-	-	1.61	.73	-	1.01	1.11	.78	1.03	.39	...
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	90.36	85.92	91.44	81.44	73.11	81.88	83.63	90.54	89.23	87.98	89.64	91.13	...
Less than 1 mile.....	80.08	66.09	58.74	70.22	61.86	74.03	83.53	80.49	78.81	77.91	79.67	80.52	...
1 mile or more.....	9.41	18.26	32.70	5.43	8.09	7.15	9.12	9.57	9.18	7.96	8.97	8.61	...
Not reported.....	.87	1.57	-	5.78	3.17	.88	.88	.48	1.24	2.12	1.11	.81	...
Unsatisfactory neighborhood shopping.....	8.50	10.94	8.56	18.56	23.46	16.06	5.77	6.43	9.37	10.82	9.34	7.60	...
Not reported or don't know.....	1.14	3.14	-	-	3.42	2.07	.59	3.03	1.40	1.20	1.02	1.27	...

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 4-4. Neighborhood Quality—Occupied Units with Black Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	<b>47.5</b>	<b>13.3</b>	<b>34.2</b>	<b>1.6</b>	<b>-</b>	<b>.9</b>	<b>1.5</b>	<b>4.4</b>	<b>17.5</b>	<b>9.6</b>	<b>31.9</b>	<b>15.6</b>	<b>-</b>
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	38.98	24.34	44.67	57.46	...	26.33	65.58	40.80	43.06	45.13	41.76	33.30	...
Neighborhood crime.....	42.79	32.79	46.67	71.76	...	50.81	83.42	49.12	37.08	44.75	48.89	30.30	...
Any condition(s).....	58.89	40.72	65.94	71.76	...	50.81	100.00	60.43	61.45	60.73	63.51	49.45	...
Both conditions present.....	22.88	16.41	25.39	57.46	...	26.33	49.01	29.50	18.69	29.16	27.14	14.15	...
No conditions present.....	40.58	59.28	33.33	28.24	...	49.19	-	33.88	38.55	36.67	35.71	50.55	...
Not reported.....	.53	-	.73	-	...	-	-	5.71	-	2.60	.78	-	...
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	20.97	11.47	24.66	14.30	...	26.33	31.37	19.35	23.29	23.36	19.64	23.71	...
Neighborhood crime.....	28.96	19.62	32.59	57.46	...	50.81	64.52	29.34	22.48	32.62	32.41	21.91	...
Unsatisfactory neighborhood shopping.....	16.59	17.94	16.06	14.30	...	-	31.37	38.31	13.09	20.41	18.87	11.93	...
Unsatisfactory public elementary school.....	3.17	2.58	3.41	-	...	-	31.37	-	4.02	4.92	2.56	4.44	...
Unsatisfactory public transportation.....	7.23	6.58	7.49	14.30	...	-	15.52	7.81	5.30	6.00	5.44	10.90	...
Any condition(s).....	51.67	38.56	56.76	71.76	...	50.81	64.52	54.44	52.03	49.51	50.31	54.45	...
Two or more conditions.....	20.03	15.14	21.92	28.61	...	26.33	46.86	32.10	13.43	25.52	22.30	15.37	...
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	12.21	9.68	13.19	14.30	...	26.33	15.85	13.48	11.19	12.11	13.54	9.47	...
Neighborhood crime.....	13.40	3.60	17.20	14.30	...	50.81	64.52	5.21	9.94	18.95	15.15	9.81	...
Unsatisfactory public elementary school.....	1.97	-	2.73	-	...	-	31.37	-	2.70	4.92	1.48	2.95	...
Any condition(s).....	19.10	11.68	21.97	14.30	...	50.81	64.52	13.48	15.37	18.95	20.75	15.72	...
Two or more conditions.....	7.97	1.60	10.44	14.30	...	26.33	31.37	5.21	7.10	14.54	8.68	6.52	...
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic.....	.53	-	.73	-	...	-	-	5.71	-	2.60	.78	-	...
Neighborhood crime.....	.53	-	.73	-	...	-	-	5.71	-	2.60	.78	-	...
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16.....	54.09	48.23	56.37	28.85	...	26.33	64.52	5.71	58.79	71.84	50.46	61.51	...
Satisfactory public elementary school.....	33.89	36.89	32.73	28.85	...	26.33	33.16	-	26.79	35.79	31.02	39.77	...
Unsatisfactory public elementary school.....	3.17	2.58	3.41	-	...	-	31.37	-	4.02	4.92	2.56	4.44	...
So bothered they want to move.....	1.97	-	2.73	-	...	-	31.37	-	2.70	4.92	1.48	2.95	...
Not reported.....	17.03	8.77	20.23	-	...	-	-	5.71	27.98	30.93	16.89	17.30	...
Public elementary school less than 1 mile.....	35.23	31.44	36.71	14.43	...	26.33	48.67	-	32.38	45.55	31.80	42.26	...
Public elementary school 1 mile or more.....	16.37	14.79	16.98	14.43	...	-	15.85	-	22.61	20.71	15.69	17.76	...
Not reported.....	2.49	2.00	2.68	-	...	-	-	5.71	3.80	5.37	2.98	1.49	...
Households without children aged 0-16.....	45.91	51.77	43.63	71.15	...	73.67	35.48	94.29	41.21	26.36	49.54	38.49	...
Households with children aged 4-16.....	43.66	46.48	42.57	28.85	...	26.33	64.52	5.71	38.56	56.63	41.61	47.85	...
Attend public school(K-12).....	38.97	40.35	38.44	28.85	...	26.33	64.52	-	34.58	51.59	37.56	41.88	...
Attend private school (K-12).....	2.69	4.37	2.04	-	...	-	-	-	1.32	-	2.53	3.01	...
Attend ungraded school, preschool, etc.....	.98	-	1.36	-	...	-	-	-	2.66	2.44	.73	1.49	...
Does not attend school.....	1.02	1.76	.73	-	...	-	-	5.71	-	2.60	.78	1.49	...
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	...
<b>Public Transportation as a Percent of Total</b>													
With public transportation.....	87.06	75.73	91.46	86.07	...	100.00	84.15	67.90	91.71	89.68	86.71	87.78	...
Household uses it at least weekly.....	29.88	12.21	36.73	28.85	...	48.73	49.73	28.33	38.65	46.09	34.27	20.89	...
Satisfactory public transportation.....	25.67	9.63	31.90	28.85	...	48.73	49.73	20.52	34.67	40.10	30.23	16.35	...
Unsatisfactory public transportation.....	4.21	2.58	4.84	-	...	-	-	7.81	3.98	6.00	4.04	4.54	...
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	...
Household uses it less than weekly.....	24.87	29.26	23.17	28.61	...	51.27	15.52	25.77	14.52	26.33	25.56	23.48	...
Satisfactory public transportation.....	21.85	25.26	20.52	14.30	...	51.27	-	25.77	13.19	26.33	24.16	17.10	...
Unsatisfactory public transportation.....	3.03	4.00	2.65	14.30	...	-	15.52	-	1.32	-	1.40	6.36	...
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	...
Household does not use.....	32.31	34.26	31.55	28.61	...	-	18.90	13.80	38.54	17.26	26.87	43.43	...
Not reported.....	-	-	-	-	...	-	-	-	-	-	-	-	...
No public transportation.....	12.41	24.27	7.81	13.93	...	-	15.85	26.39	8.29	7.71	12.51	12.22	...
Not reported.....	.53	-	.73	-	...	-	-	5.71	-	2.60	.78	-	...
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping.....	81.29	79.82	81.86	85.70	...	100.00	68.63	55.97	85.61	76.99	79.41	85.13	...
Less than 1 mile.....	71.84	66.19	74.03	85.70	...	73.21	34.42	49.74	75.62	63.72	66.78	82.18	...
1 mile or more.....	8.52	12.03	7.15	-	...	-	34.22	6.24	8.67	10.85	11.24	2.95	...
Not reported.....	.94	1.60	.68	-	...	26.79	-	-	1.32	2.41	1.39	-	...
Unsatisfactory neighborhood shopping.....	16.59	17.94	16.06	14.30	...	-	31.37	38.31	13.09	20.41	18.87	11.93	...
Not reported or don't know.....	2.12	2.24	2.07	-	...	-	-	5.71	1.30	2.60	1.72	2.94	...

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 5-4. Neighborhood Quality—Occupied Units with Hispanic Householder**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Total occupied units	Tenure		Housing unit characteristics				Household characteristics			Selected subareas <sup>1</sup>		
		Owner	Renter	New construction 4 yrs	Mobile homes	Physical problems		Elderly (65+)	Moved in past year	Below poverty level	Area one	Area two	Area three
						Severe	Moderate						
<b>Total</b> .....	137.0	56.2	80.7	5.6	6.6	.2	4.5	13.1	44.5	28.9	61.2	75.6	-
<b>Condition Present as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	33.29	32.31	33.98	24.88	38.10	100.00	38.43	46.94	33.64	30.65	34.98	31.93	...
Neighborhood crime .....	32.07	31.45	32.50	18.53	14.10	100.00	44.90	33.87	28.90	27.47	40.12	25.57	...
Any condition(s) .....	48.12	48.68	49.13	33.14	47.94	100.00	67.57	53.08	44.71	43.21	51.76	45.19	...
Both conditions present .....	17.24	17.08	17.34	8.26	4.26	100.00	15.76	27.72	17.83	14.91	23.34	12.31	...
No conditions present .....	51.88	53.32	50.87	66.86	52.06	-	32.43	46.92	55.29	56.79	48.24	54.81	...
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	...
<b>Condition Bothersome as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	20.48	18.19	22.08	16.60	26.15	100.00	27.45	32.44	20.98	15.50	20.59	20.40	...
Neighborhood crime .....	23.28	23.61	23.04	12.40	14.10	100.00	40.41	23.89	21.30	19.62	29.78	18.02	...
Unsatisfactory neighborhood shopping .....	6.87	6.45	5.77	12.47	-	100.00	17.96	8.37	6.27	7.61	6.71	5.40	...
Unsatisfactory public elementary school .....	4.67	5.75	3.92	4.17	-	-	4.71	-	3.27	6.49	5.31	4.15	...
Unsatisfactory public transportation .....	3.74	3.00	4.25	-	-	100.00	-	3.56	2.56	3.23	3.94	3.57	...
Any condition(s) .....	42.09	43.01	41.45	33.20	35.99	100.00	58.75	51.01	38.75	37.01	47.05	38.09	...
Two or more conditions .....	14.31	13.60	14.80	12.43	4.26	100.00	26.36	17.25	13.52	12.91	18.55	10.88	...
<b>Conditions so Objectionable Household Wants to Move as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	8.35	5.94	10.03	4.13	-	100.00	21.65	11.16	7.35	7.20	9.18	7.68	...
Neighborhood crime .....	9.86	8.19	11.02	4.13	-	100.00	20.23	15.81	8.78	12.82	14.09	6.43	...
Unsatisfactory public elementary school .....	1.61	1.96	1.36	-	-	-	-	-	.50	.77	1.75	1.49	...
Any condition(s) .....	14.41	11.83	16.21	4.13	-	100.00	31.54	17.56	12.48	15.06	18.19	11.35	...
Two or more conditions .....	5.27	4.27	5.96	4.13	-	100.00	10.34	9.41	4.15	5.73	6.83	4.00	...
<b>Incomplete Reporting as a Percent of Total<sup>2</sup></b>													
Street noise or traffic .....	-	-	-	-	-	-	-	-	-	-	-	-	...
Neighborhood crime .....	.20	.49	-	-	-	-	-	2.10	-	-	-	.36	...
<b>Public Elementary School as a Percent of Total</b>													
Households with any children aged 0-16 .....	62.28	56.92	66.02	46.38	46.84	-	78.66	7.02	66.29	66.06	55.12	68.07	...
Satisfactory public elementary school .....	45.68	42.91	47.81	37.11	46.84	-	58.92	5.24	44.64	65.68	40.26	50.05	...
Unsatisfactory public elementary school .....	4.67	5.75	3.92	4.17	-	-	4.71	-	3.27	6.49	5.31	4.15	...
So bothered they want to move .....	1.61	1.96	1.36	-	-	-	-	-	.50	.77	1.75	1.49	...
Not reported .....	.85	-	1.45	4.17	-	-	-	-	2.11	3.24	1.53	.31	...
Not reported or don't know .....	11.93	8.26	14.50	5.09	-	-	15.03	1.78	18.37	13.91	9.55	13.86	...
Public elementary school less than 1 mile .....	42.34	35.15	47.34	29.87	29.70	-	46.74	3.38	44.86	63.75	37.46	46.27	...
Public elementary school 1 mile or more .....	18.21	20.93	16.31	16.51	17.13	-	31.92	3.64	18.71	19.89	16.49	19.59	...
Not reported .....	1.74	.84	2.37	-	-	-	-	-	2.72	2.45	1.17	2.20	...
Households without children aged 0-16 .....	37.72	43.08	33.98	53.62	53.16	100.00	21.34	92.98	33.71	13.92	44.86	31.93	...
Households with children aged 4-16 .....	51.10	51.15	51.06	37.15	46.84	-	68.70	7.02	47.38	72.48	45.56	55.57	...
Attend public school (K-12) .....	45.25	42.37	47.26	28.98	40.10	-	68.70	5.24	42.64	69.23	41.70	48.12	...
Attend private school (K-12) .....	3.18	6.96	.55	8.17	6.74	-	-	-	.51	1.64	2.35	3.85	...
Attend ungraded school, preschool, etc .....	.95	1.47	.58	-	-	-	-	-	.67	-	.87	1.00	...
Does not attend school .....	1.32	.41	1.95	-	-	-	-	-	3.03	.80	1.46	1.21	...
Not reported .....	.77	.84	.73	-	-	-	-	1.78	.54	.80	-	1.40	...
<b>Public Transportation as a Percent of Total</b>													
With public transportation .....	85.76	79.12	90.39	58.77	89.36	100.00	84.60	84.26	88.01	85.77	87.49	84.37	...
Household uses it at least weekly .....	23.86	8.84	34.33	4.17	13.79	100.00	25.85	31.05	26.48	41.06	30.55	18.47	...
Satisfactory public transportation .....	22.54	8.84	32.09	4.17	13.79	-	25.85	27.49	26.91	39.44	26.68	17.59	...
Unsatisfactory public transportation .....	1.32	-	2.24	-	-	100.00	-	3.56	1.57	1.62	1.87	.88	...
Not reported .....	-	-	-	-	-	-	-	-	-	-	-	-	...
Household uses it less than weekly .....	26.22	28.01	24.98	25.82	38.02	-	31.25	26.51	25.09	23.82	24.92	27.27	...
Satisfactory public transportation .....	23.64	25.01	22.69	25.82	38.02	-	31.25	26.51	24.10	22.21	22.85	24.28	...
Unsatisfactory public transportation .....	2.41	3.00	2.00	-	-	-	-	-	.99	1.61	2.07	2.69	...
Not reported .....	.17	-	.28	-	-	-	-	-	-	-	-	.30	...
Household does not use .....	35.51	42.27	30.80	28.78	37.55	-	27.49	26.70	32.45	20.89	32.02	38.33	...
Not reported .....	.17	-	.28	-	-	-	-	-	-	-	-	.30	...
No public transportation .....	14.07	20.46	9.61	37.08	10.64	-	15.40	15.74	13.99	14.23	12.51	15.32	...
Not reported .....	.17	.41	-	4.15	-	-	-	-	-	-	-	.31	...
<b>Neighborhood Shopping as a Percent of Total</b>													
Satisfactory neighborhood shopping .....	82.78	91.55	93.63	83.37	100.00	-	82.04	91.63	93.20	91.58	90.91	94.28	...
Less than 1 mile .....	79.54	73.81	83.53	62.89	86.89	-	56.59	81.47	83.83	76.93	75.19	83.06	...
1 mile or more .....	12.66	17.73	9.12	20.48	13.11	-	20.65	10.16	8.90	12.63	14.43	11.22	...
Not reported .....	.58	-	.98	-	-	-	4.80	-	.47	2.02	1.29	-	...
Unsatisfactory neighborhood shopping .....	6.87	6.45	5.77	12.47	-	100.00	17.96	8.37	6.27	7.61	6.71	5.40	...
Not reported or don't know .....	.35	-	.59	4.17	-	-	-	-	.53	.81	.38	.32	...

<sup>1</sup>See inside back cover.

<sup>2</sup>Figures may not add to 100%, because more than one condition may apply to a unit or conditions are not reported.

**Table 6-1. General Characteristics of 1991 Year-Round Housing Units and 1991 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1980 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>963.9</b>	<b>678.9</b>	<b>480.6</b>	<b>398.4</b>	<b>64.9</b>	<b>9.2</b>	<b>7.2</b>	<b>1.3</b>	<b>5.9</b>	<b>2.0</b>
<b>Units in Structure</b>										
1, detached.....	485.4	459.1	364.2	95.0	26.3	4.8	3.3	.6	2.6	1.6
1, attached.....	66.3	59.5	30.2	29.3	8.8	.7	.5	—	.5	.2
2 to 4.....	94.1	85.5	20.0	65.5	8.6	1.3	1.1	—	1.1	.2
5 to 9.....	98.9	87.4	13.6	73.7	11.6	—	—	—	—	—
10 to 19.....	91.0	77.6	4.6	73.0	13.3	.7	.7	—	.7	—
20 to 49.....	51.4	44.9	5.7	39.2	6.5	.2	.2	—	.2	—
50 or more.....	29.6	22.8	2.4	20.4	6.8	.5	.5	—	.5	—
Mobile home or trailer.....	47.2	42.1	39.8	2.3	5.1	1.0	1.0	.6	.3	—
<b>Year Structure Built<sup>1</sup></b>										
1990 to 1994.....	29.7	21.1	12.5	8.5	8.6	—	—	—	—	—
1985 to 1989.....	159.3	144.9	71.9	73.0	14.4	.7	.7	—	.7	—
1980 to 1984.....	76.4	71.2	46.1	25.1	5.2	—	—	—	—	—
1975 to 1979.....	134.0	123.9	67.8	58.1	10.1	1.1	.9	.3	.6	.2
1970 to 1974.....	137.7	124.8	66.6	58.2	13.0	.2	.2	—	.2	—
1960 to 1969.....	201.3	185.0	105.5	79.5	16.3	3.2	2.6	.8	1.8	.6
1950 to 1959.....	110.2	102.7	64.7	38.0	7.5	1.1	.5	—	.5	.6
1940 to 1949.....	62.9	57.8	27.1	30.8	5.0	1.4	.8	—	.8	.6
1930 to 1939.....	32.6	30.2	9.9	20.3	2.4	1.4	1.4	.2	1.2	—
1920 to 1929.....	10.2	9.2	5.1	4.1	1.0	—	—	—	—	—
1919 or earlier.....	9.5	8.1	3.4	4.7	1.4	—	—	—	—	—
Median.....	1971	1971	1971	1972	1972	1962	1963	—	—	—
<b>Rooms</b>										
1 room.....	7.6	6.4	.4	6.0	1.3	.7	.7	—	.7	—
2 rooms.....	17.5	14.5	2.7	11.8	3.0	.3	.3	—	.3	—
3 rooms.....	127.8	108.0	12.9	95.1	19.7	3.4	2.7	1.0	1.7	.8
4 rooms.....	262.7	234.5	65.7	168.8	28.2	2.1	1.8	.2	1.6	.3
5 rooms.....	186.0	172.2	106.9	65.3	13.8	1.8	.8	—	.8	1.0
6 rooms.....	159.1	150.0	120.3	29.7	9.1	.8	.6	—	.6	—
7 rooms.....	111.9	106.1	93.3	12.8	5.8	—	—	—	—	—
8 rooms.....	61.2	57.8	51.9	5.9	3.4	—	—	—	—	—
9 rooms.....	19.4	19.2	18.3	.9	.2	—	—	—	—	—
10 rooms or more.....	10.6	10.2	8.2	2.0	.4	.2	.2	—	.2	—
Median.....	4.9	4.9	5.9	4.0	4.2	3.6	3.4	—	—	—
<b>Bedrooms</b>										
None.....	17.4	14.2	.9	13.4	3.2	.7	.7	—	.7	—
1.....	156.0	133.2	22.2	111.0	22.7	3.7	2.9	.6	2.3	.8
2.....	352.2	319.5	129.1	190.4	32.8	3.3	2.7	.6	2.1	.8
3.....	291.5	272.7	208.2	64.5	18.9	1.2	.5	—	.5	.7
4 or more.....	146.7	139.3	120.2	19.1	7.5	.2	.2	—	.2	—
Median.....	2.4	2.4	2.9	1.9	2.0	1.5	1.5	—	—	—
<b>Complete Bathrooms</b>										
None.....	3.5	2.6	.7	1.9	.9	.2	.2	—	.2	—
1.....	365.0	325.6	85.2	240.4	39.5	8.1	6.4	1.3	5.1	1.7
1 and one-half.....	86.8	79.4	48.7	30.7	7.4	.3	.3	—	.3	—
2 or more.....	508.5	471.3	346.0	125.4	37.2	.6	.2	—	.2	.3
<b>Air Conditioning</b>										
No air conditioning.....	608.8	554.1	288.0	266.1	54.7	6.3	4.5	.6	3.9	1.8
With air conditioning.....	355.1	324.8	192.5	132.3	30.2	2.9	2.6	.6	2.0	.2
Central.....	232.8	210.6	145.4	65.2	22.2	1.6	1.4	.6	.7	.2
1 room unit.....	113.8	106.0	41.0	65.1	7.8	1.0	1.0	—	1.0	—
2 room units.....	6.9	6.7	5.1	1.6	.2	.3	.3	—	.3	—
3 room units or more.....	1.5	1.5	1.1	.4	—	—	—	—	—	—
<b>Main Heating Equipment</b>										
Warm-air furnace.....	481.8	447.7	328.3	119.4	34.1	1.2	1.0	—	1.0	.2
Steam or hot water system.....	4.0	4.0	1.7	2.3	—	—	—	—	—	—
Electric heat pump.....	43.7	36.3	18.2	18.1	7.4	—	—	—	—	—
Built-in electric units.....	143.8	126.2	25.6	100.6	17.5	1.5	1.5	—	1.5	—
Floor, wall, or other built-in hot air units without ducts.....	208.6	188.5	68.5	120.1	20.0	3.1	2.3	.2	2.0	.9
Room heaters with flue.....	18.9	17.7	7.1	10.6	1.2	.3	.3	.3	.3	—
Room heaters without flue.....	3.4	3.4	1.4	2.0	—	—	—	—	—	—
Portable electric heaters.....	15.1	13.9	6.0	7.9	1.2	.9	.9	.4	.5	—
Stoves.....	8.8	7.7	4.6	3.1	1.1	.4	.4	.4	.4	—
Fireplaces with inserts.....	7.5	7.3	6.5	.8	.2	—	—	—	—	—
Fireplaces without inserts.....	12.3	12.0	9.2	2.8	.2	.3	—	—	—	.3
Other.....	2.6	2.6	1.3	1.3	—	—	—	—	—	—
None.....	13.5	11.6	2.2	9.4	2.0	1.4	.8	—	.8	.6
<b>Main House Heating Fuel</b>										
Housing units with heating fuel.....										
Electricity.....	950.3	867.3	478.4	386.9	83.0	7.8	6.4	1.3	5.1	1.4
Piped gas.....	249.0	218.8	66.4	152.4	30.2	3.0	2.7	.4	2.4	.2
Bottled gas.....	632.5	584.7	368.6	216.1	47.8	3.3	2.8	.2	2.5	.6
Fuel oil.....	23.9	21.4	17.9	3.6	2.5	.3	.3	.3	.3	—
Kerosene or other liquid fuel.....	11.0	10.1	2.2	7.9	.9	.6	.3	—	.3	.3
Coal or coke.....	2.4	2.4	1.3	1.1	—	—	—	—	—	—
Wood.....	29.6	28.1	21.1	7.0	1.6	.7	.4	.4	.4	.3
Solar energy.....	.9	.9	.4	.4	—	—	—	—	—	—
Other.....	.9	.9	.5	.5	—	—	—	—	—	—

**Table 6-1. General Characteristics of 1991 Year-Round Housing Units and 1991 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1980 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OCCUPIED UNITS</b>										
<b>Total</b> -----	---	678.9	480.6	398.4	---	---	7.2	1.3	5.9	---
<b>Race and Origin</b>										
<b>White</b> -----	---	768.0	438.6	329.4	---	---	6.0	.9	5.1	---
Non-Hispanic-----	---	670.8	403.2	287.6	---	---	4.6	.9	3.7	---
Hispanic-----	---	97.2	35.4	61.8	---	---	1.4	—	1.4	---
<b>Black</b> -----	---	49.2	14.6	34.4	---	---	.5	—	.5	---
<b>Other</b> -----	---	61.7	27.2	34.6	---	---	1.6	.4	1.3	---
<b>Total Hispanic</b> -----	---	109.7	38.7	71.0	---	---	1.7	—	1.7	---
<b>Persons Per Room</b>										
<b>0.50 or less</b> -----	---	548.3	348.7	199.6	---	---	4.0	.9	3.1	---
<b>0.51 to 1.00</b> -----	---	292.4	123.2	169.2	---	---	2.2	.4	1.8	---
<b>1.01 to 1.50</b> -----	---	28.6	7.3	21.3	---	---	.5	—	.5	---
<b>1.51 or more</b> -----	---	9.6	1.3	6.3	---	---	.5	—	.5	---
<b>Selected Subareas<sup>2</sup></b>										
<b>Area one</b> -----	---	404.4	195.2	209.2	---	---	3.2	.2	2.9	---
<b>Area two</b> -----	---	474.6	285.4	189.2	---	---	4.0	1.0	3.0	---
<b>Area three</b> -----	---	—	—	—	---	---	—	—	—	---

<sup>1</sup>For mobile homes, oldest category is 1939 or earlier.

<sup>2</sup>See inside back cover for details.

**Table 6-2. Quality Characteristics of 1991 Year-Round Housing Units and 1991 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1990 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	<b>963.9</b>	<b>878.9</b>	<b>480.6</b>	<b>398.4</b>	<b>84.9</b>	<b>9.2</b>	<b>7.2</b>	<b>1.3</b>	<b>5.9</b>	<b>2.0</b>
<b>External Building Conditions<sup>1</sup></b>										
Sagging roof .....	2.6	2.1	.6	1.5	.5	.6	.3	-	.3	.3
Missing roofing material .....	2.5	1.9	.5	1.4	.6	-	-	-	-	-
Hole in roof .....	.3	.3	-	.3	-	.3	.3	-	.3	-
Could not see roof .....	82.7	77.3	22.9	54.5	5.3	1.4	1.1	-	1.1	.3
Missing bricks, siding, other outside wall material ..	4.3	2.6	.3	2.3	1.6	.3	-	-	-	.3
Sloping outside walls .....	-	-	-	-	-	-	-	-	-	-
Boarded up windows .....	2.4	.8	.3	.5	1.7	.9	-	-	-	.9
Broken windows .....	2.4	1.5	.7	.8	.9	.4	-	-	-	.4
Bars on windows .....	18.5	17.2	8.6	8.5	1.3	1.0	-	-	.8	.2
Foundation crumbling or has open crack or hole ..	3.1	2.9	1.5	1.4	.2	.3	.3	-	.3	-
Could not see foundation .....	29.6	27.7	10.7	17.0	1.8	1.1	.8	-	.8	.3
None of the above .....	851.3	777.3	441.6	335.7	74.0	6.2	5.3	1.0	4.3	.9
Could not observe or not reported.....	7.8	6.6	4.6	2.0	1.2	.3	.3	.3	-	-
<b>Selected Amenities<sup>1</sup></b>										
Porch, deck, balcony, or patio .....	770.4	712.0	442.6	269.2	58.4	4.3	3.6	.6	3.0	.6
Not reported .....	.8	.2	-	.2	.8	1.6	1.2	-	1.2	.3
Usable fireplace .....	420.9	393.2	316.3	76.9	27.7	1.1	.8	-	.8	.3
Separate dining room .....	263.4	267.9	205.2	62.8	15.4	-	-	-	-	-
With 2 or more living rooms or recreation rooms, etc.	285.3	271.3	237.8	33.4	14.0	.8	.8	-	.8	-
Garage or carport included with home .....	682.7	644.6	443.8	200.8	36.0	2.9	2.9	.2	2.6	.5
Garage or carport not included .....	257.1	232.4	35.7	196.7	24.7	4.7	4.3	1.0	3.3	.5
Offstreet parking included .....	205.0	183.6	29.7	153.9	21.4	3.9	3.5	1.0	2.4	.5
Offstreet parking not reported .....	.8	.8	.3	.6	-	-	-	-	-	-
Garage or carport not reported .....	4.3	1.9	1.0	.9	2.4	-	-	-	-	-
<b>Selected Deficiencies<sup>1</sup></b>										
Signs of rats in last 3 months .....	...	20.2	8.8	11.4	...	...	-	-	-	...
Holes in floors .....	8.6	8.0	2.9	5.1	.6	.6	-	-	-	.6
Open cracks or holes (interior) .....	40.3	36.0	13.2	24.8	2.2	1.3	.7	-	.7	.6
Broken plaster or peeling paint (interior) .....	25.2	23.5	7.4	16.1	1.7	1.6	1.0	.2	.7	.6
No electrical wiring .....	-	-	-	-	-	-	-	-	-	-
Exposed wiring .....	14.5	13.9	4.3	9.6	.6	1.3	1.0	-	1.0	.3
Rooms without electric outlets .....	13.6	12.5	4.2	8.3	1.1	.8	.3	-	.3	.3
<b>Age of Other Residential Buildings Within 300 Feet</b>										
Older .....	23.9	19.2	7.3	11.9	4.7	.2	.2	-	.2	-
About the same .....	720.1	660.7	388.0	272.7	59.3	4.4	3.3	.5	2.8	1.1
Newer .....	29.4	25.7	13.3	12.4	3.8	1.1	.8	-	.8	.3
Very mixed .....	169.5	155.1	59.0	96.1	14.4	2.8	2.6	.8	2.1	-
No other residential buildings .....	16.8	14.2	10.1	4.2	2.5	.6	-	-	-	.6
Not reported .....	4.4	4.2	1.8	2.4	.2	-	-	-	-	-
<b>Other Buildings Vandalized or With Interior Exposed</b>										
None .....	935.8	853.4	462.1	391.3	82.4	8.9	7.2	1.3	5.9	1.7
1 Building .....	3.4	3.4	.7	2.7	-	-	-	-	-	-
More than 1 building .....	3.9	3.9	1.4	2.5	-	-	-	-	-	-
No buildings within 300 feet .....	10.3	8.6	7.6	.9	1.7	-	-	-	-	-
Not reported .....	10.6	9.8	7.7	2.2	.8	.3	-	-	-	.3
<b>Bars on Windows of Buildings</b>										
With other buildings within 300 feet.....	943.2	860.6	464.3	396.5	82.4	8.9	7.2	1.3	5.9	1.7
No bars on windows .....	802.0	728.3	401.2	327.1	73.7	7.0	5.9	1.3	4.6	1.1
1 building with bars .....	36.8	34.9	19.1	15.8	1.7	.2	.2	-	.2	-
2 or more buildings with bars .....	98.8	91.8	40.2	51.6	7.0	1.3	.7	-	.7	.6
Not reported .....	5.7	5.7	3.8	2.0	-	.3	.3	-	.3	-
<b>Conditions of Streets</b>										
No repairs needed .....	820.2	748.4	421.1	325.3	73.8	6.0	4.3	.2	4.0	1.7
Minor repairs needed .....	105.6	97.0	38.7	58.4	8.6	2.6	2.3	.4	1.9	.3
Major repairs needed .....	13.0	12.3	7.2	5.0	.8	.4	.4	-	.4	-
No streets within 300 feet .....	20.1	18.3	10.4	8.0	1.8	.3	.3	.3	-	-
Not reported .....	5.1	5.1	2.2	2.9	-	-	-	-	-	-
<b>Trash, Litter, or Junk on Streets or any Properties</b>										
None .....	826.7	752.9	435.0	317.9	73.9	6.8	5.2	1.0	4.2	1.7
Minor accumulation .....	124.8	113.9	38.9	75.0	10.6	2.3	2.0	.3	1.7	.4
Major accumulation .....	8.8	8.4	3.1	5.3	.4	-	-	-	-	-
Not reported .....	4.0	4.0	2.6	1.5	-	-	-	-	-	-

<sup>1</sup>Figures may not add to total because more than one category may apply to a unit.

**Table 6-3. Financial Characteristics of 1991 Year-Round Housing Units and 1991 Units Removed from the Inventory by 1994**

[Numbers in thousands. Consistent with the 1980 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>Total</b> .....	---	<b>878.9</b>	<b>480.6</b>	<b>398.4</b>	---	---	<b>7.2</b>	<b>1.3</b>	<b>5.9</b>	---
<b>Monthly Housing Costs<sup>1</sup></b>										
Less than \$100.....	---	7.0	5.6	1.3	---	---	.3	-	.3	---
\$100 to \$199.....	---	59.3	49.8	9.5	---	---	.4	.4	-	---
\$200 to \$249.....	---	25.7	18.6	7.1	---	---	.9	.4	.5	---
\$250 to \$299.....	---	25.6	21.1	4.6	---	---	.3	-	.3	---
\$300 to \$349.....	---	24.5	17.4	7.0	---	---	.3	-	.3	---
\$350 to \$399.....	---	31.8	19.8	11.8	---	---	-	-	-	---
\$400 to \$449.....	---	39.7	15.8	24.0	---	---	.5	-	.5	---
\$450 to \$499.....	---	41.0	11.7	29.3	---	---	.7	.3	.5	---
\$500 to \$599.....	---	90.0	17.0	72.9	---	---	.9	-	.9	---
\$600 to \$699.....	---	90.1	14.8	75.3	---	---	.7	-	.7	---
\$700 to \$799.....	---	78.5	21.3	57.1	---	---	.6	-	.6	---
\$800 to \$999.....	---	89.8	39.7	50.1	---	---	.6	-	.6	---
\$1000 to \$1249.....	---	73.2	50.4	22.8	---	---	.2	-	.2	---
\$1250 to \$1499.....	---	52.1	42.6	9.5	---	---	-	-	-	---
\$1500 or more.....	---	97.5	91.8	5.8	---	---	.2	-	.2	---
No cash rent.....	---	10.2	---	10.2	---	---	.3	-	.3	---
Mortgage payment not reported.....	---	43.2	43.2	---	---	---	.2	.2	---	---
Median (excludes no cash rent).....	---	678	829	635	---	---	495	---	---	---
<b>Median Monthly Housing Costs For Owners</b>										
Monthly costs including all mortgages plus maintenance costs.....	---	---	863	---	---	---	---	---	---	---
Monthly costs excluding 2nd and subsequent mortgages and maintenance costs.....	---	---	709	---	---	---	---	---	---	---
<b>Rent Reductions</b>										
No subsidy or income reporting.....	---	---	---	365.2	---	---	---	---	---	---
Rent control.....	---	---	---	.6	---	---	---	---	---	---
No rent control.....	---	---	---	364.1	---	---	---	---	---	---
Reduced by owner.....	---	---	---	17.4	---	---	---	---	---	---
Not reduced by owner.....	---	---	---	346.1	---	---	---	---	---	---
Owner reduction not reported.....	---	---	---	.6	---	---	---	---	---	---
Rent control not reported.....	---	---	---	.4	---	---	---	---	---	---
Owned by public housing authority.....	---	---	---	3.9	---	---	---	---	---	---
Other, Federal subsidy.....	---	---	---	19.6	---	---	---	---	---	---
Other, State or local subsidy.....	---	---	---	2.6	---	---	---	---	---	---
Other, income verification.....	---	---	---	5.7	---	---	---	---	---	---
Subsidy or income verification not reported.....	---	---	---	1.3	---	---	---	---	---	---
<b>OCCUPIED UNITS</b>										
<b>Total</b> .....	---	<b>878.9</b>	<b>480.6</b>	<b>398.4</b>	---	---	<b>7.2</b>	<b>1.3</b>	<b>5.9</b>	---
<b>Household Income</b>										
Less than \$5,000.....	---	15.8	4.0	11.8	---	---	.6	-	.6	---
\$5,000 to \$9,999.....	---	68.9	22.9	46.0	---	---	1.3	.4	1.0	---
\$10,000 to \$14,999.....	---	69.5	19.9	49.5	---	---	.5	-	.5	---
\$15,000 to \$19,999.....	---	73.9	27.7	46.2	---	---	1.1	-	1.1	---
\$20,000 to \$24,999.....	---	70.3	28.8	41.5	---	---	.6	-	.6	---
\$25,000 to \$29,999.....	---	93.0	43.3	49.7	---	---	1.2	-	1.2	---
\$30,000 to \$34,999.....	---	61.5	26.0	35.4	---	---	.5	-	.5	---
\$35,000 to \$39,999.....	---	54.7	30.5	24.1	---	---	-	-	-	---
\$40,000 to \$49,999.....	---	95.3	59.8	35.4	---	---	.5	-	.5	---
\$50,000 to \$59,999.....	---	72.6	48.9	23.6	---	---	-	-	-	---
\$60,000 to \$79,999.....	---	94.7	72.9	21.8	---	---	.2	.2	---	---
\$80,000 to \$99,999.....	---	48.3	42.9	5.4	---	---	.4	.4	---	---
\$100,000 to \$119,999.....	---	21.9	19.2	2.7	---	---	-	-	-	---
\$120,000 or more.....	---	38.6	33.7	4.9	---	---	.3	.3	---	---
Median.....	---	33 909	46 195	25 412	---	---	21 308	---	---	---
As percent of poverty level:										
Less than 50 percent.....	---	14.6	3.3	11.4	---	---	-	-	-	---
50 to 99.....	---	51.3	9.9	41.4	---	---	1.5	.4	1.1	---
100 to 149.....	---	80.8	24.6	56.2	---	---	1.5	-	1.5	---
150 to 199.....	---	76.8	30.1	46.7	---	---	.7	-	.7	---
200 percent or more.....	---	655.4	412.7	242.7	---	---	3.5	.9	2.6	---
<b>Income of Families and Primary Individuals</b>										
Less than \$5,000.....	---	20.6	4.7	16.0	---	---	.8	-	.8	---
\$5,000 to \$9,999.....	---	79.2	24.3	55.0	---	---	1.3	.4	1.0	---
\$10,000 to \$14,999.....	---	82.2	20.9	61.3	---	---	.2	-	.2	---
\$15,000 to \$19,999.....	---	76.6	29.1	47.6	---	---	1.1	-	1.1	---
\$20,000 to \$24,999.....	---	70.2	30.6	39.6	---	---	.8	-	.8	---
\$25,000 to \$29,999.....	---	92.7	43.8	48.8	---	---	1.2	-	1.2	---
\$30,000 to \$34,999.....	---	62.2	27.9	34.3	---	---	.8	-	.8	---
\$35,000 to \$39,999.....	---	52.9	30.9	21.9	---	---	-	-	-	---
\$40,000 to \$49,999.....	---	90.9	60.5	30.5	---	---	.3	-	.3	---
\$50,000 to \$59,999.....	---	65.9	48.2	17.7	---	---	.4	.4	---	---
\$60,000 to \$79,999.....	---	84.7	68.6	16.1	---	---	.2	.2	---	---
\$80,000 to \$99,999.....	---	43.1	39.9	3.2	---	---	-	-	-	---
\$100,000 to \$119,999.....	---	20.4	18.6	1.8	---	---	-	-	-	---
\$120,000 or more.....	---	37.2	32.8	4.4	---	---	.3	.3	---	---
Median.....	---	31 440	44 664	22 445	---	---	21 308	---	---	---

**Table 6-3. Financial Characteristics of 1991 Year-Round Housing Units and 1991 Units Removed from the Inventory by 1994—Con.**

[Numbers in thousands. Consistent with the 1980 Census. ... means not applicable or sample too small. - means zero or rounds to zero.]

Characteristics	Year-round housing units					Year-round housing units removed				
	Total	Occupied			Vacant	Total	Occupied			Vacant
		Total	Owner	Renter			Total	Owner	Renter	
<b>OWNER HOUSING UNITS</b>										
Total .....	---	---	480.6	---	---	---	---	1.3	---	---
<b>Value<sup>2</sup></b>										
Less than \$10,000 .....	---	---	4.3	---	---	---	---	.6	---	---
\$10,000 to \$19,999 .....	---	---	11.7	---	---	---	---	---	---	---
\$20,000 to \$29,999 .....	---	---	7.1	---	---	---	---	---	---	---
\$30,000 to \$39,999 .....	---	---	7.2	---	---	---	---	---	---	---
\$40,000 to \$49,999 .....	---	---	4.3	---	---	---	---	---	---	---
\$50,000 to \$59,999 .....	---	---	3.0	---	---	---	---	---	---	---
\$60,000 to \$69,999 .....	---	---	4.3	---	---	---	---	---	---	---
\$70,000 to \$79,999 .....	---	---	5.0	---	---	---	---	.2	---	---
\$80,000 to \$99,999 .....	---	---	17.5	---	---	---	---	---	---	---
\$100,000 to \$119,999 .....	---	---	28.7	---	---	---	---	---	---	---
\$120,000 to \$149,999 .....	---	---	51.2	---	---	---	---	---	---	---
\$150,000 to \$199,999 .....	---	---	119.7	---	---	---	---	---	---	---
\$200,000 to \$249,999 .....	---	---	75.4	---	---	---	---	.4	---	---
\$250,000 to \$299,999 .....	---	---	45.3	---	---	---	---	---	---	---
\$300,000 or more .....	---	---	95.9	---	---	---	---	---	---	---
Time shared units .....	---	---	---	---	---	---	---	---	---	---
Median .....	---	---	190 122	---	---	---	---	---	---	---

<sup>1</sup>Rent asked for vacant units.

<sup>2</sup>Sales price for units that are for sale; purchase price for units sold but not yet occupied.

## Appendix A. Definitions and Questionnaire: 1993

### GENERAL DEFINITIONS

**Introduction.** The American Housing Survey was conducted by personal interview. The survey interviewers were instructed to read the questions directly from the questionnaire. The definitions and explanations given for each subject are, to a considerable extent, drawn from various technical and procedural materials used in the collection of the data. These materials helped the field interviewers to understand more fully the intent of each question and, thus, to resolve problems or unusual cases. Additional explanatory information has been added to this portion of the text to assist the user in understanding the statistics.

**Medians.** We estimate each median from the printed distribution. If there are 10 million homes of a particular type, the median is the 5 millionth, or halfway point of these homes. Therefore, if 4 million homes are below \$400 rent, then the median is the millionth home above \$400. Finally, if the next interval printed in the book (from \$400 to \$449), has 3 million homes, the median is assumed to be one-third of the way through the interval (at \$417). Actually, this technique overestimates medians by a few percent since most homes cluster at the bottom of their intervals. The clustering happens because landlords ask for rent in round numbers, like \$400, and people give answers in round numbers, like \$20,000 income, or 40 years old. There are two special cases in calculating medians: For education, we assume that an interval like "completed twelve years" means 12.00 to 12.99, so one-third of the way through is 12.33. For numbers of people or rooms, we assume an interval like 3 means 2.50 to 3.49, so one-third of the way through is 2.83. This method is used rather than just saying that the median is 3, in order to give a more detailed picture of the distribution. We do not show the median at all if the distribution is estimated to have fewer than 25 sample cases (50,000 homes in the national report, smaller numbers in the metropolitan reports).

**Comparability with 1990 Census of Population and Housing data.** The concepts and definitions are essentially the same for items that appear in both the 1990 census and the national reports.

There is a major difference, however, in the time period of the recent mover classification. In the American Housing Survey, recent movers are households that moved into their unit during the 12 months prior to interview, a period of 1 year or less. In publications for the 1990 Census of

Housing on mover households, the time period was from January 1, 1989, through March 31, 1990, a period of 15 months or less.

A variety of data on mortgages and homeowner properties are presented in publications from the Residential Finance Survey. Differences in the concepts and definitions in the American Housing Survey and Residential Finance Survey publications include the following: the basic unit of tabulation in AHS is the housing unit; in Residential Finance publications, it is the property. All the data in AHS are provided by the occupant; in Residential Finance publications, mortgage is reconciled with responses from the lender.

In the American Housing Survey, units are classified as new construction if constructed 4 years or less from the date of interview. In publications from the 1990 Census of Housing, units are classified as new construction if constructed in 1985 through 1990.

Data on poverty level in the 1990 Census of Housing do not contain the income of household members unrelated to the householder. In the American Housing Survey, data on poverty level include the income of all household members whether or not they are related to the householder.

Income data in the American Housing Survey are based on income for the 12 months prior to interview for those household members 14 years and older. The 1990 Census of Housing income data are for calendar year 1989 and for income of household members 15 years and older.

In the 1990 Census of Population, data for years of school completed were based on responses to two questions: the highest grade or year of regular school each household member attended, and whether or not that grade was completed. The response categories for persons who have attended college were modified from earlier censuses, because there was some ambiguity in interpreting responses in terms of number of years of college completed. This modification enhances the reporting of the number of college graduates. In the AHS, data for years of school completed were based on responses to a single question: the highest grade or year of regular school completed by the householder. Therefore, the AHS may overstate the education level of the householder; that is, respondents may have reported the grade or year the householder was currently enrolled in or had last been enrolled in whether or not the grade or year was completed.

Differences between the American Housing Survey data and the 1990 census may also be attributed to several

other factors. These include the extensive use of self-enumeration in the census in contrast to personal interview in the survey; differences in processing procedures and sample designs; the sampling variability associated with the sample data from both the AHS and the census; the nonsampling errors associated with the survey estimates; and the nonsampling errors associated with census data.

**Comparability with Current Construction Reports from the Survey of Construction.** The Census Bureau issues several publications under the general titles, "Current Construction Reports." The data for these reports are primarily from the Survey of Construction.

The Survey of Construction consists of approximately 8,300 permit-issuing places throughout the United States. The reports from the survey contain current data on housing starts and completions, construction authorized by building permits, new one-unit structures sold and for sale, characteristics of new housing, and value of new construction put in place. The concepts and definitions used in this report differ from some of those used in the Survey of Construction. The major difference is that the Survey of Construction shows counts and characteristics of housing units in various stages of construction through completion. The American Housing Survey shows counts and characteristics of the existing housing inventory. Additional differences between the American Housing Survey and the Survey of Construction may be attributed to factors such as the sampling variability and nonsampling errors of the data from the two surveys, survey procedures and techniques, and processing procedures.

**Comparability with housing vacancy surveys.** There may be differences between this survey and Federal, State, local, and other surveys that present vacancy rates. The differences may be attributed to such factors as differing interview periods, survey designs, survey techniques, and processing procedures, as well as differences in concepts and definitions. In addition, there are sampling and nonsampling errors.

## AREA DEFINITIONS

**Metropolitan areas.** Metropolitan areas (MA's) shown in the American Housing Survey are defined by the Office of Management and Budget. The metropolitan surveys use various definitions, some from 1970 and some from 1983. The national survey uses 1983 definitions. In standards published in the Federal Register on January 3, 1980, an area qualifies for recognition as an MA in one of two ways: if there is a city of at least 50,000 population, or a Census Bureau-defined urbanized area of at least 100,000 (75,000 in New England). Except in the New England States, an MA is defined in terms of entire counties. In New England, metropolitan areas are composed of cities and towns. In addition to the county containing the main city, additional

counties are included in an MA, if they are socially and economically integrated with the central county. An MA may contain more than one city of 50,000 population and may cross State lines.

**Primary metropolitan statistical areas.** Within the metropolitan statistical areas classified as Level A (population size of 1,000,000 or more), some areas may qualify for separate recognition as primary metropolitan statistical areas (PMSA's). A PMSA is a large urbanized county, or cluster of counties, that demonstrates very strong internal economic and social links, in addition to close ties to the other portions of the Level A metropolitan statistical area.

**Consolidated metropolitan statistical areas.** Consolidated metropolitan statistical areas (CMSA's) are classified as Level A metropolitan statistical areas when at least two primary metropolitan statistical areas are defined.

**Central cities.** Every metropolitan statistical area has at least one central city, which is usually its largest city. Smaller cities are also identified as central cities if they have at least 25,000 population and meet the following two commuting requirements. First, the city must have at least 75 jobs for each 100 residents who are employed. Second, no more than 60 percent of the city's resident workers may commute to jobs outside the city limits. In addition, any city with at least 250,000 population or at least 100,000 persons working within its corporate limits qualifies as a central city even if it fails to meet the above two commuting requirements. Finally, in certain smaller metropolitan statistical areas, there are places with between 15,000 and 25,000 population that also qualify as central cities, because they are at least one-third the size of the metropolitan statistical area's largest city and meet the two commuting requirements.

**Selected subareas.** Data for three of the largest central cities and/or central counties in each metropolitan area are shown in chapters 1 through 5 on table 4 under the column heading "selected subareas" and in chapter 6 on table 1 in the table stub. For a list of the selected subareas in each metropolitan area, see the inside back cover of this report.

**Standard metropolitan statistical areas.** The definitions of standard metropolitan statistical areas (SMSA's) used in the Annual Housing Survey prior to 1984 corresponded to the 243 SMSA's used in the 1970 census. Except in the New England States, an SMSA is a county or group of contiguous counties that contains at least one city of 50,000 inhabitants or more, or "twin cities" with a combined population of at least 50,000. In addition to the county or counties containing such a city or cities, contiguous counties are included in an SMSA if, according to certain criteria, they are socially and economically integrated with the central city. In the New England States, SMSA's consist

of towns and cities instead of counties. Each SMSA must include at least one central city, and the complete title of an SMSA identifies the central city or cities.

## SUBJECT CHARACTERISTICS

### Living Quarters

Living quarters are classified as either housing units or group quarters. Usually, living quarters are in structures intended for residential use (e.g., a one-unit structure, apartment house, hotel or motel, boarding house, or mobile home or trailer). Living quarters may also be in structures intended for nonresidential use (e.g., the rooms in a warehouse where a watchman lives), as well as in places such as tents, caves, and old railroad cars. We count these as living quarters if they are occupied.

**Housing units.** A housing unit is a house, an apartment, a group of rooms, or a single room occupied or intended for occupancy as separate living quarters. Separate living quarters are those in which the occupants do not live and eat with any other persons in the structure and that have direct access from the outside of the building or through a common hall that is used or intended for use by the occupants of another unit or by the general public. The occupants may be a single family, one person living alone, two or more families living together, or any other group of related or unrelated persons who share living arrangements (except as described in the section on group quarters). For vacant units, the criteria of separateness and direct access are applied to the intended occupants whenever possible. If the information cannot be obtained, the criteria are applied to the previous occupants. Both occupied and vacant housing units are included in the housing inventory, except that tents, caves, boats, railroad cars, and the like, are included only if they are occupied.

**Group quarters.** Group quarters are any living quarters which are not classified as housing units. Institutional group quarters are living quarters occupied by one or more persons under care or custody, such as children in an orphanage, persons in a nursing home, and prisoners in a penitentiary. Noninstitutional group quarters include living quarters such as college-owned and/or operated dormitories, fraternity and sorority houses, nurses' dormitories, and boarding house. In addition, noninstitutional group quarters include any living quarters which are occupied by 9 or more persons unrelated to the householder, or by 10 or more unrelated persons.

**Hotels, motels, rooming houses, etc.** Occupied rooms or suites of rooms in hotels, motels, and similar places are classified as housing units only when occupied by permanent residents; i.e., persons who consider the hotel as their

usual place of residence or have no usual place of residence elsewhere. Vacant rooms or suites of rooms are classified as housing units only in those hotels, motels, and similar places in which 75 percent or more of the accommodations are occupied by permanent residents.

If any of the occupants in a rooming or boarding house live and eat separately from everyone else in the building and have direct access, their quarters are classified as separate housing units. The remaining quarters are combined. If the combined quarters contain eight or fewer roomers unrelated to the householder, they are classified as one housing unit; if the combined quarters contain nine or more roomers unrelated to the householder, or person in charge, they are classified as group quarters. In a dormitory, residence hall, or similar place, living quarters of the supervisory staff and other employees are separate housing units if they satisfy the housing unit criteria; other living quarters are considered group quarters.

**Staff living quarters.** Living quarters of staff personnel are separate housing units if they satisfy the housing unit criteria. Other living quarters are considered group quarters.

**Year-round housing units.** Year-round housing units include all units occupied by one or more persons for whom it is their usual residence and all vacant units that are intended by the owner for occupancy at any time of the year. If a unit in a resort area is intended for occupancy on a year-round basis, it is a year-round housing unit, even if vacant.

**Seasonal units.** Seasonal units are units that are intended by the owner to be occupied during only certain seasons of the year. They are not anyone's usual residence and include units occupied entirely by persons with a usual residence elsewhere and vacant units. A seasonal unit may be used in more than one season; for example, both in the summer for summer sports and in the winter for winter sports. Counts of seasonal units in this report also include housing units held for occupancy by migratory farm workers.

**Occupied housing units.** A housing unit is classified as occupied if a person or group of persons is living in it at the time of the interview or if the occupants are only temporarily absent, for example, on vacation. However, if the unit is occupied entirely by persons with a usual place of residence elsewhere, the unit is classified as vacant. By definition, the count of occupied housing units is the same as the count of households.

**Race.** The classification of "race" refers to the race of the householder occupying the housing unit. The concept of race as used by the Census Bureau does not denote a clear-cut scientific definition of biological stock. Race was determined on the basis of a question that asked for

self-identification of a person's race. Figures on tenure are given separately for White and Black householders in table 1-1. Detailed characteristics of units with Black householders are presented in chapter 4.

**Hispanic.** The classification "Hispanic" refers to the origin of the householder occupying the housing unit. Detailed characteristics of housing units with Hispanic householders are presented in chapter 5. Hispanic origin was determined on the basis of a question that asked for self-identification of persons living in the unit who were Hispanic or Spanish American. Hispanic persons may be of any race.

Data on Hispanic households shown in American Housing Survey National reports are collected in the 50 States and the District of Columbia, and therefore, do not include households in Puerto Rico.

**Tenure.** A housing unit is owner occupied if the owner or co-owner lives in the unit, even if it is mortgaged or not fully paid for. Also, a cooperative or condominium unit is owner occupied only if the owner or co-owner lives in it. All other occupied housing units are classified as renter occupied, including housing units rented for cash rent and those occupied without payment of cash rent.

**Vacant housing units.** A housing unit is vacant if no one is living in it at the time of the interview, unless its occupants are only temporarily absent. In addition, a vacant housing unit may be one that is occupied entirely by persons who have a usual residence elsewhere (URE).

New housing units not yet occupied are classified as vacant housing units if construction has reached a point where all exterior windows and doors are installed and final usable floors are in place. Vacant units are excluded if unfit for human habitation; that is, if the roof, walls, windows, or doors no longer protect the interior from the elements, or if there is positive evidence (such as a sign on the house or block) that the unit is to be demolished or is condemned. Also excluded are quarters being used entirely for nonresidential purposes, such as a store, or an office; or quarters used for storing business supplies or inventory, machinery, or agricultural products.

**Vacancy status.** Vacant housing units are classified as either "seasonal" or "year-round." See definitions of seasonal and year-round on page A-4. Year-round vacant housing units are subdivided as follows:

**For sale only.** Vacant year-round units "for sale only" also include vacant units in a cooperative or condominium building if the individual units are offered for sale only.

**For rent.** Vacant year-round units "for rent" also include vacant units offered either for rent or for sale.

**Rented or sold, not occupied.** If any money rent has been paid or agreed upon, but the new renter has not moved in

as of the date of the interview, or if the unit has recently been sold, but the new owner has not yet moved in, the year-round vacant unit is classified as "rented or sold, not occupied."

**Held for occasional use.** This category consists of vacant year-round units that are held for weekend or other occasional use throughout the year. The intent of this question is to identify homes reserved by their owners as second homes. Because of the difficulty of distinguishing between this category and seasonal vacancies, it is possible that some second homes are classified as seasonal and vice versa.

**Temporarily occupied by persons with usual residence elsewhere (URE).** If all the persons in a housing unit usually live elsewhere, that unit is classified as vacant, provided the usual place of residence is held for the household and is not offered for rent or for sale. For example, a beach cottage occupied at the time of the interview by a family that has a usual place of residence in the city is included in the count of vacant units. If the house in the city was in the survey sample, the house would be reported occupied and would be included in the count of occupied units since the occupants are only temporarily absent.

**Held for other reasons.** If a vacant year-round unit does not fall into any of the classifications specified, it is classified as "held for other reasons." For example, this category includes units held for settlement of an estate, units held for occupancy by a caretaker or janitor, and units held for personal reasons of the owner. The "other vacant" category includes all housing units held for other reasons.

## Changes in the Housing Inventory

**Housing units added by new construction.** Housing units built in the 4 years prior to the date of the interview are classified as new construction.

**Housing units removed from the inventory.** In chapter 6, characteristics are presented for all year-round housing units that existed at the time of the last survey (1988, 1989, 1990, or 1991) but were removed from the inventory by 1994.

Removals can be permanent or retrievable. An example of a permanent removal would be a house that was completely destroyed in a fire or flood. An example of a retrievable removal would be a house occupied in the last survey, condemned as of 1994, but with the potential to be remodeled and occupied at a later date.

To be counted as a unit removed from the inventory, the housing unit had to be a regular occupancy, a year-round URE, or a year-round vacant in last survey; and be classified in one of the following categories in 1994:

1. Units removed through demolition or disaster. A year-round housing unit that existed in the last survey and was torn down on the initiative of a public agency or as a result of action on the part of the owner by 1994 is classified as a unit removed through demolition. Units destroyed by fire, flood, or other natural causes are classified as units removed through disaster.
2. Housing units removed by a change to group quarters. For example, a housing unit that was occupied by a family in the last survey and occupied by nine or more persons not related to the person in charge at the time of the 1994 survey.
3. Housing units removed from the inventory because they are vacant and either the roof, walls, doors, or windows no longer protect the interior from the elements or the unit is severely damaged by fire.
4. Vacant units removed from the inventory because there is positive evidence (sign notice, mark on the house or block) that the units are scheduled for demolition or rehabilitation or that they are condemned for reasons of health or safety so that further occupancy is prohibited.
5. Housing units removed by changes to entirely nonresidential use.
6. The count of losses in this report also partially reflects changes to the housing inventory as a result of mergers and conversions. A merger occurs when a housing unit from the last survey (1988, 1989, 1990, or 1991) is combined with one or more other units to form a new 1994 unit. It is usually the case that two units will combine to form one new unit, which will result in the net loss of one housing unit from the inventory. The approximate count of losses as a result of mergers in this survey are reasonably accurate.  
  
A conversion occurs when a housing unit from the last survey is converted into two or more housing units by the time of the current survey. Normally, conversions do not result in losses as the housing inventory now has more units. In this survey, however, some conversions were counted as losses due to limitations in the methods of tabulating the data. This occurred if the entire floor (all the units) of a building or an entire building underwent conversion in such a fashion that the original sample unit could no longer be identified. Then, the original unit was counted as a loss unit. As a result, the count of losses in this report is slightly overstated.
7. Housing units removed from the site since the 1988, 1989, 1990, or 1991 survey. Such moves do not necessarily result in a net removal to the total inventory since in many cases the units are added in the place to which they were moved.

## Moved in the Past Year

**Recent movers.** Data are shown for householders who moved into the present unit during the 12 months prior to the interview.

## Utilization Characteristics

**Persons.** All persons occupying the housing unit are counted. These persons include not only occupants related to the householder but also any lodgers, roomers, boarders, partners, wards, foster children, and resident employees who share the living quarters of the householder. The data on persons show categories of the number of one person through seven-or-more-person households. The median for persons is rounded to the nearest tenth.

A person is counted at the usual place of residence for that person. This refers to the place where the person lives and sleeps most of the time. This place is not necessarily the same as a legal residence, voting residence, or domicile.

**Rooms.** The statistics on rooms are for the number of housing units with a specified number of rooms. Rooms counted include whole rooms used for living purposes, such as bedrooms, living rooms, dining rooms, kitchens, recreation rooms, permanently enclosed porches that are suitable for year-round use, lodgers' rooms, and other finished and unfinished rooms. Also included are rooms used for offices by a person living in the unit. The median for rooms is rounded to the nearest tenth.

A dining room, to be counted, must be a separate room. It must be separated from adjoining rooms by built-in floor-to-ceiling walls extending at least a few inches from the intersecting walls. Movable or collapsible partitions or partitions consisting solely of shelves or cabinets are not considered built-in-walls. Bathrooms are not counted as rooms.

**Persons per room.** Persons per room is computed for each occupied housing unit by dividing the number of persons in the unit by the number of rooms in the unit. The figures shown refer, therefore, to the number of housing units having the specified ratio of persons per room.

**Bedrooms.** The number of bedrooms in the housing unit is the count of rooms used mainly for sleeping, even if also used for other purposes. Rooms reserved for sleeping, such as guest rooms, even though used infrequently, are counted as bedrooms. On the other hand, rooms used mainly for other purposes, even though used also for sleeping, such as a living room with a hideaway bed, are not considered bedrooms. A housing unit consisting of only one room, such as a one-room efficiency apartment, is classified by definition as having no bedroom.

## Structural Characteristics

**New construction.** Housing units built in the 4 years prior to the date of the interview are classified as new construction.

**Year structure built.** Year structure built refers to when the building was first constructed, not when it was remodeled, added to, or converted. The figures refer to the number of housing units in structures built during the specified periods and in existence at the time of the interview. For mobile homes and trailers, the manufacturer's model year was assumed to be the year built. Median year built is rounded to the nearest year.

**Units in structure.** In determining the number of housing units in a structure, all units, both occupied and vacant, were counted. The statistics are presented for the number of housing units in structures of specified type and size, not for the number of residential structures.

A structure is a separate building if it has either open space on all sides or is separated from other structures by dividing walls that extend from ground to roof. Structures containing only one housing unit are further classified as detached or attached.

A one-unit structure is detached if it has open space on all four sides even though it has an adjoining shed or garage. A one-unit structure is attached if it has one or more walls extending from ground to roof that divide it from other adjoining structures and does not share a furnace or boiler with adjoining structures such as in rowhouses, townhouses, etc.

Mobile homes and trailers are shown as a separate category. When one or more rooms have been added to a mobile home or trailer, it is classified as a mobile home. Prior to the 1984 AHS reports, these units were classified as a house, apartment, or flat.

**External building conditions.** The statistics presented are restricted to units in structures containing two or more units in the National sample but are not restricted in the metropolitan sample. The external condition of the building that contains the sample unit was determined by interviewer observation, as visible from the front of the building or the roadway. The categories were grouped into the following: roof, walls, windows, and foundation.

**Roof.** A "sagging roof" is a critical defect indicating continuous neglect, or deep or serious damage to the structure. Only roofs with substantial sagging were included. "Missing roofing material" includes rotted, broken, loose, or missing shingles, tiles, slate, shake, tin, etc., caused by extensive damage from fire, storm, or serious neglect. "Hole in roof" occurs when the missing roof materials expose the interior of the unit directly to the elements. Holes caused by construction activity were not counted

unless the construction had been abandoned. "Could not see roof" occurs when possible situations like a high tree, evening interviews, or a flat roof prevent the roof from being visible.

**Walls.** "Missing bricks, siding, other outside wall material" applies to the exterior walls (including chimney) of the structure. Those defects may have been caused by storm, fire, flood, extensive neglect, vandalism, and so forth. Materials may include clapboard siding, shingles, boards, brick, concrete stucco, etc. The missing materials do not necessarily expose the interior of the unit openly to the elements. Missing materials resulting from construction activity were not counted unless construction had been abandoned. "Sloping outside walls" are a critical defect indicating continuous neglect or serious damage to the structure. Only walls with substantial sagging were included.

**Windows.** "Boarded-up windows" have been sealed off to protect against weather or entry and include windows and/or doors covered by board, brick, metal, or some other material. "Broken windows" indicate several broken or missing window panes. "Bars on windows" are to protect against unlawful entry. The condition of the windows has no bearing on this item. The bars can be vertical, horizontal, a metal grating, etc. Windows completely covered with metal sheeting are not included in this category.

**Foundation crumbling or has open crack or hole.** This category includes large cracks, holes, and rotted, loose, or missing foundation material.

**Could not see foundation.** This occurs when landscaping, night interviewing, or some other reason prevents visibility for observation.

## Plumbing Characteristics

**Complete bathrooms.** A housing unit is classified as having a complete bathroom if it has a room with a flush toilet, bathtub or shower, a sink, and hot and cold piped water. All facilities must be in the same room to be a complete bathroom. A half bathroom has either a flush toilet or a bathtub or shower but does not have all the facilities for a complete bathroom.

**Water supply stoppage.** Water supply stoppage means that the housing unit was completely without running water from its regular source. Completely without running water means that the water system servicing the unit supplied no water at all, that is, no equipment or facility using running water (in kitchen and bathroom sinks, shower, in bathtub, flush toilet, dishwasher, and other similar items) had water supplied to it, or all were inoperable. The reason could vary from a stoppage because of a flood or storm, to a broken pipe, to a shutdown of the water system, to a failure to pay the bill, or other reasons.

Data on water supply stoppage are shown if the stoppage occurred in the 3 months prior to the interview or while the household was living in the unit if less than 3 months, and if the breakdown or failure lasted 6 consecutive hours or more. Housing units with water supply stoppage are also classified according to the number of times the stoppages occurred.

**Sewage disposal and sewage disposal breakdowns.** A public sewer is connected to a city, county, sanitary district, neighborhood, or subdivision sewer system. Included are only systems operated by a government body or private organization sewage treatment system serving six or more units. Small sewage treatment plants, which in some localities are called neighborhood septic tanks, are classified as public sewers. A septic tank or cesspool is an underground tank or pit used for disposal of sewage (serving five or fewer units). A chemical toilet, which may be inside or outside the unit, uses chemicals to break down or dissolve sewage. Housing units for which sewage is disposed of in some other way are included in the "other" category.

The data on breakdowns in the means of sewage disposal are limited to housing units in which the means of sewage disposal was a public sewer, septic tank, or cesspool. Breakdowns refer to situations in which the system was completely unusable. Examples include septic tank being pumped because it no longer perked, tank collapsed, tank exploded, sewer main broken, sewer treatment plant not operating as a result of electrical failure or water service interruption, etc.

Data on breakdowns are shown if they occurred in the 3 months prior to the interview or while the household was living in the unit if less than 3 months, and if the breakdown lasted 6 consecutive hours or more. Housing units with a breakdown in sewage disposal are also classified according to the number of breakdowns.

**Flush toilet and flush toilet breakdowns.** A privy or chemical toilet is not considered a flush toilet. Flush toilets outside the unit were not counted. The statistics on breakdowns of flush toilet are shown for housing units with at least one flush toilet for the household's use only. The flush toilet may be completely unusable because of a faulty flushing mechanism, broken pipes, stopped up soil pipe, lack of water supplied to the flush toilet, or some other reason.

Data on breakdowns are classified by whether any of the flush toilets were working in the 3 months prior to the interview, or while the household was living in the unit if less than 3 months, and the number of times the breakdown lasted 6 hours or more.

## Equipment and Fuels

**Heating equipment and heating equipment breakdowns.** Data are shown for the main heating equipment and other heating equipment used in addition to the main heating

equipment. More than one category of "other heating equipment" could be reported for the same household.

Only one type of equipment was reported as the "main heating equipment." Warm-air furnace refers to a central system that provides warm air through ducts leading to various rooms. Steam or hot-water system refers to a central heating system in which heat from steam or hot water is delivered through radiators or other outlets. It also includes solar-heated hot water that is circulated throughout the home. An electric heat pump refers to a heating-cooling system that utilizes indoor and outdoor coils, a compressor, and a refrigerant to pump in heat during the winter and pump out heat during the summer. Only heat pumps that are centrally installed with ducts to the rooms are included in this category. Built-in electric units refers to units permanently installed in floors, walls, ceilings, or baseboards. A floor, wall, or other built-in hot-air unit without ducts delivers warm air to the room right above the furnace or to the room(s) on one or both sides of the wall in which the furnace is installed. Room heaters with flue include nonportable room heaters in the wall or free-standing heaters that burn liquid fuel and that are connected to a flue, vent, or chimney to remove smoke and fumes. Room heaters without flue include any room heater that burns gas, oil, or kerosene, which does not connect to a flue, vent, or chimney. Portable electric heaters include heaters that receive current from an electrical wall outlet. Stoves refer to ranges, stoves, or Franklin stoves that burn wood, coal, or other solid fuel. Fireplaces with inserts have a fan-forced air circulation system to force the heat into the room. A fireplace without inserts or with only glass doors, fire screens, or firebacks inserted in the back of the fireplace to passively reflect heat is included in the category "fireplace without inserts."

For breakdowns of heating equipment, statistics are shown for housing units occupied by the householder during the winter prior to the interview. The data are classified by whether the housing unit was uncomfortably cold for 24 hours or more, the number of times equipment breakdowns occurred lasting 6 hours or more, and causes for the breakdowns.

The heating equipment is broken down if it is not providing heat at its normal heating capacity through some fault in the equipment. Utility interruptions occur when there is a cut off in the gas, electricity, other fuel supplying the heat. Inadequate heating capacity refers to heating equipment that is providing heat at its normal capacity but the housing unit is still too cold for the occupants. Inadequate insulation refers to air drafts through window frames, electrical outlets, or walls that are cold.

**Air conditioning.** Air conditioning is defined as the cooling of air by a refrigeration unit; excluded are evaporative coolers, fans, or blowers that are not connected to a refrigeration unit. A room air-conditioning unit is an individual air conditioner that is installed in a window or an outside wall and generally intended to cool one room,

although it may sometimes be used to cool several rooms. A central system is a central installation that air conditions the entire housing unit. In an apartment building, a central system may cool all apartments in the building; each apartment may have its own central system; or there may be several systems, each providing central air conditioning for a group of apartments. A central installation with individual room controls is a central air-conditioning system.

**Fuels.** Electricity is generally supplied by means of above or underground electric power lines. Piped gas is gas piped through underground pipes from a central system to serve the neighborhood. Bottled gas is pressurized gas stored in tanks or bottles that are filled or exchanged when empty. Fuel oil is heating oil normally supplied by truck to a storage tank for use by the heating system. Kerosene or other liquid fuel includes kerosene, gasoline, alcohol, and other similar combustible liquids. Coal or coke refers to coal or any coal derivative usually delivered by means of truck. Wood refers to the use of wood or wood charcoal, etc., as a fuel. Solar energy refers to the use of energy available from sunlight as a heating fuel source. Other includes briquettes made of pitch and sawdust, coal dust, waste material like corncobs, purchased steam, or any other fuel not listed.

## Housing and Neighborhood Quality

### Selected amenities:

*Porch, deck, balcony, or patio.* The porch, deck, balcony, or patio must be attached to the sample unit, not just to the building or free standing. Porches may be enclosed or open.

*Telephone available.* A housing unit is classified as having a telephone if there is a telephone for receiving calls available to the occupants of the unit. The telephone may be located outside or inside the housing unit, and one telephone may serve the occupants of several units. The number of housing units with a telephone available, therefore, does not indicate the number of telephones installed in homes.

*Usable fireplace.* Excludes the following: fireplaces that have been blocked off or whose chimney or flue have been filled, decorative or artificial fireplaces, and Franklin stoves. Free-standing fireplaces are included in this item.

*Separate dining room.* A separate dining room is an area separated from adjoining rooms by a built-in floor-to-ceiling wall extending at least a few inches from its intersecting wall. Built-in walls do not include movable or collapsible partitions or partitions consisting solely of shelves and cabinets.

*Living rooms, recreation rooms, etc.* Includes family rooms, dens, recreation rooms and/or libraries.

*Garage or carport.* The garage or carport must be on the same property but does not have to be attached to the house. Off street parking is considered driveway or parking lot privileges that is paid for as part of the rent.

### Selected deficiencies:

*Signs of rats.* The statistics on signs of rats refer to respondents who reported seeing rats or signs of rats inside the house or building during the last 3 months or while the household was living in the unit if less than 3 months. Signs of rats include droppings, holes in the wall, or ripped or torn food containers.

*Holes in floors.* Data are shown on whether there are holes in the interior floors of a housing unit. The holes do not have to go all the way through to a lower floor or to the exterior of the unit. The holes must be large enough to cause someone to trip.

*Open cracks or holes (interior).* Statistics are presented on whether or not there are open cracks or holes in the interior walls or ceilings of the housing unit. Included are cracks or holes that do not go all the way through to the next room or to the exterior of the housing unit. Hairline cracks or cracks that appear in the walls or ceilings but are not large enough to insert the edge of a dime and very small holes caused by nails or other similar objects are not considered to be open cracks or holes.

*Broken plaster or peeling paint (interior).* The area of peeling paint or broken plaster must be on the inside walls or ceilings and at least one area of broken plaster or peeling paint must be larger than 8 inches by 11 inches.

*Electric wiring.* A housing unit is classified as having exposed electric wiring if the unit has any wiring that is not enclosed, either in the walls or in metal coverings, or if the unit has any wiring outside the walls enclosed in some material other than metal. Excluded from the tabulation are appliance cords, extension cords, chandelier cords, and telephone, antenna, or cable TV wires.

*Electric wall outlets.* A housing unit is classified as having rooms without electric wall outlets if there is not at least one working electric wall outlet in each room of the unit. A working electric wall outlet is one that is in operating condition; i.e., can be used when needed. If a room does not have an electric wall outlet, an extension cord used in place of a wall outlet is not considered to be an electric wall outlet.

**Severe physical problems.** A unit has severe physical problems if it has any of the following five problems:

**Plumbing.** Lacking hot or cold piped water or a flush toilet, or lacking both bathtub and shower, all inside the structure for the exclusive use of the unit.

**Heating.** Having been uncomfortably cold last winter for 24 hours or more because the heating equipment broke down, and it broke down at least three times last winter for at least 6 hours each time.

**Electric.** Having no electricity, or all of the following three electric problems: exposed wiring; a room with no working wall outlet; and three blown fuses or tripped circuit breakers in the last 90 days.

**Upkeep.** Having any five of the following six maintenance problems: water leaks from the outside, such as from the roof, basement, windows, or doors; leaks from inside structure such as pipes or plumbing fixtures; holes in the floors; holes or open cracks in the walls or ceilings; more than 8 inches by 11 inches of peeling paint or broken plaster; or signs of rats or mice in the last 90 days.

**Hallways.** Having all of the following four problems in public areas: no working light fixtures; loose or missing steps; loose or missing railings; and no elevator.

**Moderate physical problems.** A unit has moderate physical problems if it has any of the following five problems, but none of the severe problems.

**Plumbing.** On at least three occasions during the last 3 months or while the household was living in the unit if less than 3 months, all the flush toilets were broken down at the same time for 6 hours or more.

**Heating.** Having unvented gas, oil, or kerosene heaters as the primary heating equipment.

**Upkeep.** Having any three or four of the overall list of six upkeep problems mentioned above under severe physical problems.

**Hallways.** Having any three of the four hallway problems mentioned above under severe physical problems.

**Kitchen.** Lacking a kitchen sink, refrigerator, or burners inside the structure for the exclusive use of the unit.

**Overall opinion of structure.** The data presented are based on the respondent's overall opinion of the house or apartment as a place to live. The respondent was asked to rate the structure based on a scale from 1 to 10, where 10 is the best and 1 is the worst.

**Overall opinion of neighborhood.** The data presented are based on the respondent's overall opinion of the neighborhood. The respondent defines neighborhood. The respondent was asked to rate the neighborhood based on a scale from 1 to 10, where 10 is the best and 1 is the worst.

**Neighborhood conditions.** The statistics presented in table 3 are based on the respondent's opinion and attitude toward the neighborhood. The respondent defines neighborhood. The respondent was asked a two-part question: (1) If anything about the neighborhood bothered the respondent and (2) if so, what? The interviewer coded the responses into the following categories: crime; noise; traffic; litter or housing deterioration; poor city/county services; undesirable commercial, institutional, or industrial property; people; and other. Multiple responses were allowed. The respondent may not have the same opinion as a neighbor about neighborhood conditions. The respondent's opinion may or may not reflect the actual neighborhood situation.

**Neighborhood conditions and neighborhood services.** The statistics presented in table 4, as a percent of the total occupied units, are based on the respondent's opinion and attitude toward the neighborhood in which he/she lives. Thus, the respondent's answer may or may not reflect the actual description of the neighborhood. Furthermore, the respondent may not have the same opinion as a neighbor about the neighborhood services; for example, the respondent may feel that the street lighting or neighborhood shopping facilities are inadequate while a neighbor may not.

**Neighborhood conditions and wish to move.** Data on neighborhood conditions and wish to move in table 4 are based on the respondent's answers to a three-part question concerning specific neighborhood conditions. The respondent was asked (1) if the condition was present, (2) if the condition was bothersome, and (3) if the condition was so objectionable that the respondent would like to move from the neighborhood.

1. Street noise or traffic—Street noise refers to noise made by children playing outdoors, noise from a factory or business, or any other sounds that the respondent considers street noise. Traffic refers to the amount of vehicular traffic that respondents consider "heavy."
2. Neighborhood crime—This category refers to all forms of street and neighborhood crime such as petty theft, assaults against the person, burglary, etc., or any related activities that the respondent judges to be a crime.

**Neighborhood services.** Data on neighborhood services are based on the respondent's answer to a series of questions concerning neighborhood services.

The respondent was also asked a three-part question on public transportation: (1) if service is available, (2) if service is satisfactory, and (3) if any member of the household used the service at least once a week.

Data were also collected on satisfaction with neighborhood shopping such as grocery stores and drug stores, and whether or not these stores are located within 1 mile of the neighborhood.

Respondents were asked a three-part question on public elementary schools: (1) if children within the household attended public elementary school or private elementary school, (2) if the public elementary school is satisfactory, and (3) if the public elementary school is within 1 mile of the neighborhood.

**Age of other residential buildings within 300 feet.** The statistics presented are restricted to multiunits in the National sample but are not restricted in the metropolitan sample. The statistics presented are based on the interviewer's personal observation. "About the same" indicates all homes within 300 feet appear to have been built at about the same time as the sample unit. If the sample unit was built after 1940, residences built more than 10 years before or after the sample unit are considered as not being built at about the same time. "Older than sample unit" and "newer than sample unit" indicate that the sample unit appears to be decidedly newer or older than the homes within 300 feet. "Very mixed" indicates the predominant ages appear to be very mixed, and if there are no other residential buildings within 300 feet, "no other residential buildings" is marked.

**Other buildings vandalized or with interior exposed.** The statistics presented are restricted to multiunits in the National sample but are not restricted in the metropolitan sample. The statistics presented are based on the interviewer's personal observation. A unit is considered to be vandalized if it has most of the visible windows broken, doors pulled off, been badly burned, words or symbols printed on it, portions of the roof missing or gone, or in some other way has the interior exposed to the elements.

**Bars on windows of buildings.** The statistics presented are restricted to multiunits in the National sample but are not restricted in the metropolitan sample. The statistics presented are based on the interviewer's personal observation. The condition of the windows has no bearing on this item. The windows might be in perfect condition but the bars might be there to protect against vandalism. Windows that are boarded up or covered with tin are not included.

**Condition of streets.** The statistics presented are restricted to multiunits in the National sample but are not restricted in the metropolitan sample. The statistics presented are based on the interviewer's personal observation. Major repairs include large potholes, badly crumbling or deteriorating shoulders and roadsides, deep ruts, etc. Minor repairs include small cracks, shallow holes, or missing minor surfacing.

**Trash, litter, or junk on streets or any properties.** The statistics presented are restricted to multiunits in the National sample but are not restricted in the metropolitan sample. The statistics presented are based on the interviewer's personal observations. Major accumulation includes tires, appliances or large amounts of trash accumulated over a

period of time. Minor accumulation includes small amounts of paper, cans, or bottles but that do not give the impression of long neglect. The building in which the sample unit is located is included.

## Financial Characteristics

All of the financial characteristics shown in this report are shown for all renters and/or all owners. In 1983 and earlier, the Annual Housing Survey reported characteristics such as value and rent for specified owners and specified renters only. Specified owners are single-family owner-occupied units on less than 10 acres with no business or medical office. Specified renters exclude single-family units on 10 acres or more. This report does not present financial characteristics for specified owners and specified renters. For data on specified owners and renters see the individual metropolitan AHS reports (series H170).

**Value.** Value is the respondent's estimate of how much the property (house and lot) would sell for if it were for sale. Any nonresidential portions of the property are excluded from the cost. Medians for value are rounded to the nearest dollar.

**Income.** The statistics on income in the American Housing Survey are based on the respondent's reply to questions on income for the 12 months prior to the interview and are the sum of the amounts reported for wage and salary income, self-employment income, interest or dividends, Social Security or railroad retirement income, public assistance or welfare payments, alimony or child support, and all other money income. The figure represents the amount of income received before deductions for personal income taxes, Social Security, union dues, bond purchases, health insurance premiums, Medicare deductions, etc. Medians for income are rounded to the nearest hundred dollars.

Receipts from the following sources were not included as income: Value of income "in kind," such as free living quarters, housing subsidies, food stamps, or food produced and consumed in the home; money received from the sale of property (unless the recipient was engaged in the business of selling such property); money borrowed; tax refund; withdrawal of bank deposits; accrued interest on uncashed savings bonds; exchange of money between relatives living in the same household; gifts of money; and lump-sum payments from inheritances, insurance policies, estates, trusts, gifts, etc.

The income statistics and the characteristics of the household refer to different periods in time. The income data refer to the 12 months prior to the interview, whereas, the household characteristics refer to the date of interview. Thus, family or household income does not include amounts received by persons who were members of the family during all or part of the income period if these persons no longer resided with the family at the time of the interview.

On the other hand, family or household income includes income reported by persons who did not reside with the household during the income period but who were members at the time of the interview. For most households, however, the income reported was received by persons who were members of the household throughout the income period.

There may be significant differences in the income data between the American Housing Survey and other Census Bureau surveys and censuses. For example, the time period for the income data in the American Housing Survey refers to the 12 months prior to the interview while other income data generally refer to the calendar year prior to the date of the interview. Additional differences in the income data may be attributed to factors such as the various ways income questions are asked, the sampling variability and nonsampling errors between the American Housing Survey and other Bureau surveys and censuses, survey procedures and techniques, and processing procedures.

**Current income.** Two new questions were added to the American Housing Survey in 1990. Upon completion of the detailed income questions, respondents were asked, "Is your total family income THIS MONTH about the same as it was a year ago?" "About the same" was defined within 10 percent or just cost of living adjustments. If the respondent answered "no," a second question was asked, "What do you expect your total family income to be in the NEXT 12 MONTHS?" Current income for households whose most recent month's income was NOT about the same as a year ago is the "total expected family income in the NEXT 12 MONTHS." Current income for households whose most recent month's income WAS about the same as a year ago is "family and primary individual income." For the majority of households, current income equals income of families and primary individuals. Data on current income are not published separately. They are used in the calculation of "Monthly housing costs as percent of current income." It is felt that respondents who have only recently entered the job market and those who changed jobs during the past year often report a previous year's income, which is too low to accurately reflect their current financial situation as it relates to the value of their home and their housing costs.

**Poverty status.** The poverty data in this report differs from official poverty estimates in two important respects. The first important difference is the use of a poverty definition that is based on household income in place of the official method that is based on the income of the family or the unrelated individual. Under the official approach, the poverty status of two unrelated individuals living together would be determined by comparing the income of each individual to the poverty threshold for an unrelated individual. The result might be that both were in poverty, both were out of poverty, or one was in poverty and one was not. Under the approach used in this report, the two unrelated individuals were treated as members of a two-person

family and their poverty status was determined by comparing their combined income to the poverty threshold for a two-person family. The effect of using a poverty concept that is based on household income is to undercount the number of persons in poverty relative to the official estimate. A study based on the March 1975 Current Population Survey found that poverty estimates based on a household income concept were about 6 percent lower than official estimates. For more information, see Technical Paper X, *Effect of Using a Poverty Definition Based on Household Income*, U.S. Department of Health, Education, and Welfare, 1976. A second important difference between the poverty estimates in this report and the official poverty estimates has to do with the method used to measure income. The official annual poverty estimates are based on data collected in the March supplement to the Current Population Survey. The income questions asked in that survey are very detailed and measure the amount of income received during the previous calendar year. The income questions asked in the AHS are much less detailed and measure the amount received during the previous 12 months. Because interviews were conducted throughout the year, the income measures do not pertain to a fixed period. Many of the income questions in the AHS were asked on a household rather than an individual income basis. The lack of data for individuals made it necessary to adopt a poverty definition based on household income.

Officially, families and unrelated individuals are classified as being above or below the poverty level using the poverty index originated at the Social Security Administration in 1964 and revised by the Federal Interagency Committees in 1969 and 1980. The poverty index is based solely on money income and does not reflect the fact that many low-income persons receive noncash benefits such as food stamps, Medicaid, and public housing. The index is based on the Department of Agriculture's 1961 Economy Food Plan and reflects the different consumption requirements of families based on their size and composition. The poverty thresholds are updated every year to reflect changes in the Consumer Price Index (CPI). For further details, see Current Population Reports, Series P-60, No. 185, *Poverty in the United States: 1992*.

**Monthly housing costs.** The data are presented for owner- and renter-occupied housing units. Monthly housing costs for owner-occupied units are the sum of monthly payments for all mortgages or installment loans or contracts, real estate taxes (including taxes on mobile homes or trailer sites if the site is owned), property insurance, homeowners association fee, cooperative or condominium fee, mobile home park fee, land rent, utilities (electricity, gas, water, and sewage disposal), fuels (oil, coal, kerosene, wood, etc.), and garbage and trash collection. As of 1989, data on the costs of electricity and gas are collected differently (see "Monthly costs of electricity and gas" definition). Because of this, "Monthly housing costs" in 1989 and beyond may not be entirely comparable with data

published in previous years. Monthly housing costs are not computed for households with a mortgage or similar debt that failed to report the amount of their loan or contract payment.

For renter-occupied housing units, monthly housing costs include the contract rent plus the estimated average monthly cost of utilities (electricity, gas, water, and sewage disposal), and fuels (oil, coal, kerosene, wood, etc.); property insurance, mobile home land rent, and garbage and trash collection if these items are paid for by the renter (or paid for by someone else, such as a relative, welfare agency, or friend) in addition to rent. Renter housing units occupied without payment of cash rent are shown separately as no cash rent. Monthly housing costs for vacant-for-rent housing units include rent asked. For rental units subsidized by a public housing authority, the Federal government, or State or local governments, the monthly rental costs reflect only the portion paid by the household and not the portion subsidized. Before 1991, the monthly rental costs may have included the amount subsidized for many subsidized units.

Monthly housing costs are shown for all renters and all owners. In 1983 and earlier, the Annual Housing Survey published selected monthly housing costs and gross rent for specified owners and specified renters only. This report does not present data for specified owners or renters. Medians for monthly housing costs are rounded to the nearest dollar.

**Median monthly housing costs for owners.** Two additional medians are shown separately for owner-occupied units. The first median includes maintenance costs in addition to those items included in "Monthly housing costs" (see above item). The second excludes second and subsequent mortgages, installment loans or contracts, and maintenance costs, but includes all remaining items listed in "Monthly housing costs."

**Monthly housing costs as percent of current income.** The yearly housing costs (monthly housing costs multiplied by 12) are expressed as a percentage of total current income (see definition of current income). This percentage is calculated for the same owner- and renter-occupied housing units for which "Monthly housing costs" were computed (for exclusions, see "Monthly housing costs"). The percentage was computed separately for each unit and rounded to the nearest percent. The measure was not computed for units where occupants reported no income or a net loss. Before 1990, the item "Monthly housing costs as percent of income," was computed by using the income of family and primary individuals only. It was felt that respondents who only recently entered the job market or who changed jobs during the past year often reported a previous year's income, which was too low to accurately reflect their current situation. In addition to a change in the source of income used in calculations, the 1990 item uses new procedures to estimate the costs of electricity and gas

(see "Monthly costs of electricity and gas" definition). As a result of these two changes, data for "Monthly housing costs as a percent of current income" published as of 1990 are not comparable to "Monthly housing costs as a percent of income" published in previous surveys.

**Monthly costs for electricity and gas.** Beginning in 1993, the procedures introduced in 1989 were improved and expanded from two to three procedures. All respondents were asked if they had records available showing their costs for electricity (or gas) separate from other utilities. If they responded "yes," they were asked the amount of their electricity (or gas) bill for the most recent months of January, April, August, and December. These months were the best predictors of annual costs. Depending on the number of months for which data were provided, one of two procedures was used. If the respondents answered "no" to the original question (that is, they did not have separate records for the electricity or gas), a third procedure was used. On average, more than one-third of the respondents provided answers for at least 1 of the 4 months.

If the respondent provided data for only 1 month, the first procedure was used. The data for the month were adjusted using regression formulas to estimate yearly costs which were then divided by 12. These formulas were modeled after the results of the Residential Energy Consumption Survey (RECS) sponsored by the United States Department of Energy. These formulas took into account the following characteristics of the unit: electric home heating, natural gas home heating, electric water heating, natural gas water heating, year built, type of unit, number of rooms, number of bathrooms, number of appliances, and number of household members.

The second procedure was applied if the respondent provided data for 2, 3, or 4 months. As with the first procedure, the monthly data were adjusted using regression formulas, modeled after the results of RECS, to estimate yearly costs which were then divided by 12. Because more than 1 month's worth of real costs were available, it was not necessary to take into account detail characteristics of the unit as was done in the first procedure.

If the respondent answered "no" that he or she did not have separate records for the electricity (or gas), the third procedure was used. The respondent was asked to provide an estimate of the average monthly costs. A factor was then applied that, in effect, lowered these costs to make them consistent with electricity and gas costs in RECS.

Before 1989, respondents were only asked to provide an estimate of average monthly costs. Research done using the 1993 AHS National Survey has shown that this approach produces 0 to 10 percent overestimates of electricity costs and 15 to 25 percent overestimates of gas costs. New procedures introduced in 1989 produced lower and more accurate estimates. In 1993, these new procedures were improved and expanded from two to three procedures.

**Rent reductions.** Rent control means that an increase in rent is regulated by law. The jurisdiction, State or local, mandates that percentage rent increases are set and must be approved by a board, agency, department, division, office, etc.

A housing unit is classified as being in a public housing project if the structure in which the unit is located is owned by any local or State government agency, such as a housing and redevelopment authority or a housing development agency, and operated as public housing. These organizations may receive subsidies from the Federal or State government, but the local agency owns the property.

A housing unit is classified as being subsidized if under certain programs the respondent pays a lower rent because a Federal, State, or local government program pays part of the cost of construction, building mortgage, or operating expenses. These programs include (1) the rental assistance program where part of the rent for low-income families occupying the rental housing units is paid by the Department of Housing and Urban Development (HUD), (2) the FHA interest subsidy programs for rental and cooperative housing for low-income families, (3) the rent supplement program where part of the rent for low-income families occupying certain types of HUD-assisted rental housing projects is paid by the FHA, and (4) the direct loan program of HUD for housing the elderly. Units requiring income verification are subsidized units.

### Household Characteristics

**Household.** A household consists of all the persons who occupy a housing unit. By definition, the count of households is the same as the count of occupied housing units.

**Householder.** The householder is the first household member 18 years old and over who is the owner or renter of the sample unit. If no household member occupying the sample unit owns or rents the unit, the householder is the first household member listed who is 18 years old or older. In cases where no household member listed owns or rents the unit or is 18 years or older, the first household member listed is the householder.

### Family Type

**Family.** Family refers to the householder and all (one or more) other persons living in the same household who may be related to the householder by blood, marriage, or adoption. Married couples related to the householder of a family are included in the family and are not considered as separate families unless they reside in separate living quarters.

**Married couple.** Each household in this group consists of the householder and spouse, and one or more other persons if any.

**Male householder, no wife present.** This category includes families with male householders who are married, but with wife absent because of separation or other reason where husband and wife maintain separate residences; and male householders who are widowed, divorced, or single.

**Female householder, no husband present.** This category includes families with female householders who are married, but with husband absent because of separation or other reason where husband and wife maintain separate residences; and female householders who are widowed, divorced, or single.

**Nonfamily households.** Housing units where the householder lives alone or with nonrelatives only. A lodger, servant, or other person unrelated to the householder is considered a member of the household but not of the family.

**Age of householder.** The age classification refers to the age reported for the householder as of that person's last birthday.

**Elderly.** Data for elderly include all households with a householder of 65 years of age or over.

**Own never-married children under 18 years old.** Statistics on presence of own children of householders are shown in this report. A child under 18 years old is defined as an own child if he or she is a single (never married) son, daughter, stepchild, or adopted child of a householder. Own children of subfamilies are excluded from the total count of own children.

Facsimile of the American Housing Survey Control Card: 1994

FORM AHS-81 (9-20-87) U.S. DEPARTMENT OF COMMERCE BUREAU OF THE CENSUS

**CONTROL CARD**  
**AMERICAN HOUSING SURVEY**

OMB No. 2528-0018

**INTRODUCTION**  
OCCUPIED HOUSEHOLDS: Hello, I am... from the United States Bureau of the Census. Here is my identification card. We are taking a survey of housing in the United States. I have some questions I would like to ask you. Did you receive our letter? If your year interviewer asks: Is this the (last name of reference person) household?

VACANT INTERVIEW: Hello, I am... from the United States Bureau of the Census. Here is my identification card. We are taking a survey of housing in the United States. I have some questions I would like to ask you. Did you receive our letter? If your year interviewer asks: Is this the (last name of reference person) household?

**AREA SEGMENTS ONLY**  
7.0 Coverage questions  
7.1 Are there any occupied or vacant units in this area segment? (Refer to Table X)  
7.2 Are there any other buildings on the property for people who do not live here? (Refer to Table X)

**CLASSIFICATION OF LIVING QUARTERS**  
7.3 Check item  
7.4 UNIT NOT in a special place...  
7.5 ACCESS - Mark or set:  
7.6 OFFICE USE ONLY

**STATUS OF CONTROL NUMBER**  
Control number in sample last enumeration posted...  
New construction...  
Mobile home moved in...  
House moved in...  
Unit resulted from structural conversion...  
Conversion of nonresidential unit...  
Sample redesign...  
Other - Specify...

**CLASSIFICATION OF HOUSING UNIT**  
7.7 Mark or set:  
7.8 HOUSING UNIT  
7.9 OTHER UNIT (Mark as Type B noninterview. Mark and go to AHS-82.)

**LAND USE**  
1.0 Vacant  
2.0 Occupied - Go to item 8b  
3.0 Not occupied - Go to AHS-82

**CLASSIFICATION OF TENURE**  
8.0 Renter  
8.1 Owner with a mortgage  
8.2 Owner without a mortgage  
8.3 Other

**STATUS OF CONTROL NUMBER**  
Control number in sample last enumeration posted...  
New construction...  
Mobile home moved in...  
House moved in...  
Unit resulted from structural conversion...  
Conversion of nonresidential unit...  
Sample redesign...  
Other - Specify...

**OFFICE USE ONLY**  
9.0 Date completed  
9.1 Interview status  
9.2 Interviewer code  
9.3 Interviewer type  
9.4 Interviewer name  
9.5 Interviewer address

**LAND USE**  
1.0 Vacant  
2.0 Occupied - Go to item 8b  
3.0 Not occupied - Go to AHS-82

**CLASSIFICATION OF TENURE**  
8.0 Renter  
8.1 Owner with a mortgage  
8.2 Owner without a mortgage  
8.3 Other

**STATUS OF CONTROL NUMBER**  
Control number in sample last enumeration posted...  
New construction...  
Mobile home moved in...  
House moved in...  
Unit resulted from structural conversion...  
Conversion of nonresidential unit...  
Sample redesign...  
Other - Specify...

**OFFICE USE ONLY**  
9.0 Date completed  
9.1 Interview status  
9.2 Interviewer code  
9.3 Interviewer type  
9.4 Interviewer name  
9.5 Interviewer address

Facsimile of the American Housing Survey Control Card: 1994—Con.

Page 2

10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27
HOUSEHOLD ROSTER SUBSEQUENT INTERVIEW OF HOUSEHOLD - Skip to Item 12b below.	HOUSEHOLD ROSTER FIRST INTERVIEW OF HOUSEHOLD - Ask Item 11. What are the names of all persons living or staying temporarily with you? Enter names below - last name first, then ask Item 12a below.	RELATIONSHIP TO REFERENCE PERSON If necessary, ask: What is ...'s relationship to the reference person? Examples: Reference person, husband, wife, daughter-in-law, partner, lodger, lodger's wife, etc. (Enter Code) Survey year	HOUSE- HOLD OWNER Does ... own ... the house? If "No," STOP on this person and go to GO TO ITEM 12 below.	OWNER RENTER Is ... owner or renter? Mark (X) if both apply.	BIRTH DATE/AGE a. What is ...'s date of birth? Enter two digit month, day, and year. Examples: 01-20-83 12-01-24 Verify age using flashcard. b. ... is now (Read age) years old. Is that correct?	SEX Is ... male or female? Mark (X) if both apply. Circle 1 for Male and 2 for Female.	RACE What is ...'s race? Mark (X) if both apply. If needed, show flashcard to ... 1 White 2 Black 3 American Alaskan, Hawaiian, Native 4 Asian or Pacific Islander 5 Other - Specify (Enter code) Yes No	ORIGIN Where was ... born? Mark (X) if both apply. If "Yes," ask who ... is Mark "No" for all others.	MARITAL STATUS Is ... married, widowed, divorced, separated, or never married? (Enter code) Survey year	EDUCATION What is the highest grade completed? Mark (X) if both apply. 99 Never attended school 01-12 1st grade through 12th grade 21-24 1st-4th year of college 25 1 year of college 26 2 or more years of college 27 3 or more years of college (Enter code) Survey year	MOBILITY When was ... last moved? Mark (X) if both apply. 1 Moved within county 2 Moved within state 3 Moved out of state 4 Never moved (Enter code) Survey year	CHANGES IN HOUSEHOLD COMPOSITION Continue in notes if necessary. Enter status and date discovered, for example: Added 8/85 Left 8/85 Returned 9/85 Deceased 8/85					
<p>HOUSEHOLD ROSTER COVERAGE</p> <p>12a FIRST INTERVIEW OF HOUSEHOLD I have listed ... (Read names from Item 11). Have I missed any? - any lodger or tenant who usually stays here but is not listed on the flashcard? - any lodger, boarder, or partner who stays here but is not listed on the flashcard? - any temporary visitor who stays here? Survey year</p> <p>12b SUBSEQUENT INTERVIEWS OF HOUSEHOLD I have listed ... (Read names from Item 11). Are all of these persons still living or staying here? If "No," ASK Item 12c. If "Yes," ASK Item 12d.</p> <p>12c Who no longer lives here? For each person who has left the household, line through the number in Item 10; fill in number in Item 12c. Survey year</p> <p>12d If "Yes," ASK name and record in Item 11 and fill Item 27.</p>																	
<p>NOTES</p> <p>15a UNIT IS: NOT in a special place - GO to Item 16. In a special place - GO to Item 16. Ask if not apparent: Do all the persons in this household live or eat together? Yes No - Fill Table 2 for the person or group of persons that does not live or eat with the reference person. Then continue with Item 15c. Ask if not apparent: Does any other household on the property live or eat with this household? Yes - Indicate the unit to which space occupied by all persons who live or eat together (copy merged unit number if appropriate). Then GO to Item 16. No - GO to Item 16.</p>																	

Facsimile of the American Housing Survey Control Card: 1994—Con.

**2.8. DWARF/AGENT TRANSCRIPTION** - If the sample unit is not owner occupied, transcribe the name, address, and telephone number of the owner/agent from the questionnaire.

**2.9.** For Vacant Interviews, enter respondent information below.

Survey year	Name	Address (Number, street, city, state, ZIP Code)	Telephone Area code	Telephone Number	Survey year	Name	Address (Number, street, city, state, ZIP Code)
1					1		
2					2		
3					3		
4					4		
5					5		

NOTES

TABLE X - LIVING QUARTERS DETERMINATION AT LISTED ADDRESS

**ADDRESS OF ADDITIONAL LIVING QUARTERS**  
If already listed, enter sheet and the number below and stop Table X.  
Otherwise, enter basic address and unit address, if any, OR description of location.

(1) Sheet _____ Line _____	(2) LOCATION OF UNIT Is this unit in a special place? <input type="checkbox"/> Yes - STOP to column (B) and mark "Y" in column (C) of manual <input type="checkbox"/> No	(3) SEPARATENESS AND ACCESS Do the occupants of listed addresses at (1) have direct access to the street through a common walk? <input type="checkbox"/> Yes <input type="checkbox"/> No - Mark "N" box in column (B)	(4) SEPARATENESS AND ACCESS Does (Address in column (1)) have direct access to the street through a common walk? <input type="checkbox"/> Yes - Mark "YU" box in column (B) <input type="checkbox"/> No - Mark "N" box in column (B)	(5) CLASSIFICATION N - Not a separate unit (include on the control card) HU - Separate unit. (Do not include on the control card.) (Go to the appropriate assignment type column for interviewing instructions.) <input type="checkbox"/> N <input type="checkbox"/> HU <input type="checkbox"/> OT	(6) UNIT SEGMENTS Is this unit within the specific address (basic plus unit, if any), or within the same space of the original sample unit? <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview	(7) AREA SEGMENTS Is this unit within the segment boundaries? <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview	(8) SPECIAL PLACE SEGMENTS Is this unit within the specific address (basic plus unit, if any) of the original sample unit? <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview	(9) PERMIT SEGMENTS Is this unit within the specific address (basic plus unit, if any) of the original sample unit AND within the same space of the original sample unit? <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview
(1) Sheet _____ Line _____	(2) <input type="checkbox"/> Yes - STOP to column (B) and mark "Y" in column (C) of manual <input type="checkbox"/> No	(3) <input type="checkbox"/> Yes <input type="checkbox"/> No - Mark "N" box in column (B)	(4) <input type="checkbox"/> Yes - Mark "YU" box in column (B) <input type="checkbox"/> No - Mark "N" box in column (B)	(5) <input type="checkbox"/> N - STOP Table X - Control interview with original unit <input type="checkbox"/> HU - Fill column (B), (7), (8), or (9) as appropriate <input type="checkbox"/> OT	(6) <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview	(7) <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview	(8) <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview	(9) <input type="checkbox"/> Yes - Interview as an EXTRA unit <input type="checkbox"/> No - Do not interview

Facsimile of the American Housing Survey Questionnaire: 1994

U.S. DEPARTMENT OF COMMERCE  
BUREAU OF ECONOMIC ANALYSIS  
DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

**AMERICAN HOUSING SURVEY  
METROPOLITAN SAMPLE  
1994**

**OCCUPIED HOUSEHOLD UNITS**

OMB No. 2520-0016; Approved Expires 02/01/96

10. Narrative Income (See Items 153 and 164, page 44)  
 Item 153 marked "All other" - no callback required  
 Item 154c has amount of "DK" or "Ref" for all non-White age 14+ or item 164b is "None" - no callback required  
 Item 164c marked any representative age 14+ - no callback required  
 Information obtained  
 Unable to obtain information - Explain 7

11-12. WASHINGTON USE ONLY

14a. Field Representative: Is there any information for this sample unit which should be reviewed by the office prior to data taping?  
 Review not required  
 Reviewer requested  
 Notes

b. OFFICE USE ONLY  
 0128  Review completed

15. OFFICE USE ONLY  
 b. EDIT FOLLOWUP REQUIRED →  
 0129 Page  Item   
 0127 Page  Item   
 0128 Page  Item

b. SOURCE OF RESOLUTION  
 0129  Respondent  
 Field Representative  
 Regional Office staff  
 Washington  
 Other - Specify \_\_\_\_\_

c. OFFICE USE ONLY  
 0121  Editor's code  
 0123

16. In what language was the interview conducted?  
 0123  English  
 Spanish  
 Other - Specify \_\_\_\_\_

17. Address correction/address addition  
 - B 10-2  
 First address line \_\_\_\_\_  
 Second address line \_\_\_\_\_  
 Name or city \_\_\_\_\_ State ZIP Code \_\_\_\_\_

18-19. WASHINGTON USE ONLY

2a. Date of first visit  
 Month:  Day:  Year:

b. Field Representative name

6. Interview method  
 Personal visit  
 Telephone

7. Check item (See Control Card Item 6.)  
 Control number correct - Complete Item 4  
 Control number in sample for first time this enumeration period - Skip to Item 8

4. (See Control Card Items 11 and 14.7)  
 Are any household members the same this time as last enumeration period?  
 URE household  
 Yes  
 No  
 Don't know

5. Is this the same (house/apartment/mobile home) that was at this address last enumeration period? Mark if house/apartment. Ask if mobile home.  
 Yes  
 No, for example, replacement mobile home, wrong unit last-revised list, time, etc.

6. Type of interview  
 Regular occupied - (One or more "1's" in Control Card Item 14) - Go to Item 20, page 2  
 URE occupied - (All "2's" in Control Card Item 14) - Go to Item 124, page 30  
 Type A noninterview

7. Type A noninterview reason  
 No one home  
 Temporarily absent  
 Refused  
 Unable to locate  
 Other occupied - Specify \_\_\_\_\_

8. Occupancy status for Type A noninterviews  
 Occupied as a usual residence by at least one person  
 All occupants have a usual residence elsewhere  
 Don't know  
 Go to Control Card Item 8a

8. Mortgage (See Item 84, page 18.)  
 Mortgage information not required OR callback not required  
 Callback required -  
 Information obtained  
 Unable to obtain information - Explain - \_\_\_\_\_

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

REGULAR OCCUPIED	
20. Are your living quarters in a — (Check all answer categories.)	1129 <input type="checkbox"/> Mobile home <input type="checkbox"/> One-unit building, detached from any other building <input type="checkbox"/> One-unit building, attached to one or more buildings — Skip to item 22f <input type="checkbox"/> Building with two or more apartments? — Skip to item 21b
21a. Are there any occupied or vacant apartments besides your own in the building/mobile home?	1130 <input type="checkbox"/> Yes — Fill Table X on Control Card, then go to item 21b <input type="checkbox"/> No — Skip to item 23 and mark box 1 or 4
b. How many apartments are in the building/mobile home?	1131 _____ Number — Skip to item 23 and mark box 3 or 6
22a. Does your (house/apartment) share an attic, crawl space, or basement?	1132 <input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 22c <input type="checkbox"/> Don't know — Skip to item 22c
b. How many (house/apartment) buildings your own share the attic or basement?	1133 _____ Number — (If one, read item 22a and correct entry, if more than one, add to item 23 and mark box 3.)
c. Does your (house/apartment) share a furnace or boiler with the (house/apartment) next door?	1134 <input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 22e <input type="checkbox"/> Don't know — Skip to item 22e
d. How many (house/apartment) buildings your own share the furnace or boiler?	1135 _____ Number — (If one, read item 22c and if more than one, add to item 23 and mark box 3.)
e. Are there any occupied or vacant apartments besides your own in this house?	1136 <input type="checkbox"/> Yes — Fill Table X on Control Card, then go to item 22f <input type="checkbox"/> No — Skip to item 23 and mark box 2
f. How many apartments including your own are in this house?	1137 _____ Number — (If one, read item 22e and correct entry, if more than one, add to item 23 and mark box 3.)
23. Check item Find structure type classification based on entries in items 20–22.	1138 <input type="checkbox"/> One-unit building — detached <input type="checkbox"/> One-unit building — attached <input type="checkbox"/> Two-or-more-unit building — attached <input type="checkbox"/> Mobile home — one unit — Skip to item 25a <input type="checkbox"/> Mobile home — two-or-more units
24. Is the house built — (Check answer categories until a "Yes" reply is received.)	1139 <input type="checkbox"/> With a basement under all the building? <input type="checkbox"/> With a basement under part of the building? <input type="checkbox"/> On a concrete slab? <input type="checkbox"/> On piers or posts? <input type="checkbox"/> In some other way? — Specify 7
25a. Is the (house/apartment) part of a condominium or cooperative?	1140 <input type="checkbox"/> No — Skip to item 26a, page 3 <input type="checkbox"/> Yes, condominium <input type="checkbox"/> Yes, cooperative
b. To the Census Bureau, a cooperative is property which is owned by a corporation. Each unit in the building is entitled to occupy an individual unit in the building. Do you mean when you say this is a cooperative?	1141 <input type="checkbox"/> Yes <input type="checkbox"/> No — Read item 25b and correct entry

Form HUD-94-1 (1-94)

REGULAR OCCUPIED — Continued	
26a. How many of each of the following rooms does the (house/apartment) have? (Check all answer categories, even if there are no rooms, enter the correct number of bedrooms, and mark "None" for all other rooms.)	1142 Bedrooms? _____ Number <input type="checkbox"/> None
(1) Bedrooms?	1143 _____ Number <input type="checkbox"/> None
(2) How many full bathrooms with hot and cold running water, AND a sink, AND a flush toilet, AND a bathtub or shower?	1144 _____ Number <input type="checkbox"/> None
(3) How many full bathrooms? (Tublet OR bathtub OR shower)	1145 _____ Number <input type="checkbox"/> None
(4) Closets?	1146 _____ Number <input type="checkbox"/> None
(5) Living rooms?	1147 _____ Number <input type="checkbox"/> None
(6) Separate dining rooms?	1148 _____ Number <input type="checkbox"/> None
b. Are there any other rooms?	1149 <input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 26d
(If entries include porches, patios, porches or areas adjoining or near a fire escape (two rooms).)	1150 _____ Number of family rooms, dens, reception rooms and/or libraries <input type="checkbox"/> None
c. What are they? (Complete all 3 parts.)	1151 _____ Number of rooms that are built-in space with direct access to outside <input type="checkbox"/> None 1152 _____ Number of other rooms, finished or unfinished <input type="checkbox"/> None
d. Check item (See items 21b and 23 and Control Card 3d and 3e.) <input type="checkbox"/> 1 or 2 unit building — Ask item 20e <input type="checkbox"/> Mobile home not in park — Skip to item 27, page 4 <input type="checkbox"/> 3 or more unit building or mobile home in park — Skip to item 27, page 4	1153 <input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 27, page 4
e. Are there any mobile homes on this property? (— other than this one?)	1154 <input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 27, page 4
f. What is the model year of (each type) mobile home 1 — (including this one)? (Exclude mobile homes already listed in Table X or on the stamp sheet.)	1155 _____ 1156 _____ 1157 _____ 1158 _____ 1159 _____ 1160 _____ <input type="checkbox"/> All mobile homes already listed

Form HUD-94-1 (1-94)

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED — Continued**

**1479** 1  Yes  
2  No — Skip to item 34a

**1480** 1  Electricity  
2  Gas  
3  Fuel oil  
4  Kerosene or other liquid fuel  
5  Coal or coke  
6  Wood  
7  Solar energy  
8  Other — Specify 7

**1481** 1  Yes  
2  No water stoppage — Skip to item 34a

**1482** \_\_\_\_\_  
Water stoppages lasting 6 hours or more  
a  None lasted 6 hours

**1483** 1  Public or private water system — Skip to item 34c  
2  Individual well — Ask item 34b  
3  Spring  
4  Cistern  
5  Stream or lake  
6  Bottled water  
7  Other — Specify 7

**1484** 1  Drilled  
2  Dug

**1485** 1  Yes — Skip to item 35a, page 6  
2  No — Ask item 34d

**1486** 1  Only one house or apartment  
2  2 to 5  
3  6 to 9  
4  10 to 14

Note

**REGULAR OCCUPIED — Continued**

**1497** 1  Yes  
2  No

**1498** 1  Yes  
2  No — Skip to item 30a

**1499** 1  Yes  
2  No — Skip to item 31a

**1500** 1  Yes, exclusive use  
2  No, shared

**1501** 1  Yes  
2  No toilet breakdowns — Skip to item 31a  
3  No toilet breakdowns lasting 8 hours or more

**1502** 1  Yes, concealed  
2  No  
3  No electrical wiring — Skip to item 32a

**1503** 1  Yes  
2  No  
3  Don't know

**1504** \_\_\_\_\_  
Number

**1505** 1  Yes  
2  No — Skip to item 32c

**1506** 1  Roof  
2  Basement  
3  Walls or around closed windows or closed doors  
4  Other — Specify 7

**1507** 1  Yes  
2  No — Skip to item 33a, page 6

**1508** 1  Own plumbing (fixtures included and/or overhauled)  
2  Pipes leaked (includes pipe leaks from other apartments)  
3  Other or unknown — Specify 7

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

REGULAR OCCUPIED - Continued	
40a. Does your house/apartment have a washing machine [---] in the apartment?	1710 <input type="checkbox"/> Yes - Skip to item 41a <input type="checkbox"/> No - Skip to item 41a
b. Is it more than 5 years old?	1720 <input type="checkbox"/> Yes <input type="checkbox"/> No
41a. Does your house/apartment have a clothes dryer [---] in the apartment?	1730 <input type="checkbox"/> Yes - Skip to item 42a <input type="checkbox"/> No - Skip to item 42a
b. Is it more than 5 years old?	1740 <input type="checkbox"/> Yes <input type="checkbox"/> No
c. What kind of fuel does the dryer use?	1750 <input type="checkbox"/> Electricity <input type="checkbox"/> Gas <input type="checkbox"/> Other - Specify ?
42a. Does your house/apartment have central air conditioning?	1760 <input type="checkbox"/> Yes - Skip to item 42c <input type="checkbox"/> No - Skip to item 42c
b. What kind of fuel does it use?	1770 <input type="checkbox"/> Electricity <input type="checkbox"/> Gas <input type="checkbox"/> Other - Specify ?
c. Do you use any room air conditioner?	1780 <input type="checkbox"/> Yes - Skip to item 43a <input type="checkbox"/> No - Skip to item 43a
d. How many?	1790 _____ Number
43a. What fuel is used MOST for heating the house/apartment?	1800 <input type="checkbox"/> Electricity <input type="checkbox"/> Gas <input type="checkbox"/> Fuel oil <input type="checkbox"/> Kerosene or other liquid fuel <input type="checkbox"/> Coal or coke <input type="checkbox"/> Wood <input type="checkbox"/> Solar energy <input type="checkbox"/> Other - Specify ?
b. Besides (fuel marked in item 43a), what other fuel is used for heating the house/apartment? (Mark (X) all that apply.)	1810 <input type="checkbox"/> Electricity <input type="checkbox"/> Gas <input type="checkbox"/> Fuel oil <input type="checkbox"/> Kerosene or other liquid fuel <input type="checkbox"/> Coal or coke <input type="checkbox"/> Wood <input type="checkbox"/> Solar energy <input type="checkbox"/> Other - Specify ?
NOTES	

REGULAR OCCUPIED - Continued	
35a. Is the house/apartment connected to a public sewer?	1820 <input type="checkbox"/> Yes - Skip to item 36d <input type="checkbox"/> No
b. What means of sewage disposal does the house/apartment have?	1830 <input type="checkbox"/> Septic tank or cesspool - Ask item 35c <input type="checkbox"/> Chemical toilet <input type="checkbox"/> Outhouse or privy <input type="checkbox"/> Other - Specify ? <input type="checkbox"/> None <input type="checkbox"/> Skip to item 36e
c. How many houses are connected to the septic tank/cesspool?	1840 <input type="checkbox"/> One <input type="checkbox"/> 2 to 5 <input type="checkbox"/> 6 or more
d. Did the sewage system break down in the last 3 months? (Do that it was completely unusable.) (While household was living here if less than 3 months)	1870 <input type="checkbox"/> Yes - Skip to item 36e <input type="checkbox"/> No - Skip to item 36e
e. How many of these breakdowns lasted 6 hours or more?	1880 _____ Sewage breakdowns lasting 6 hours or more <input type="checkbox"/> None lasted 6 hours
36a. Does your house/apartment have a refrigerator? (Exclude ice boxes.)	1890 <input type="checkbox"/> Yes - Skip to item 37a <input type="checkbox"/> No - Skip to item 37a
b. Is it more than 5 years old? (Age of newest if two or more)	1900 <input type="checkbox"/> Yes <input type="checkbox"/> No
37a. Does your house/apartment have a garbage disposal in the sink?	1910 <input type="checkbox"/> Yes <input type="checkbox"/> No - Skip to item 38a
b. Is it more than 5 years old?	1920 <input type="checkbox"/> Yes <input type="checkbox"/> No
38a. Does your house/apartment have a cookstove or range with an oven? (For the household's use only.) (Exclude nonovens. Exclude counter-ovens and portable burners.)	1930 <input type="checkbox"/> Yes - Skip to item 38c <input type="checkbox"/> No
b. Does your house/apartment have - (For the household's use only.)	1940 <input type="checkbox"/> Yes <input type="checkbox"/> No
(1) an oven? (Includes microwaves. Exclude toaster-ovens.)	1950 <input type="checkbox"/> Yes <input type="checkbox"/> No
(2) smoking burners? (Exclude portable burners.)	1960 <input type="checkbox"/> Yes <input type="checkbox"/> No
c. Do (do/are they) more than 5 years old? (Age of newest if two or more)	1970 <input type="checkbox"/> Yes <input type="checkbox"/> No
d. What fuel is used MOST for cooking?	1975 <input type="checkbox"/> Electricity <input type="checkbox"/> Gas <input type="checkbox"/> Kerosene or other liquid fuel <input type="checkbox"/> Coal or coke <input type="checkbox"/> Wood <input type="checkbox"/> Other - Specify ? <input type="checkbox"/> No fuel used
39a. Does your house/apartment have a dishwasher?	1980 <input type="checkbox"/> Yes <input type="checkbox"/> No - Skip to item 40a, page 7
b. Is it more than 5 years old?	1990 <input type="checkbox"/> Yes <input type="checkbox"/> No

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**REGULAR OCCUPIED — Continued**

**47a.** Last winter was there any time when the central air conditioning system or furnace or boiler was not working in your household? — *Ask item 47b*  
 Yes — *Ask item 47b*  
 No — *Did not live here last winter* } *Skip to item 49a*

**b.** Was that because the heating equipment broke down?  
 Yes  
 No, didn't break down — *Skip to item 47e*

**c.** How many times did (they) all break down for 6 hours or more?  
 Never broken for 6 hours  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12  
 13  
 14  
 15  
 16  
 17  
 18  
 19  
 20  
 21  
 22  
 23  
 24  
 25  
 26  
 27  
 28  
 29  
 30  
 More than 30  
 Number of breakdowns lasting 6 hours or more

**d.** Was it cold for any other reason?  
 Yes  
 No — *Skip to item 48a*

**e.** What was the reason?  
 Utility interruption  
 Inadequate heating capacity  
 Inadequate insulation  
 Other — *Specify #*

---

**48a.** Does the (house/apartment) have a porch, deck, balcony, or patio?  
 (Measuring at least four feet by four feet) *(Exclude if already counted as a room.)*  
 Yes  
 No

**b.** Does the (house/apartment) have open cracks or holes in the inside walls or ceilings?  
 (Cracks wider than a dime)  
 Yes  
 No

**c.** Does the (house/apartment) have holes in the floors?  
 (Big enough for someone to trip in)  
 Yes  
 No

**d.** Does the (house/apartment) have any area of peeling paint?  
 (Please specify larger than 8 inches by 11 inches)  
 Yes  
 No

**e.** In the last 3 months have you seen any rats or signs of rats in this building?  
 (Exclude mice and other rodents.)  
 Yes  
 No

---

**49.** On a scale of 1 to 10, how would you rate the (house/apartment) as a place to live? 10 is best, 1 is worst.  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10

---

**50a.** How would you rate the neighborhood on a scale of 1 to 10? 10 is best, 1 is worst.  
 (Mark "No neighborhood." if respondent volunteers this answer.)  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 No neighborhood — *Skip to item 51a, page 10*

**b.** Is there anything about the neighborhood that bothers you?  
 Yes  
 No — *Skip to item 51a, page 10*

**c.** What?  
 (Write exact words and mark (X) if they apply.)  
 No problem  
 Crime  
 Noise  
 Traffic  
 Litter or housing deterioration  
 Poor city/county services  
 Unpleasant commercial, institutional, or industrial property  
 People  
 Other

**REGULAR OCCUPIED — Continued**

**44.** Does the (house/apartment) have a stable fireplace?  
 Yes  
 No

**45a.** PLEASE LOOK AT THIS CARD.  
 What type of heating equipment is used MOST to heat the (house/apartment)?  
 (Mark answer categories unless heating equipment used most is mentioned.)

A central warm-air furnace with air vents or ducts to the individual rooms? — *Ask item 45b*

Steam or hot-water system with radiators OR other system taking steam or hot water?  
 Electric heat pump?  
 Other built-in electric units permanently installed in wall, ceiling, or floor?  
 Floor, wall, or other built-in hot-air heater without ducts?  
 Kerosene, gas, or oil room heater(s) — *Skip to item 45d*

Portable electric heater(s)?

Stove(s)?

Fireplace(s) WITH inserts, that is, installed equipment designed to circulate more heat than the unit?  
 Fireplace(s) WITH NO inserts?  
 Other type of heating equipment? — *Specify #*

None? — *Skip to item 46a, page 9*

**b.** Is the heating fuel for the furnace electricity?  
 Yes, electricity  
 No — *Skip to item 48a*

**c.** Is that a heat pump?  
 Yes  
 No — *Skip to item 45a*

**d.** Is your room heater VENTED to the outside through a chimney, flue, or pipe?  
 Yes  
 No

---

**46a.** What other kinds of heating equipment does the (house/apartment) have or use?  
 (Mark (X) if not apply.)

**b.** Anything else?  
 Yes — *Mark appropriate box(es), then go to item 47a, page 9*  
 No — *Go to item 47a, page 9*

A central warm-air furnace with air vents or ducts to the individual rooms  
 Steam or hot-water system with radiators OR other system using steam or hot water  
 Electric heat pump  
 Other built-in electric units permanently installed in wall, ceiling, or baseboards  
 Floor, wall, or other built-in hot-air heater without ducts  
 Kerosene, gas, or oil room heater(s). VENTED to outside through a chimney, flue, or pipe  
 UN-VENTED kerosene, gas, or oil room heaters  
 Portable electric heater(s)  
 Stove(s)  
 Fireplace(s) WITH inserts, that is, installed equipment designed to circulate more heat into the room  
 Fireplace(s) WITH NO inserts  
 Some other type of heating equipment — *Specify #*

None — *Go to item 47a, page 9*

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**REGULAR OCCUPIED — Continued**

**55a.** When you were going to move, did you look for a house/apartment in any neighborhood other than this?  Yes  No

**55b.** Why did you choose this NEIGHBORHOOD? (Write exact words and mark [X] as that apply.)

Convenient to job  
 Convenient to friends or relatives  
 Convenient to leisure activities  
 Convenient to public transportation  
 Good schools  
 Other public services  
 Looks/design of neighborhood  
 House was most important  
 House/apartment  
 Other

**55c.** MARK if only one box marked in item 55b OR ASK if two or more boxes marked ...

**What is the MAIN reason you chose this neighborhood?**

All reasons of equal importance  
 Yes  
 No  
 Looked at only this unit

**55d.** Before you moved, did you look at both (business/health) houses and apartments?

Yes  
 No  
 Looked at only this unit

**56.** Why did you choose this particular (house/apartment)? (Write exact words and mark [X] as that apply.)

Financial reasons  
 Room layout/design  
 Kitchen  
 Size  
 Exterior appearance  
 Views/dresses/view  
 Quality of construction  
 Only one available  
 Other — Specify ?

**57.** MARK if only one box marked in item 56b OR ASK if two or more boxes marked ...

**What is the MAIN reason your chosen (house/apartment)?**

All reasons of equal importance  
 Better  
 Worse  
 About the same  
 Same neighborhood

**58.** Is this (house/apartment) better, worse, or about the same as your last home?

Better  
 Worse  
 About the same

**59.** Check item (See Control Card item 29.)

Only one person MOVED in after February 28, 1990 — Skip to item 61a, page 12, enter the number in Group 1 column, and combine with item 61b.  
 Two or more persons MOVED in after February 28, 1990 — Ask item 60a.

**60a.** Earlier you told us that (Specify reason of move) moved into this (house/apartment) after February 28, 1990. Did (all of you/they) move here from the same previous residence?

Yes  
 No — Skip to item 61a, page 12

**60b. INSTRUCTION (See Control Card item 26.)**

If all moved in within a 6-month period — Skip to item 61a, page 12, enter the numbers in Group 1 column, and combine with item 61b.  
 If people moved in more than 6 months apart — Put them in separate groups in item 61a on pages 12 and 13 and ask items 61b-c for each group.

**REGULAR OCCUPIED — Continued**

**61a.** Check item (Mark [X] that best describes) (See Control Card item 24.)

Respondent MOVED here after February 28, 1990 — Skip to item 61b, page 12.  
 Owner did not respond MOVED here after February 28, 1990 — Skip to item 61b, page 12.  
 All MOVED in before March 1, 1990 — Skip to item 61b.

**61b.** Check item (See Control Card item 26.)

Owner — Skip to item 72a, page 13  
 Tenant — Skip to item 64a, page 14  
 No cash rent — Skip to item 64a, page 14

**62a.** What are the reasons you moved from your last residence? (Mark [X] as that apply.)

A private company or person wanted to use it for some purpose  
 Forced to leave by the government  
 Disaster (fire, flood, etc.)  
 New job or job transfer  
 To be closer to work/school/other  
 Other, financial/employment related  
 To establish own household  
 Needed larger house or apartment  
 Married, widowed, divorced, or separated  
 Other, family/personal related  
 Wanted better quality house/apartment  
 Change from owner to renter OR renter to owner  
 Wanted lower rent or less expensive house to maintain  
 Other housing related reasons  
 Other — Specify ?

**62b.** MARK if only one box checked in item 62a OR ASK if two or more boxes checked — What is the MAIN reason you moved?

All reasons of equal importance  
 Number from item 62a

**63.** Check item (Mark [X] that best describes) (See Control Card item 24.)

Item 1 marked in item 62a — Skip to item 64a  
 Item 2 marked in item 62a — Skip to item 64a  
 Items 1 and 2 marked in item 62a — Skip to item 64a

**64a.** Did you leave —

(1) Because the owner, or members of the owner's family were going to move into that residence?  Yes — Skip to item 65a, page 11  No

(2) Because that unit was going to become a condominium or cooperative?  Yes — Skip to item 65a, page 11  No

(3) Because that residence was closed for repairs?  Yes — Skip to item 65a, page 11  No

(4) Because the government wanted to use the house/apartment for some other purpose?  Yes — Skip to item 65a, page 11  No

(5) Because that residence was condemned by the government as unfit for occupancy?  Yes — Skip to item 65a, page 11  No

(6) In addition to the reasons given, did you leave —

(1) Because a private company or person wanted to use it for some purpose?  Yes — Ask (2)  No — Skip to (6)

(2) Was that to make this owner or members of the owner's family move into that residence?  Yes — Skip to item 65a, page 11  No — Ask (3)

(3) Because it was going to be a condominium or cooperative?  Yes — Skip to item 65a, page 11  No — Ask (4)

(4) Because it was closed for repairs?  Yes — Skip to item 65a, page 11  No

(5) Because the government forced you to leave?  Yes — Ask (6)  No — Skip to item 65a, page 11

(6) Was that because the government wanted to use the house/apartment for some other purpose?  Yes — Skip to item 65a, page 11  No — Ask (7)

(7) Because it was condemned by the government as unfit for occupancy?  Yes  No

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

REGULAR OCCUPIED - Continued		REGULAR OCCUPIED - Continued		REGULAR OCCUPIED - Continued	
GROUP 1		GROUP 2		GROUP 3	
Line numbers		Line numbers		Line numbers	
3316	3317	3316	3317	3316	3317
3318	3319	3318	3319	3318	3319
3320	3321	3320	3321	3320	3321
3322	3323	3322	3323	3322	3323
3324	3325	3324	3325	3324	3325
<p>3326 Outside U.S. - Skip to item 61h</p> <p>3327 City or place</p> <p>3328 Country</p> <p>3329 State</p> <p>3330 ZIP Code</p> <p>3331 Yes</p> <p>3332 No or not incorporated place</p> <p>3333 Don't know</p> <p>3334 Zone code</p> <p>3335 Off map</p> <p>3336 Zone alpha (if any)</p> <p>3337 A house?</p> <p>3338 An apartment?</p> <p>3339 A mobile home?</p> <p>3340 Or some other type of residence? - Skip to item 61h</p> <p>3341 Owned or being bought by someone in that household?</p> <p>3342 Rented for cash?</p> <p>3343 Occupied without payment of cash rent?</p> <p>3344 No</p> <p>3345 Yes, condominium</p> <p>3346 Yes, cooperative</p> <p>3347 Yes</p> <p>3348 No - Read item 61h and correct entry</p> <p>3349 Yes - Skip to item 61m</p> <p>3350 No</p> <p>3351 Yes - Skip to item 61m</p> <p>3352 No</p> <p>3353 Increased</p> <p>3354 Stayed about same</p> <p>3355 Decreased</p> <p>3356 Don't know</p> <p>3357 Go to next mover group. If none, go to item 62, page 14.</p>		<p>3326 Outside U.S. - Skip to item 61h</p> <p>3327 City or place</p> <p>3328 Country</p> <p>3329 State</p> <p>3330 ZIP Code</p> <p>3331 Yes</p> <p>3332 No or not incorporated place</p> <p>3333 Don't know</p> <p>3334 Zone code</p> <p>3335 Off map</p> <p>3336 Zone alpha (if any)</p> <p>3337 A house?</p> <p>3338 An apartment?</p> <p>3339 A mobile home?</p> <p>3340 Or some other type of residence? - Skip to item 61h</p> <p>3341 Owned or being bought by someone in that household?</p> <p>3342 Rented for cash?</p> <p>3343 Occupied without payment of cash rent?</p> <p>3344 No</p> <p>3345 Yes, condominium</p> <p>3346 Yes, cooperative</p> <p>3347 Yes</p> <p>3348 No - Read item 61h and correct entry</p> <p>3349 Yes - Skip to item 61m</p> <p>3350 No</p> <p>3351 Yes - Skip to item 61m</p> <p>3352 No</p> <p>3353 Increased</p> <p>3354 Stayed about same</p> <p>3355 Decreased</p> <p>3356 Don't know</p> <p>3357 Go to next mover group. If none, go to item 62, page 14.</p>		<p>3326 Outside U.S. - Skip to item 61h</p> <p>3327 City or place</p> <p>3328 Country</p> <p>3329 State</p> <p>3330 ZIP Code</p> <p>3331 Yes</p> <p>3332 No or not incorporated place</p> <p>3333 Don't know</p> <p>3334 Zone code</p> <p>3335 Off map</p> <p>3336 Zone alpha (if any)</p> <p>3337 A house?</p> <p>3338 An apartment?</p> <p>3339 A mobile home?</p> <p>3340 Or some other type of residence? - Skip to item 61h</p> <p>3341 Owned or being bought by someone in that household?</p> <p>3342 Rented for cash?</p> <p>3343 Occupied without payment of cash rent?</p> <p>3344 No</p> <p>3345 Yes, condominium</p> <p>3346 Yes, cooperative</p> <p>3347 Yes</p> <p>3348 No - Read item 61h and correct entry</p> <p>3349 Yes - Skip to item 61m</p> <p>3350 No</p> <p>3351 Yes - Skip to item 61m</p> <p>3352 No</p> <p>3353 Increased</p> <p>3354 Stayed about same</p> <p>3355 Decreased</p> <p>3356 Don't know</p> <p>3357 Go to next mover group. If none, go to item 62, page 14.</p>	

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**REGULAR OCCUPIED — Continued**

62. **INTRODUCTION:** The next questions are about your current residence.  
 63. Check item (See Control Card item 86.)  
 Owned — Skip to item 73a, page 10  
 Rented — Go to item 64a  
 No cash rent — Skip to item 64c

64a. How often is the rent due?  
 Monthly Times per year: 12  
 Quarterly Times per year: 4  
 Semiannually Times per year: 2  
 Annually Times per year: 1

b. How much is the rent? (Include total amount paid by household AND any other sources.)  
 (If parking priced separately, exclude it here and mark NO to item 64c and for without asking.)  
 \$ 50

c. Check item (See item 23, page 2.)  
 Mobile home either one-unit or two-or-more units — Ask item 64d  
 Not a mobile home — Skip to item 64h

d. Do you pay separate rent for the land?  
 (If land occupied in exchange for services, mark "Yes" and "No cash rent" in item 64f.)  
 Yes  
 No — Skip to item 64g

e. How many times a year is the (land) rent due?  
 Monthly Times per year: 12  
 Quarterly Times per year: 4  
 Semiannually Times per year: 2  
 Annually Times per year: 1

f. What is the cost each... (Billing period)?  
 No cash rent  
 Included in mobile home rent, fee or association fee  
 Yes  
 No — Skip to item 64g

g. ...in addition to the land rent, do you pay any (additional) mobile home rent fee?  
 Yes Times per year: 12  
 No — Skip to item 64g

h. How many times a year is the fee due?  
 Monthly Times per year: 12  
 Quarterly Times per year: 4  
 Semiannually Times per year: 2  
 Annually Times per year: 1

i. What is the cost each... (Billing period)?  
 Included in mobile home rent  
 Yes  
 No — Skip to item 64h

j. Are there any (other) required fees for utility hookups, mobile home association fees, and so forth?  
 Yes Times per year: 12  
 No — Skip to item 64h

k. How many times a year are the fees due?  
 Monthly Times per year: 12  
 Quarterly Times per year: 4  
 Semiannually Times per year: 2  
 Annually Times per year: 1

l. What is the average cost each... (Billing period) for these fees?  
 Yes  
 No — Skip to item 65a

m. Is a wage or carpet included (in the rent) with the home?  
 Yes  
 No

n. Is an off-street parking space included?  
 Yes  
 No

65a. Is the building owned by a public housing authority?  
 Yes — Skip to item 65c, page 15  
 No

b. Does the Federal government pay some of the cost of the unit?  
 Yes — Skip to item 65c, page 15  
 No

c. Does the State or local government pay some of the cost of the unit?  
 Yes — Skip to item 65c, page 15  
 No

d. Do (you/they people living here) have to report the household's income to someone every year so they can set the rent?  
 Yes — Skip to item 65a, page 15  
 No

e. Does the local government (fix the rent) through rent control or rent stabilization?  
 Yes  
 No

f. Is the rent adjusted because someone in the household works for it related to the owner?  
 Yes — Skip to item 65a, page 15  
 No

**REGULAR OCCUPIED — Continued**

66. If "3" circled in Control Card item 86, mark "None" without asking.  
 66a. Of the ... (amount from 64b) rent you reported, how much is this household required to pay?  
 Check item — Unit is located in —  
 Buffalo, NY MSA area  
 Los Angeles-Long Beach, CA MSA area  
 Philadelphia, PA-AU MSA area  
 Riverside-San Bernardino, CA MSA area  
 All other MSA areas — Skip to item 66b

b. Where there any nontransferable fees, or special upfront payments to occupy this unit, including a security deposit?  
 Yes — Skip to item 66c  
 No — Skip to item 66c

c. How much was that?  
 Landlord or owner? \$ 50  
 Building manager or superintendent?  
 Rental agent or broker?  
 Former or existing tenant, if you subject?  
 Other?

d. Did you pay it to the —  
 Landlord or owner?  
 Building manager or superintendent?  
 Rental agent or broker?  
 Former or existing tenant, if you subject?  
 Other? — Skip to item 66h

e. Are there any special ongoing payments you have to continue making here, including the rent or utilities?  
 (Exclude previously reported mobile home fee and OPTIONAL fees for parking, TV, antenae, hookups, AC, number units, etc.)  
 Yes  
 No — Skip to item 66h

f. How much is that per month?  
 Landlord or owner? \$ 50  
 Building manager or superintendent?  
 Rental agent or broker?  
 Former or existing tenant, if you subject?  
 Other?

g. Do you pay it to the —  
 Landlord or owner?  
 Building manager or superintendent?  
 Rental agent or broker?  
 Former or existing tenant, if you subject?  
 Other? — Skip to item 66h

h. Check item (See item 23, page 2.)  
 Mobile home other one-unit or two-or-more units — Skip to item 66b  
 Not a mobile home — Ask item 67

67. About when was the building originally built?  
 1950 or later  
 1975 — 74  
 1970 — 69  
 1960 — 59  
 1950 — 49  
 1940 — 39  
 1930 — 29  
 1920 — 19  
 1910 or earlier

68a. Excluding the dealer's fee, in this the first site on which this mobile home was placed?  
 Yes, first site  
 No, moved from another site  
 Don't know

b. If mobile home included in a group of 2 or more?  
 Yes  
 No, mobile home not in a group — Skip to item 69

c. How many, including your mobile home, are in the group?  
 2 or more  
 1  
 Exact number — # 2 to 20  
 21 or more  
 1980 or later  
 1975 — 74  
 1970 — 69  
 1960 — 59  
 1950 — 49  
 1940 — 39  
 1930 or earlier

68b. What is the model year of the mobile home?  
 1980 or later  
 1975 — 74  
 1970 — 69  
 1960 — 59  
 1950 — 49  
 1940 or earlier

69. When was the first (person/people) to occupy this home or did someone else live here before you?  
 First occupants  
 Previously occupied

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED - Continued**

71. Check item (See item 23, page 2.)  
 Two-or-more-unit building or two-or-more-unit mobile home - Skip to item 109a, page 24  
 All others - Ask item 72a

72a. How large is the building?  
 (If over 1 acre, drop any fractions, don't round up. If under one acre, convert to approximate square feet.)  
 One-eighth acre = 5500 sq. ft.  
 Quarter acre = 11000 sq. ft.  
 One-half acre = 22000 sq. ft.  
 Three-quarters acre = 33000 sq. ft.  
 One acre = 44000 sq. ft.  
 MARK OR ASK -  
 b. Is it more than 10 acres?  Yes  No

NOTE - Ask all subquestions in item 72a before proceeding to item 72b.

72b. These questions are about major repairs, improvements, or replacements to the building in the last 2 years. (Count each only once, include work in progress.) (Write help here if less than 2 years.)

(1) Was all or part of the roof replaced in the last 2 years?  Yes, all  Yes, part  No

(2) Were any additions built?  Yes  No

(3) Was the kitchen kitchen cabinet?  Yes  No

(4) Were any bathrooms remodeled or added?  Yes  No

(5) Was any siding, roof, or other exterior work replaced or added in the last 2 years?  Yes  No

(6) Were any new stairs, doors, or other exterior things added?  Yes  No

(7) Was any major equipment, such as refrigerator, stove, or air conditioning, replaced or added?  Yes  No

(8) Was foundation added?  Yes  No

(9) Were any major repairs, improvements, or other work done in the last 2 years?  Yes  No

NOTE - If "Yes" was answered for one or more categories in item 72a, ask item 72b.

74. Check item (See item 72a.)  
 At least one "Yes" marked in item 72a - Ask item 75  
 All "No" in item 72a - Skip to item 76, page 17

75. Did the household get a loan interest loan or grant from a government program to help pay the cost of the repairs or improvements to your home?  Yes  No

3282 \$ \_\_\_\_\_  
 3283 \$ \_\_\_\_\_  
 3284 \$ \_\_\_\_\_  
 3285 \$ \_\_\_\_\_  
 3286 \$ \_\_\_\_\_  
 3287 \$ \_\_\_\_\_  
 3288 \$ \_\_\_\_\_  
 3289 \$ \_\_\_\_\_  
 3290 \$ \_\_\_\_\_  
 3291 \$ \_\_\_\_\_  
 3292 \$ \_\_\_\_\_  
 3293 \$ \_\_\_\_\_  
 3294 \$ \_\_\_\_\_  
 3295 \$ \_\_\_\_\_  
 3296 \$ \_\_\_\_\_  
 3297 \$ \_\_\_\_\_  
 3298 \$ \_\_\_\_\_  
 3299 \$ \_\_\_\_\_  
 3300 \$ \_\_\_\_\_  
 3301 \$ \_\_\_\_\_  
 3302 \$ \_\_\_\_\_

**REGULAR OCCUPIED - Continued**

76. In last 12 months, how much was spent on routine maintenance such as painting, repairs, etc.? (Exclude anything already mentioned.)  
 Nothing

77. Check item (See item 23, page 2.)  
 Mobile home either one-unit or two-or-more-unit - Skip to item 78a  
 Not a mobile home - Ask item 78

78. About when was the building originally built?  
 Month Year  
 1980 or later 7  
 1979 7  
 1975-74 7  
 1970-74 7  
 1960-69 7  
 1950-59 7  
 1940-49 7  
 1930-39 7  
 1920-29 7  
 1919 or earlier 7  
 Skip to item 81a

79a. Excluding the duplex, lot, is this the site on which this mobile home was placed?  
 Yes, first site  
 No, moved from another site  
 Don't know

b. Is your mobile home included in a group of 2 or more?  
 Yes  
 No, mobile home not in a group - Skip to item 80

c. How many, including your mobile home, are in the group?  
 Exact number - III 2 to 20 mobile homes!  
 21 or more

80. What is the model year of the mobile home?  
 1980 or later 7  
 1975-74 7  
 1970-74 7  
 1960-69 7  
 1950-59 7  
 1940-49 7  
 1939 or earlier 7  
 Ask item 81a

81a. Was your first (nonrental) to occupy this home or did you buy it?  
 First occupants  
 Previously occupied

b. Is this home currently for rent or sale?  
 Yes  
 No - Skip to item 82a

c. Is it for -  
 (Read or answer carefully.)  
 rent only?  
 rent or for sale?  
 sale only?

82a. When did this household buy the home or building bought at different times, including any:  
 purchased as inheritance or gift  
 Year - Skip to item 82c

b. In what year did this household (invent/receive) the home?  
 Year - Skip to item 82e

c. What was the price?  
 (For mobile homes, exclude value of the land.)  
 Sale of previous home if sold during 12 months prior to purchase of new home - Skip to item 82a, page 18  
 Savings or cash on hand  
 Sale of other investment  
 Borrowing, other than a mortgage on the home  
 Insurance or gift  
 Lead where building was built used for financing  
 Other - Specify 7  
 No down payment made

d. Was the main source of the down payment the sale of a previous home, savings, or something else?  
 (If bought outright, enter main source of full payment.)

e. (Enter any of the answers you filling in item 75a, page 17, crossed a "No" answer?)  
 Yes  
 No

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED — Continued**

85a. Check item 2 (see item 2(a), page 2.)  
 Condominium or cooperative — Skip to item 87a  
 Not a condominium or cooperative — Go to item 83b

b. Check item 2 (see item 2(a), page 2.)  
 One-unit building — Ask item 84a  
 One-unit mobile home — Skip to item 85a, page 19  
 Two-or-more-unit building or two-or-more-unit mobile home — Skip to item 85b

84a. How large is the lot/lot(s)?  
 (Include all connecting land that is owned or that is owned with the home.)  
 (If over 1 acre, show any fractions, don't round up. If under one acre, convert to approximate square feet.)

One-eighth acre = 5600 sq. ft.  
 Quarter acre = 11000 sq. ft.  
 One-third acre = 14000 sq. ft.  
 Half acre = 22000 sq. ft.  
 Three-quarters acre = 33000 sq. ft.  
 One acre = 44000 sq. ft.

MARK OR ASK —  
 Don't know — Ask item 84b  
 Yes — Skip to item 85a  
 No — Skip to item 85b

b. Is it more than 10 acres?  Yes  No

c. Is there a commercial establishment on the property?  Yes  No

d. Is there a medical or dental office on the property?  Yes  No

e. How much do you think the house and lot would sell for on today's market? \$ 3190  Yes  No — Skip to item 85a, page 19

85a. Is there a medical or dental office on the property?  Yes  No

b. How much do you think the house, detached or attached, would sell for on today's market? \$ 3050  Yes  No

c. What is the value of the residential portion of this property? \$ 3100  Yes  No — Skip to item 85a, page 19

85b. Is there a commercial establishment on the property?  Yes  No

b. Is there a medical or dental office on the property?  Yes  No

c. How much do you think the house and (garage from item 84a) lot would sell for on today's market? \$ 3050  Yes  No

d. How much do you think the house and its (detached) would sell for on today's market? \$ 3100  Yes  No — Skip to item 85a, page 19

e. Is there a commercial establishment on the property?  Yes  No

f. Is there a medical or dental office on the property?  Yes  No

g. How much do you think the entire building and property would sell for on today's market? \$ 3050  Yes  No

h. How much of that would apply to the apartment unit? \$ 3100  Yes  No — Skip to item 85a, page 19

87a. Is there a commercial establishment on the property?  Yes  No

b. Is there a medical or dental office on the property?  Yes  No

c. How much do you think the apartment would sell for on today's market? \$ 3100  Yes  No — Skip to item 85a, page 19

**REGULAR OCCUPIED — Continued**

88a. How large is the lot/lot(s)?  
 (Include all connecting land that is owned or that is owned with the home.)  
 (If over one acre, show any fractions, don't round up. If under one acre, convert to approximate square feet.)

One-eighth acre = 8500 sq. ft.  
 Quarter acre = 11000 sq. ft.  
 One-third acre = 14000 sq. ft.  
 Half acre = 22000 sq. ft.  
 Three-quarters acre = 33000 sq. ft.  
 One acre = 44000 sq. ft.

MARK OR ASK —  
 Don't know — Ask item 88b  
 Yes  No

b. Is it more than 10 acres?  Yes  No

c. Is there a commercial establishment on the property?  Yes  No

d. Is there a medical or dental office on the property?  Yes  No

e. How much do you think the mobile home would sell for on today's market? (Do not include the value of the land.) \$ 3100  Yes  No — Skip to item 88b

f. Do you own the land?  Yes  No

g. How much do you think the land would sell for on today's market? \$ 3150  Yes  No — Skip to item 88b

88b. Is a garage or carport included with your home?  Yes  No — Skip to item 90

b. Is an offstreet parking space included?  Yes  No

90. Is the ownership of the house/apartment shared with anyone NOT living here?  Yes  No

91. Does anyone not living here pay some of the mortgage or utility costs?  Yes  No

The next questions are about mortgages or other loans that are secured by the property. You may check your records if you wish.

92. Is there a mortgage, a Home Equity Loan, or other type of loan on this (house/apartment) include "and contract" and other loans SECURED BY THE PROPERTY?  Yes  No — If response to item 91 was "Yes," probe to see if there is a mortgage. Skip to item 88a, page 22

93. Did you get your mortgage through a State or local government program that provides lower cost mortgages?  Yes  No

94. Check item 1 (see Control Card items 13 and 17.)  
 Respondent is an owner or center's spouse — Ask item 95, page 20  
 Respondent is not an owner or center's spouse — Check item 1 — Mark (item 8, page 1); then skip to item 88a, page 22

Notes

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED — Continued**

96. How many mortgages are there on this home/property? **3278** \_\_\_\_\_

96a. Did you just the current (first/second) mortgage on this home/property? **3279**  Yes  No — Skip to item 96f

96b. With regard to this (first/second) mortgage, did you get a new mortgage or did you assume an existing mortgage? **3280**  New — Skip to item 96f  Assumed  Wrap-around — Skip to item 96f

96c. How much was left to pay off when you assumed it? **3281** \$ \_\_\_\_\_

96d. How many years remained on the mortgage then? **3282** \_\_\_\_\_ Years — Skip to item 96f

96e. What year did you get the mortgage? **3283** 1 9 9 \_\_\_\_\_ Year

96f. When you first obtained THIS mortgage, how many years was it for? **3284** \_\_\_\_\_ Years — If less than 15, ask item 96g; if 15 or more, skip to item 96h  Can vary — Ask item 96g

96g. At your current payments, how long would it take to pay off the loan? **3285** \_\_\_\_\_ Years

96h. How much was borrowed? **3286** \$ \_\_\_\_\_

96i. Does this mortgage cover — **3287**  Yes — Skip to item 96j  No

(1) Other houses or apartments besides this one? **3288**  Yes  No

(2) Farm land? **3289**  Yes  No

(3) A business on this property? **3290**  Yes  No — Skip to item 96k

96j. How much of the ... (Amount in item 96c or 96d) applies just to your interest? **3291** \$ \_\_\_\_\_

96k. What is the current interest rate on the mortgage? (Annual percentage rate) (Round down to nearest 1/4) **3292** \_\_\_\_\_

96l. What is the current monthly payment? **3293** \$ \_\_\_\_\_

96m. Besides principal and interest, does this payment include — **3294**  Yes  No

(1) Property taxes? **3295**  Yes  No

(2) Homeowner's insurance? **3296**  Yes  No

(3) Anything else? **3297**  Yes  No — Skip to item 96n, page 2

(4) How much were the other charges last year? (Do not include property taxes or homeowner's insurance.) **3298** \$ \_\_\_\_\_

**REGULAR OCCUPIED — Continued**

96n. Is the mortgage an FHA, VA, Farmer's Home Administration, or some other type? **3299**  FHA (Federal Housing Administration)  VA (Veterans Administration)  Farmer's Home Administration — Go to item 96s  Some other type  Don't know

96o. Did you borrow the money from a bank or other organization, OR did you borrow it from an individual? **3300**  Bank or other organization — Skip to item 96q  Individual  From an individual

96p. Was the borrower owner of the house? **3301**  Yes  No

96q. Are the payments on this loan the same during the whole length of the mortgage? **3302**  Yes — Skip to item 96r  No

96r. How do they change? (Mark 10 if not apply) **3303**  Change in taxes or insurance, or due to decline in principal balance —  Do they change for any other reason?  Yes — Mark box 2, 3, 4, 5 and/or 7  No — Go to item 96s  Change based on interest rates  Rise in fixed schedule during part of loan  Rise in fixed schedule during whole length of loan  Last payment biggest  Other — Specify ? (If box 5 marked above, ask) —  On the total amount you borrowed, what percentage will have to be paid off in this last payment? ?  1-25 percent  26-50  51-75  76-100

96s. Check item (See item 95, page 20.) **3304**  One mortgage — Skip to item 96t  Two or more mortgages — Go back to item 96a

96t. For the (first mortgage/other mortgage), how much did you borrow? **3305** \$ \_\_\_\_\_

96u. What is your current monthly payment for the (first mortgage/other mortgage)? **3306** \$ \_\_\_\_\_

NOTES

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED — Continued**

99a. Check item (See item 27, page 2.)  
 Mobile home either one-unit or two-or-more-units — Skip to item 101a  
 Not a mobile home — Go to item 82b

b. Check item (See item 25a, page 2.)  
 Condominium or cooperative — Ask item 99b  
 All others — Skip to item 103a, page 23

99b. What was the real estate taxes last year for the (condominium/cooperative) unit? (Include school taxes, special assessments, and any other taxes that are not due from other years.) (Subtract any rebates.)

99c. Did you receive a real estate property tax rebate last year?

99d. What was the amount of the property tax rebate?

100a. Is there a required (condominium/cooperative) association fee?

b. How many times a year is the fee due?

c. What is the average cost each... (Billing period)?

101a. On the mobile home (---) (and its lot) last year, what was the total cost of — property and real estate taxes, registration fees, and license fees? (Include all connecting owned land, school taxes, special assessments, and any other real estate taxes.) (Exclude taxes paid due from other years.) (Subtract any rebates.)

b. Did you receive a real estate property tax rebate last year?

c. What was the amount of the property tax rebate?

Notes

**REGULAR OCCUPIED — Continued**

102a. Check item (See item 99f, page 19.)  
 Land is owned — Skip to item 102f  
 Land is NOT owned — Go to item 102b

b. Check item (See item 92, page 19.)  
 Yes, mortgage — Ask item 102c  
 No mortgage — Skip to item 102d

c. Earlier you told me you do not own the land. Do you pay separate rent for the land?

d. How many times a year is the land rent due?

e. What is the cost each... (Billing period)?

f. (---) (In addition to the land rent, do you pay any (---) (multistaged) mobile home park fee?

g. How many times a year is the fee due?

h. What is the average cost each... (Billing period)?

i. Are there (any/any other) required fees for utility payments, mobile home associations fees, and so forth?

j. How many times a year are the fees due?

k. What is the average cost each... (Billing period) for those fees?

103a. What were the real estate taxes last year for this home and its land? (Include all connecting owned land, school taxes, special assessments, and any other real estate taxes.) (Exclude taxes paid due from other years.) (Subtract any rebates.)

b. Did you receive a real estate property tax rebate last year?

c. What was the amount of the property tax rebate?

104. WASHINGTON USE ONLY

105a. Is there a required homeowner's association fee?

b. How many times a year is the fee due?

c. What is the average cost each... (Billing period)?

106. In some parts of the country people own their homes but rent the land. Do you pay rent for the land?

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED - Continued**

107. Check item (see item 22, page 19).  
 Yes, mortgage - Ask item 108a.  
 No mortgage - Skip to item 108b

108a. Is the land rent included with the mortgage payments?  
 Yes  No - Skip to item 109a

b. How many times a year is the land rent due?  
 12  Monthly Times per year

c. What does it cost each time?  
 \$  3442

109a. Does this household have "separate meter" (separate property) instrument?  
 Yes  No - Skip to item 110

b. In the past 12 months what was the total cost?  
 \$  3992

110. Now I have some questions about the costs for electricity, gas, and other utilities for your home (this unit). Estimate separate costs and instrument it will help if you would fill up the amounts in your checkbook or check your bills. Use separate entries for the independent meter. If 2 or more utilities are billed together, try to obtain the cost for each one separately.

a. (1) Do you have any records available showing OTHER UTILITIES? SEPARATE FROM GAS? (Include water, but separate cable and phone.)  
 Yes - Ask item 110a(2)  
 No - Skip to item 110a(4)

Costs	Month	Year
\$ <input type="text"/> 3854	00 January	19 <input type="text"/>
\$ <input type="text"/> 3854	00 April	19 <input type="text"/>
\$ <input type="text"/> 3854	00 August	19 <input type="text"/>
\$ <input type="text"/> 3854	00 December	19 <input type="text"/>

(2) From your records, what were the costs for electricity for the months of - (Do not include taxes.)  
 (Read month and appropriate year categories.)

(3) Check item  
 Electricity costs entered for 2 or more months - Skip to item 110a(1)  
 Electricity costs entered for 1 month or none - Ask item 110a(4)

(4) In the past 12 months what was the average MONTHLY cost for electricity?  
 (Average MONTHLY cost)  
 Electricity not used  
 Included in rent, site rent, condominium, or other fee, etc.  
 Obtained free

b. (1) Do you have any records available showing OTHER UTILITIES? SEPARATE FROM GAS? (Include water, but separate cable and phone.)  
 Yes - Ask item 110a(2)  
 No - Skip to item 110a(4)

Costs	Month	Year
\$ <input type="text"/> 3854	00 January	19 <input type="text"/>
\$ <input type="text"/> 3854	00 April	19 <input type="text"/>
\$ <input type="text"/> 3854	00 August	19 <input type="text"/>
\$ <input type="text"/> 3854	00 December	19 <input type="text"/>

(2) From your records, what were the costs for gas for the months of - (Do not include taxes.)  
 (Read month and appropriate year categories.)  
 Gas costs entered for 2 or more months - Skip to item 110a(1)  
 Gas costs entered for 1 month or none - Ask item 110a(4)

**REGULAR OCCUPIED - Continued**

110c. (4) In the past 12 months what was the average MONTHLY cost for gas?  
 (Average MONTHLY cost)  
 00 OR  00

b. (1) "All electric home." mark the "Not Used" box without asking.  
 d. In the past 12 months what was the total ANNUAL cost for fuel oil?  
 (ANNUAL cost)  
 Not used  
 Included in rent, site rent, condominium, or other fee, etc.  
 Obtained free

e. In the past 12 months what was the total ANNUAL cost for water supply and trash collection?  
 (ANNUAL cost)  
 Not used  
 Included in rent, site rent, condominium, or other fee, etc.  
 Obtained free

f. In the past 12 months what was the total ANNUAL cost for garbage and trash collection?  
 (ANNUAL cost)  
 Not used  
 Included in real estate taxes, rent, site rent, condominium, or other fee, etc.  
 Obtained free

g. In the past 12 months what was the total ANNUAL cost for sewer supply and sewage disposal?  
 (ANNUAL cost)  
 Not used  
 Included in real estate taxes, rent, site rent, condominium, or other fee, etc.  
 Obtained free

Notes

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED — Continued**

111a. How many automobiles are kept at home for use by members of your household? Exclude vans or trucks.

111b. How many vans or trucks of one-ton capacity or less are kept at home for use by members of your household?

112. Check item — (See Control Card item 12, 14, and 16.)

113. The following questions are about who in the household shares housing costs.

114. One of the main housing problems today is the total cost of housing compared to income. The next few questions are about income.

In the past 12 months, how much did wages, salaries, tips, and contributions before deductions?

114a. How much did you receive from your employer for wages, salaries, tips, and contributions before deductions?

114b. How much did you receive from your spouse or partner for wages, salaries, tips, and contributions before deductions?

114c. How much did you receive from other family members for wages, salaries, tips, and contributions before deductions?

114d. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114e. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114f. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114g. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114h. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114i. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114j. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114k. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114l. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114m. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114n. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114o. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114p. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114q. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114r. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114s. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114t. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114u. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114v. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114w. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114x. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114y. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

114z. How much did you receive from other sources for wages, salaries, tips, and contributions before deductions?

115a. In the past 12 months did ... of ...

115b. In the past 12 months what was the total income from ...

115c. Verified that identical amounts in items 114 and 115b are not duplicate amounts

115d. We want to make sure we have included all your income from the past 12 months ...

115e. Is the total ... family income THIS MONTH about the same as it was a year ago?

115f. What do you expect the total ... family income to be in the NEXT 12 MONTHS?

116. Check item — (See items 114 and 115b.) Mark (X) first box that applies.

116a. Total income over \$25,000 — Skip to item 116a, page 29

116b. Income \$25,000 or less — Skip to item 117b, page 29

116c. Income is refused, NA or DK — Ask item 117a, page 29

Notes

**REGULAR OCCUPIED — Continued**

115a. In the past 12 months did ... of ...

115b. In the past 12 months what was the total income from ...

115c. Verified that identical amounts in items 114 and 115b are not duplicate amounts

115d. We want to make sure we have included all your income from the past 12 months ...

115e. Is the total ... family income THIS MONTH about the same as it was a year ago?

115f. What do you expect the total ... family income to be in the NEXT 12 MONTHS?

116. Check item — (See items 114 and 115b.) Mark (X) first box that applies.

116a. Total income over \$25,000 — Skip to item 116a, page 29

116b. Income \$25,000 or less — Skip to item 117b, page 29

116c. Income is refused, NA or DK — Ask item 117a, page 29

Notes

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**REGULAR OCCUPIED — Continued**

117a. Was (your/their) total income over \$25,000?  Yes  No

b. Did you/they receive any (check all that apply) Stamps in the past 12 months?  Yes  No

c. Does ... or ... Specify names for five numbers in item 117d below —

(1) Savings?  Yes  No

(2) Investments in a farm or business?  Yes  No

(3) Other investments? (EXCLUDE THIS HOME)  Yes  No

d. Is the total amount of savings and investments over \$25,000?  Yes  No

118a. Check item (See Central Card item 8c.)

Owned — Skip to item 121a

Rented or no cash rent — Go to item 118b

b. Check item (See item 23, page 2.)

One-unit building or one-unit mobile home — Skip to item 118b

Two-or-more-unit building or two-or-more-unit mobile home — Ask item 118a

118b. Does either the owner or a resident manager live in this building/mobile home?  Yes  No

b. What is the owner's name and address? (Exclude staff and do not re-rentance.)

If don't know, ask: Where do you send your rent?

Name (Please print): \_\_\_\_\_

Address (Number, street): \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Title:  Owner  Home  Office

Area code, number, extension: \_\_\_\_\_

Home  Business

c. What is the (owner's/office's) telephone number? \_\_\_\_\_

d. INSTRUCTION — GO TO ITEM 121a

120. WASHINGTON USE ONLY

121a. Check item (See item 3, page 1.)

Control number in sample last enumeration period — Go to item 121b

Control number in sample for first time this enumeration period — Skip to item 123a, page 29

b. Check item (See item 3, page 1.)

Same housing unit/mobile home as last enumeration period — Go to item 121c

Different housing unit/mobile home from last enumeration period — Skip to item 123a, page 29

c. Check item (See Central Card item 8c.)

Unit was an interview (Reg., USE, or vacant) in survey year 1 and/or 2.

Yes — Go to item 122a, page 29

No — Skip to item 123a, page 29

**REGULAR OCCUPIED — Continued**

122a. See Central Card 5c — Read latest year unit was a regular, USE, or vacant interview. Skip to item 122b

122b. Has there been a change in the amount of living space in this housing unit since the last interview or since it was built?  Yes  No — Go to item 177a, page 43

(Go on next finishing a housing unit.)

a. How many regular feet of living space were added or lost? (If dimensions given, record dimensions.)

ADDITION: \_\_\_\_\_ Square feet

LOSS: \_\_\_\_\_ Square feet

Don't know

b. How many (mobile/home) are there in this housing unit?  Yes  No

(In apartments, floors refer only to the apartment floor.)

c. MARK OR ASK —  Yes  No

(Is this (one/apartment) a split level?)

d. What is the length and width of each floor of this (one/apartment)? Exclude basements and finished attics. Exclude unfinished attics, porches, and attached garages. Also exclude porches that are not provided from the elements....

(Record dimensions of each room separately, if respondent is unable to give dimensions for the first floor only.)

Floor	First		Second		Third		Fourth	
	Length	Width	Length	Width	Length	Width	Length	Width
Basement								
1st floor of unit								
2nd floor of unit								
3rd floor of unit								
4th floor of unit								

e. SKETCH (If enough information is available, draw sketch of sample unit below.)

Don't know — Go to item 177a, page 43

f. INSTRUCTION — GO TO ITEM 177a, PAGE 43.

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

Note

All URE interview questions have been deleted from the questionnaire facsimile, except for question 150. The questions deleted are the same as the questions asked for occupied units.

150a. Is the (house/apartment) INTENDED for year-round occupancy by the respondent, or for use by migrant workers?

2460  Year round (occupied temporarily at time of interview) — Skip to item 150c  
 Seasonal — Summers only  
 Seasonal — Winters only  
 Other seasonal — Specify \_\_\_\_\_

2465  Migrant

2470  Yes  
 No

2475  Less than 1 month  
 Over 2 years  
 NEVER OCCUPIED AS A PERMANENT HOME  
 Don't know

2480  Yes  
 No

150b. Does the construction and heating of the (house/apartment) make it suitable for year-round use?

2490  Yes  
 No

150c. How many months has it been since the (house/apartment) was occupied as a permanent home?

2510 \_\_\_\_\_ Months (if 1 - 24 months)  
 Less than 1 month  
 Over 2 years  
 NEVER OCCUPIED AS A PERMANENT HOME  
 Don't know

2520  Yes  
 No

150d. Is the ownership of the (house/apartment) time-shared?

2530  Yes  
 No

NEIGHBORHOOD QUALITY SUPPLEMENT	
NOTE — Ask all categories in item 177b before proceeding to item 177c.	NOTE — Ask item 177b only for those categories in item 177c which were answered "Yes."
177a. The following questions are concerned with specific aspects of your PRESENT neighborhood.	177c. Is it an undesirable neighborhood that you would like to move from the neighborhood?
Does the neighborhood have —	
(1) Street noise or heavy street traffic? . . . . .	<input type="checkbox"/> Yes — Ask c <input type="checkbox"/> No
(2) Neighborhood crime? . . . . .	<input type="checkbox"/> Yes — Ask c <input type="checkbox"/> No
NOTE — If "Yes" was answered for (1) or (2) in item 177a, ask item 177b.	
178a. Is there public transportation for this area?	<input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 179a
b. Is it satisfactory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
c. Does anyone in the household use public transportation at least once a week?	<input type="checkbox"/> Yes <input type="checkbox"/> No
178b. Do you have satisfactory neighborhood shopping, that is, grocery stores or drug stores?	<input type="checkbox"/> Yes <input type="checkbox"/> No — Skip to item 180
b. Are any of these stores within one mile of here?	<input type="checkbox"/> Yes <input type="checkbox"/> No
180. Check item (See Control Card items 11, 14, and 16.) (Mark DO first box that applies.)	
<input type="checkbox"/> URE Interview — Go to Control Card item 8	
<input type="checkbox"/> No household member 16 years of age or less — Skip to item 182, page 44	
<input type="checkbox"/> Household member 4 to 16 years of age — Ask item 181a	
<input type="checkbox"/> Household member 3 years old or younger — Skip to item 181b	
181a. Does . . . (Do the children) attend a public school or a private school? (Mark DO at first entry.)	<input type="checkbox"/> Public school (K-12) <input type="checkbox"/> Private school (K-12) <input type="checkbox"/> Other school (ungraded schools, special schools, preschools, early learning centers, etc.) <input type="checkbox"/> Does not attend school
b. Is the public elementary school that children living at this address (un)improved? (Do you think the school is better than other public elementary schools, not about the closest one to the sample unit.)	<input type="checkbox"/> Yes — Skip to item 181d <input type="checkbox"/> No <input type="checkbox"/> Don't know — Skip to item 181d
c. Is it an elementary that you would like to move from the neighborhood?	<input type="checkbox"/> Yes <input type="checkbox"/> No
d. Is there public elementary school within one mile of here?	<input type="checkbox"/> Yes <input type="checkbox"/> No
182. WASHINGTON USE ONLY	

Facsimile of the American Housing Survey Questionnaire: 1994—Con.

**185a. Check item (See Control Card items 13 and 16a.)**  
 Household contains people age 14+ NOT related to reference person — Ask item 184a  
 All others — Go to Control Card item 2a

**184a. Enter the number(s):**  
 I have a few ...  
 None  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12  
 13  
 14  
 15  
 16  
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 60

**184b. As I mentioned earlier, we are concerned about ...**  
 None  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12

**184c. I have been selling ...**  
 None  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12

**184d. Check item (See item 184c)**  
 Item 184c blank for any responsive age 14+ — Checkoff required — Mark (XX) item 10, page 1; then go to Control Card item 2a.  
 All others — Go to Control Card item 2a

**185a. How many stories are in the building, including the basement?**  
 (If split level, count ground number of stories on top of each other.)  
 OR  
 21 or more  
 No public halls  
 All in working order  
 Some in working order  
 None in working order  
 No light fixtures  
 Fixtures turned off, unable to determine if working, not obviously broken

**b. What is the condition of the light fixtures in the public halls?**  
 Same floor  
 No elevator  
 At least one working elevator  
 All elevators not working

**c. How many stories are there above main entrance of building to main entrance of sample unit?**  
 No common stairways — Skip to item 185g  
 Yes  
 No

**d. Is there a passenger elevator on this floor?**  
 No  
 Yes

**e. Are there loose, broken, or missing steps on any common stairways inside this building or attached to this building?**  
 No  
 Yes

**f. Are all railings on the common stairways firmly attached?**  
 No  
 Yes

**g. What is the external condition of the building that contains the sample unit, as visible from front of building or roadway?**  
 (Mark (X) all that apply.)  
 Sagging roof  
 Missing roofing material  
 Hole in roof  
 Could not see roof  
 Missing bricks, siding, or other outside wall material  
 Stopping outside walls  
 Boarded up window(s)  
 Broken window(s)  
 Bars on window(s)  
 Foundation crumbling or has open crack or hole  
 Could not see foundation  
 OR  
 Observed, but no listed conditions for roof, walls, windows, or foundations  
 OR  
 Unable to observe

**h. How would you classify the structure that contains the sample unit?**  
 One-unit building — detached  
 One-unit building — attached  
 Mobile home — one-unit  
 Two-or-more-unit building  
 Mobile home — two-or-more-unit

**i. How many living quarters are in the structure that contains the sample unit?**  
 (Including the sample unit)  
 Number of living quarters

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**186. Check item (See Control Card items 13 and 16a.)**  
 Household contains people age 14+ NOT related to reference person — Ask item 184a  
 All others — Go to Control Card item 2a

**184a. Enter the number(s):**  
 I have a few ...  
 None  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12  
 13  
 14  
 15  
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 60

**184b. As I mentioned earlier, we are concerned about ...**  
 None  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12

**184c. I have been selling ...**  
 None  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12

**184d. Check item (See item 184c)**  
 Item 184c blank for any responsive age 14+ — Checkoff required — Mark (XX) item 10, page 1; then go to Control Card item 2a.  
 All others — Go to Control Card item 2a

**Note**

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Facsimile of the American Housing Survey Questionnaire: 1994—Con.

OBSERVATION ITEMS - Continued	
186a. Which of these are within 300 feet of building containing the sample unit? (Exclude the building.) (Check (X) all that apply.)	<input type="checkbox"/> Single-family, detached houses <input type="checkbox"/> Single-family, attached houses or row-houses (1-3 story) residential multi-unit buildings <input type="checkbox"/> Mid-rise (4-8 story) residential multi-unit buildings <input type="checkbox"/> High-rise (9+ story) residential multi-unit buildings <input type="checkbox"/> Mobile homes (Exclude comment.) <input type="checkbox"/> Commercial, institutional, industrial buildings <input type="checkbox"/> Residential parking lots <input type="checkbox"/> Body of water <input type="checkbox"/> Open space, park, woods, farm, or ranch <input type="checkbox"/> 4+ lane highway, railroad, or airport <input type="checkbox"/> Other - Specify _____
b. What is the predominant type of residential building within 300 feet? (Exclude the building.)	OR <input type="checkbox"/> Could not observe <input type="checkbox"/> Older than sample unit <input type="checkbox"/> About the same <input type="checkbox"/> Newer than sample unit <input type="checkbox"/> Very razed <input type="checkbox"/> No other residential buildings
c. Are any buildings vandalized, or interior exposed to the elements? (Exclude the building.)	<input type="checkbox"/> Yes, only one vandalized or exposed <input type="checkbox"/> Yes, more than one <input type="checkbox"/> None vandalized or exposed <input type="checkbox"/> No other buildings within 300 feet - Skip to item 186b.
d. Are there bars on windows of buildings in area? (Exclude the building.)	<input type="checkbox"/> Yes, only one building with bars <input type="checkbox"/> Yes, more than one <input type="checkbox"/> No bars on windows
e. What is the condition of streets?	<input type="checkbox"/> Major repairs needed <input type="checkbox"/> Minor repairs needed <input type="checkbox"/> No repairs needed <input type="checkbox"/> No streets within 300 feet
f. Is there trash, litter, or junk in streets, roads, empty lots, or on any properties? (Exclude the building.)	<input type="checkbox"/> Major accumulation <input type="checkbox"/> Minor accumulation <input type="checkbox"/> None
INTERVIEW COMPLETED	
187. Suggestive/Problem Item/Comment or S.M.A.P.I.T. suggestion form (Read) (Check (X) all that apply.)	<input type="checkbox"/> Questionnaire/Comment Card suggestions or problems specific to this interview - Describe on appropriate form. <input type="checkbox"/> General questionnaire/Comment Card suggestions or problems - Describe on appropriate form. <input type="checkbox"/> Procedural suggestions - Describe on appropriate form.
188. Item number or item ranges involved in suggestive/problem	4871 <input type="checkbox"/> - <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> 4872 <input type="checkbox"/> - <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> 4873 <input type="checkbox"/> - <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

## Appendix B.

# Sample Design and Estimation

### SAMPLE DESIGN

#### Introduction

The estimates for each of the eight metropolitan areas in this report series (H171/94) are based on data collected from the 1994 American Housing Survey Metropolitan Sample (AHS-MS), which was conducted by the Bureau of the Census acting as collection agent for the Department of Housing and Urban Development.

In most cases, these eight metropolitan areas are consistent with the 1993 Office of Management and Budget (OMB) definitions of the metropolitan statistical area (MA), consolidated metropolitan statistical area (CMSA), or primary metropolitan statistical area (PMSA). The exceptions to this are: Fort Worth, TX, which does not include Hood and Parker Counties from the 1993 OMB definition; Dallas, TX, which does not include Henderson and Hunt Counties from the 1993 OMB definition, and Phoenix, AZ, which does not include Pinal County from the 1993 OMB definition.

The metropolitan areas selected for the 1994 AHS-MS are usually interviewed on a rotating basis once every 4 years. Initially, each metropolitan area had an expected sample size of 4,250 or 8,500 housing units, uniformly distributed throughout nine panels (panels 4 through 12). Because of budget constraints, the expected sample sizes were reduced to 4,250 in the metropolitan areas with sample sizes of 8,500. For all of the 1994 MA's, interviewing took place from April 1994 through December 1994.

Table A summarizes the interview activity for the 1994 AHS in each of the metropolitan areas. The table provides the number of eligible units (comprised of completed interviews and noninterviews), and the number of units visited but ineligible for interview.

#### Designation of AHS-MS Sample Housing Units for the 1994 Survey

The sample housing units designated to be interviewed consisted of the following categories, which are described in the following sections:

- a. All sample housing units that were interviewed in the previous survey. This sample includes housing units that were selected as part of the 1976-1981 Coverage Improvement Program. These coverage improvement cases represented most of the housing units which, until these procedures were implemented, did not have a chance of selection.
- b. All sample housing units that were Type A noninterviews (that is, units eligible to be interviewed) or Type B noninterviews (that is, units not eligible for interview at the time of the survey but which could become eligible in the future) in the previous survey. (For a list of reasons for Type A noninterviews, see the facsimile of the 1994 AHS questionnaire, page A-27.)
- c. All sample housing units selected from a listing of new residential construction building permits issued since the previous survey. This sample represented the housing units built in permit-issuing areas since the previous survey.

Table A. Description of the American Housing Survey—1994 Metropolitan Sample

Metropolitan statistical area	Units eligible			Units visited, not interviewed <sup>2</sup>
	Total	Interviewed	Not interviewed <sup>1</sup>	
<b>Total</b> .....	<b>32,321</b>	<b>30,847</b>	<b>1,474</b>	<b>1,515</b>
Anaheim-Santa Ana, CA PMSA .....	4,094	3,846	248	116
Buffalo, NY CMSA .....	3,808	3,659	149	176
Dallas, TX PMSA .....	3,917	3,692	225	301
Ft. Worth-Arlington, TX PMSA .....	3,615	3,445	170	256
Milwaukee, WI PMSA .....	3,888	3,712	176	202
Phoenix, AZ MSA .....	4,401	4,150	251	161
Riverside-San Bernardino-Ontario, CA PMSA .....	4,640	4,489	151	194
San Diego, CA MSA .....	3,958	3,854	104	109

<sup>1</sup>Sample units were visited but occupants were not at home after repeated visits or were unavailable for some other reasons; or, for vacant housing units, no informed respondent could be found.

<sup>2</sup>Sample units were visited but did not provide information relevant to the housing inventory. This category includes sample units that were found not to be in the sampling frame.

- d. All sample housing units that were added since the previous survey in sample segments from the nonpermit universe. This sample represented additions to the housing inventory since the previous survey in nonpermit-issuing areas.

**1994 AHS-MS Original Sample Selection**

The 1994 AHS-MS original sample for the metropolitan areas which, in 1970, were 100-percent permit-issuing was selected from two frames:

- a. Housing units enumerated in the 1970 Census of Population and Housing in areas under the jurisdiction of permit-issuing areas (the 1970-based permit-issuing universe).
- b. Housing units constructed in permit-issuing areas since the 1970 census (the 1970-based new construction universe).

In addition, the sample for those metropolitan areas which were not 100-percent permit-issuing in 1970 included a sample selected from a third frame: housing units located in areas not under the jurisdiction of permit-issuing offices (the 1970-based nonpermit universe).

In 1970, the Anaheim-Santa Ana, CA PMSA; Phoenix, AZ MSA; Riverside-San Bernardino-Ontario, CA PMSA; and San Diego, CA MSA were the only metropolitan areas that were 100-percent permit-issuing.

Sampling operations, described in the following paragraphs, were performed separately within the central city and balance, using the 1970 OMB definitions of the central city of each metropolitan area for each of the sample frames. The overall sampling rate used to select the sample for each metropolitan area was determined by the size of the sample. Each metropolitan area had a sampling rate about the same for the central city and the balance, since the sample was distributed proportionately between the two, according to the corresponding distribution of total housing units.

**Sample from the 1970-based permit-issuing universe.** The major portion of the sample in each of the metropolitan areas was selected from a file that represented the 20-percent sample of housing units enumerated in permit-issuing areas of the metropolitan areas during the 1970 Census of Population and Housing. This file contained records for occupied housing units, vacant housing units, and housing units in certain special places or group quarters. Sampling operations were done separately for the special place and group quarters records, and for the occupied and vacant housing unit records. Before the sample was selected from the occupied and vacant housing unit records, the records were stratified by race of the head of household (non-Black/Black), and the vacant records were stratified into four categories pertaining to the value or rent associated

with the vacant housing units. The occupied housing unit records were further stratified so that each unit was assigned to one of 50 strata according to its tenure (owner/renter), family size, and family income category as illustrated by table B.

**Table B. 1970 Housing Unit Strata**

Family income	Tenure									
	Owner family size					Renter family size				
	1	2	3	4	5+	1	2	3	4	5+
Under \$3,000 .....										
\$3,000 to \$5,999 .....										
\$6,000 to \$9,999 .....										
\$10,000 to \$14,999 .....										
\$15,000 and over .....										

Thus, the occupied housing unit records from the permit-issuing universe were assigned to one of 100 strata for either the central city or for the balance, and the vacant housing unit records were assigned to one of the four vacant strata for either the central city or for the balance of the metropolitan areas. A sample selection procedure was then instituted that would produce one-half of the desired sample. However, whenever a record was selected to be in sample, the housing unit record adjacent to it on the file also was selected to be in sample, thereby insuring the necessary designated sample size.

Before the sample was selected from the group quarters and special place records, the records were stratified by census tract and census enumeration district (ED) within the central city and within the balance of the metropolitan areas. A sample of special place records was then selected by a procedure that produced one-quarter of the desired sample size. However, at the time of the survey, the housing units at each of the special places were listed and subsampled at a rate which produced an expected four sample units, thereby insuring the necessary designated sample size.

**Sample from the 1970-based new construction universe.** The second frame from which the metropolitan area sample was selected was a list of new construction building permits issued since 1970 (that is, the new construction universe). The sample selection from the list of new construction building permits was an independent operation within the metropolitan area. Under clerical selection procedures, the list of permits was stratified by the date the permits were issued, and clusters of an expected four (usually adjacent) housing units were formed. These clusters were then sampled for inclusion at the overall sampling rate. In February 1984, the new construction sampling operation for the 1970-based area became computerized. Under these procedures, prior to sample selection the list of permits was stratified by the date of issue, State, 1980 central city and balance, county or minor civil division, and permit office. Clusters of an expected four (usually adjacent) housing units were formed. These clusters were then

sampled for inclusion at twice the overall sampling rate. The housing units within each of the clusters were then subsampled so that two of the four housing units originally selected were kept in sample.

**Sample from the 1970-based nonpermit universe.** For those metropolitan areas that were not 100-percent permit-issuing, the remainder of the AHS-MS sample was selected from a frame consisting of areas not under the jurisdiction of permit-issuing offices (that is, the nonpermit universe). The first step in the sampling operation for the nonpermit universe was the selection of a sample of census enumeration districts. Prior to this sample selection, the ED's were stratified by census tract within the central city and within the balance of the metropolitan area. The probability of selection of an ED was proportionate to the following:

$$\frac{\text{Number of housing units in 1970 census ED} + \frac{\text{Group quarters population in 1970 census ED}}{3}}{4}$$

The sample ED's were then divided into segments (that is, small land areas with well-defined boundaries having an expected size of four, or a multiple of four, housing units). At the time of the survey, those segments that did not have an expected size of four were further subdivided to produce an expected four sample housing units. The next step was the selection of one of these segments within each sample ED. All housing units in existence at the time of interview in these selected segments were eligible for sample. Thus, housing units enumerated in the 1970 census as well as housing units built since the 1970 census were included.

### Sample Selection for the AHS-MS Coverage Improvement Program

The AHS-MS Coverage Improvement Program was undertaken to correct certain deficiencies in the AHS-Metropolitan Area sample from the 1970-based permit-issuing universe and the 1970-based new construction universe within 1970-based area. The coverage deficiencies included the following types of units:

- New construction from building permits issued prior to January 1970, but completed after April 1, 1970.
- Mobile homes placed in parks either missed during the 1970 census or established since the 1970 census.
- Housing units missed in the 1970 census.
- Housing units converted to residential use that were nonresidential at the time of the 1970 census.
- Houses that have been moved onto their present site since the 1970 census.

- Mobile homes placed outside parks since the 1970 census or vacant at the time of the 1970 census.

For a detailed description of the coverage improvement sample selection process, see reports in the H170 series for the years 1976 through 1981.

### AHS-MS Initial 80-Redesign Sample Reduction and Sample Reinstatement

The AHS-MS sample reduction dropped units from sample, whereas the AHS-MS sample reinstatement added enumerated units that were previously dropped from sample. The universes involved were (a) the 1970-based permit-issuing universe, (b) the 1970-based new construction universe, and (c) the 1970-based nonpermit universe.

As part of the 1980 redesign, the metropolitan areas in sample were scheduled for their initial interview in 1984, 1985, 1986 or 1987. Sample reduction and reinstatement involved dropping or adding (a) individual housing units from the permit-issuing universe, (b) whole clusters from the new construction universe, and (c) whole segments from the nonpermit universe:

The reduction/reinstatement was implemented to achieve two criteria:

- A sample size of 8,500 or 4,250 in each metropolitan area.
- A sample having an equal number of owners and renters.

To achieve these results, each unit was classified according to the original panel number (the original sample was divided into 12 panels, with one-twelfth of the sample being in each panel) and tenure which was based on the previous year's tenure status. In order to simplify field procedures, panels 1 through 3 (that is, a random one-fourth of the original sample) were dropped from sample whenever possible. More sample reductions were implemented separately for each tenure group (using different selection rates across the remaining panels).

### 1988 AHS-MS Sample Reduction for Buffalo and Milwaukee

These 1988 metropolitan areas had an expected sample size of 4,250 housing units uniformly distributed throughout nine panels (panels 4-12). Because of budget constraints, panel 4 was dropped from sample in 1988.

### 1988 AHS-MS Sample Reduction for Dallas, Ft. Worth, and Phoenix

These 1989 metropolitan areas had an expected sample size of 4,250 housing units uniformly distributed throughout nine panels (panels 4-12). Because of budget constraints, panel 11 and 12 were dropped from sample in 1989.

### 1991 AHS-MS Sample Reduction for San Diego

This 1991 metropolitan area had an expected sample size of 4,250 housing units uniformly distributed throughout nine panels (panels 4-12). Because of budget constraints, panel 12 was dropped from sample in 1991.

### 1994 AHS-MS Sample Reduction and Sample Reinstatement

For the current survey year, all eight MSA's had an expected sample size of 4,250 housing units. Panels that had been dropped in previous enumerations were originally reinstated. However, because of budget constraints, all panel 12 cases were later dropped from sample.

In addition, in the Ft. Worth-Arlington, TX PMSA, Parker County was dropped from the sample.

### ESTIMATION

The 1994 AHS-Metropolitan Area sample produced estimates pertaining to characteristics of the housing inventory at the time of the interview (that is, the 1994 housing inventory).

In addition, the 1994 AHS-MS produced estimates of the characteristics of units that were lost from the housing inventory since the 1988 survey for the Buffalo, NY CMSA and Milwaukee, WI PMSA; the 1989 survey for the Dallas, TX PMSA, Ft. Worth-Arlington, TX PMSA, and Phoenix, AZ MSA; the 1990 survey for the Anaheim-Santa Ana, CA PMSA and Riverside-San Bernardino-Ontario, CA PMSA; and the 1991 survey of the San Diego, CA MSA. These estimates are referred to as building loss estimates.

### Current Housing Inventory Estimates

**AHS-MS Weighting.** The AHS-MS sample housing units were weighted according to a three-step ratio estimation procedure. Before the implementation of the ratio estimation procedures, the basic weight (that is, the inverse of the probability of selection) for each interviewed sample housing unit was adjusted to account for Type M and Type A noninterviews.

### Type M Noninterview Adjustment

The Type M noninterviews are sample units which were dropped because of permit unavailability. These noninterviews occur in the new construction universe.

The adjustment was done separately for the central city and balance for each metropolitan area. The adjustment was equal to the following:

$$\frac{\text{AHS-MS sample estimate of new construction housing units in the cell} + \text{Weighted count of Type M noninterviewed housing units}}{\text{AHS-MS sample estimate of new construction housing units in the cell}}$$

### Type A Noninterview Adjustment

Type A noninterviews are sample units for which (a) occupants were not home, (b) occupants refused to be interviewed, or (c) occupants were unavailable for some other reason.

The adjustment was done on occupied units and was computed separately for the following:

- a. New construction.
- b. All other housing units (this includes the 1970-based permit-issuing universe, the 1970-based nonpermit-issuing universes, and the 1970-based new construction housing units built prior to the last survey).

For new construction units a Type A noninterview adjustment factor was computed separately for each of the central city and balance. For all other units, a Type A noninterview adjustment factor was calculated separately by tenure and 1970 central city and balance for each of the following:

- a. Twenty-four noninterview cells for sample housing units from the permit-issuing universe (each cell was derived from one or more of the 50 different strata used in the 1970-based permit-issuing universe, illustrated earlier).
- b. One noninterview cell for new construction housing units.
- c. One noninterview cell for mobile homes or trailers from the nonpermit-issuing universe.
- d. One noninterview cell for units that were not mobile homes or trailers from the nonpermit-issuing universe.
- e. Three noninterview cells for units from the coverage improvement universe.
- f. One noninterview cell for units classified as vacants at the time of the 1970 census.
- g. One noninterview cell for units classified as group quarters at the time of the 1970 census.

Within a given cell, the Type A noninterview adjustment factor was equal to the following ratio, using the basic weight for the sample weight:

$$\frac{\text{Weighted count of interviewed housing units} + \text{Weighted count of Type A noninterviewed housing units}}{\text{Weighted count of interviewed housing units}}$$

### AHS-MS Ratio Estimation Procedure for the 1970-Based Permit-Issuing Universe

The following ratio estimation procedure was employed for all sample housing units from the permit-issuing universe. This factor was computed separately for all sample housing units within each 1970-based permit-issuing universe noninterview cell mentioned previously. The ratio estimation factor for each cell was equal to the following:

$$\frac{\text{1970 census count of housing units from the 1970-based permit-issuing universe in the corresponding cell}}{\text{AHS-MS sample estimate of 1970-based housing units from the permit-issuing universe in the corresponding cell}}$$

For each metropolitan area, the numerators of the ratios were obtained from the 1970 Census of Population and Housing 20-percent file (long forms) of housing units enumerated in areas under the jurisdiction of permit-issuing offices.

The denominators of the ratio estimation factors were then obtained from weighted estimates of all the AHS-MS sample housing units from the 1970-based permit-issuing universe, using the existing weights (that is, the basic weight times the Type A noninterview adjustment). The computed ratio estimation factor was then applied to the existing weight for each sample housing unit within the corresponding ratio estimation cells. This ratio estimation procedure was introduced to correct the probabilities of selection for samples in each of the strata used in the sample selection of the 1970-based permit-issuing universe. Prior to the AHS-MS sample selection within each metropolitan area, housing units already selected for other Census Bureau surveys were deleted from the permit-issuing universe. The same probability of selection was then applied to the remaining units to select the AHS-MS sample. Since the number of housing units deleted from the AHS-MS universe frame was not necessarily proportional among all strata, some variation in the actual probability of selection between strata was introduced during the sample selection process.

### Additional Ratio Estimation Procedures

For the two ratio estimation procedures described below, each metropolitan area was subdivided into geographic areas consisting of a combination of counties.

**Mobile home ratio estimation.** The following ratio estimation procedure was applied in all areas:

$$\frac{\text{Independent estimate of mobile homes for the corresponding geographic subdivision of the metropolitan area}}{\text{Sample estimate of mobile homes for the corresponding geographic subdivision of the metropolitan area}}$$

The numerator of this ratio was determined using data from the 1990 census. The denominator was obtained using the existing weight of AHS sample mobile home units (that is, the basic weight times Type M factor times the Type A factor times the permit-issuing ratio estimate factor).

**Independent total housing unit ratio estimation.** The following ratio estimation procedure was applied in all areas:

$$\frac{\text{Independent estimate of the total housing inventory (excluding mobile homes) from the corresponding geographic subdivision of the metropolitan area}}{\text{Sample estimate of the total housing inventory (excluding mobile homes) from the corresponding geographic subdivision of the metropolitan area}}$$

$$\frac{\text{Independent estimate of the total housing inventory (excluding mobile homes) from the corresponding geographic subdivision of the metropolitan area}}{\text{Sample estimate of the total housing inventory (excluding mobile homes) from the corresponding geographic subdivision of the metropolitan area}}$$

The numerator of this ratio was determined from 1990 census data. The denominator was obtained using the existing weight of AHS sample units, excluding mobile homes (that is, the basic weight times the Type M factor times the Type A factor times the permit-issuing ratio estimate factor).

The computed ratio estimation factors were then applied to all appropriate housing units in the corresponding geographic area of each metropolitan area, and the resulting product was used as the final weight for tabulation purposes.

The effect of these ratio estimation procedures was to reduce the sampling error for most statistics below what would have been obtained by simply weighting the results of the sample by the inverse of the probability of selection. Since the housing population of the sample differed somewhat by chance from the metropolitan area as a whole, it can be expected that the sample housing population, or different portions of it, is brought into agreement with known good estimates of the metropolitan area housing population.

### Building Loss Estimates

Sample building loss units from the AHS-MS data were weighted using a three-stage ratio estimation procedure. Before the implementation of the ratio estimation procedures, the basic weight was adjusted to account for panel drops and Type M and Type A noninterviews.

**1994 Building loss adjustment factor.** Building loss estimates incorporate an adjustment unique to the building loss data. Panel 4 was dropped from the sample in 1988, panels 11 and 12 were dropped from sample in 1989, and panel 12 was dropped from sample in 1991. Panel 12 remained out of sample in all areas in 1994. Since we did not collect data on dropped units in 1988, 1989, or 1991, we cannot use them to make estimates of housing characteristics of building losses. Thus, sample housing units, from prior year dropped panels, that were losses to the housing inventory in 1994 were dropped from the building loss sample.

Since not all of the nine panels in sample for 1994 were used to make building loss estimates, the probability of selection was reduced. Consequently, the tables containing building loss data in these publications reflect this adjustment.

**Type M noninterview adjustment.** A description of this factor can be found in the previous section describing the AHS-MS weighting for the housing inventory. For building loss estimates, the Type M factor that was calculated the year the loss unit was interviewed (1988, 1989, 1990, or 1991) was used to compute the final weight.

**Type A noninterview adjustment.** A description of this factor can be found in the previous section describing

AHS-MS weighting for the housing inventory. For building loss estimates, a separate Type A noninterview factor was computed using only loss units and data from the prior year enumeration.

**AHS-MS ratio estimation procedure for the 1970-based permit-issuing universe.** A description of this factor can be found in the previous section describing the AHS-MS weighting for the housing inventory. For building loss estimates, the 1970-based permit-issuing factor that was calculated the year the loss unit was interviewed (1988, 1989, 1990, or 1991) was used to compute the final weight.

**Mobile home ratio estimation.** A description of this factor can be found in the previous section describing the AHS-MS weighting for the housing inventory. For building loss estimates, the mobile home ratio estimation factor that was calculated the year the loss unit was interviewed (1988, 1989, 1990, or 1991) was used to compute the final weight.

**Independent total housing unit ratio estimation.** A description of this factor can be found in the previous section describing the AHS-MS weighting for the housing inventory. For building loss estimates, the independent total housing unit ratio estimation factor that was calculated the year the loss unit was interviewed (1988, 1989, 1990, or 1991) was used to compute the final weight.

## Appendix C. Historical Changes

### INTRODUCTION

The American Housing Survey Metropolitan Sample (AHS-MS) was first conducted in 1974. Between 1974 and 1983 it was called the Annual Housing Survey. There is also an American Housing Survey National (AHS-N). The AHS-N was first conducted in 1973. Between 1973 and 1981 the AHS-N was conducted every year. Since 1981, the AHS-N has been conducted every other year. As a result both the AHS-MS's and AHS-N's names were changed from The "Annual" to "American" Housing Survey. Other historical changes in the survey are listed below by subject area. The year refers to the year the change was made. In some cases multiple years are mentioned together. In these cases either corrections were made to more than 1 year or there are specific years for which data are not comparable.

Only changes are noted in this appendix. For example, "Book Titles" has no entries from 1975 through 1983, since the same titles were published for those years as in 1974.

### Age of Other Residential Buildings Within 300 Feet

**1987 and 1989.** See the discussion under the topic "Buildings and Neighborhood."

### Bars on Windows of Building

**1987 and 1989.** See the Discussion under the topic "Buildings and Neighborhood."

### Book Titles

**1974.** Annual Housing Survey: 1974

*Housing Characteristics for Selected Metropolitan Areas* (a separate book is published for each metropolitan area).

*Summary of Housing Characteristics for Selected Metropolitan Areas* (one book is published containing summary data for all areas).

**1984.** American Housing Survey: 1984

*American Housing Survey for the (name of area) Metropolitan Area* (a separate book is published for each metropolitan area).

*Supplement to the American Housing Survey for Selected Metropolitan Areas* (one book is published containing supplement data for all areas).

### Buildings and Neighborhood

**1987.** Because of the inadvertent use of AHS-N weighted sample cases for certain items where AHS-N cases should not have been used, the data for these items in the 1987 AHS-MS are incorrect. In many cases estimates of not-reported are too high and other categories are too low. These items include: "Stories in structure"; "External building conditions"; "Description of area within 300 feet"; "Age of other residential buildings within 300 feet"; "Mobile homes in group"; "Other buildings vandalized or with interior exposed"; "Bars on windows of building"; "Condition of streets"; and "Trash, litter, or junk on streets or any properties."

**1989.** Because of the methods for weighting the sample in 1989 and later odd-numbered years, the weighted totals in odd-numbered years for a few items are different from the rest of the items. These are as follows: "Stories in structure"; "External building conditions"; "Description of area within 300 feet"; "Age of other residential buildings within 300 feet"; "Mobile homes in group"; "Other buildings vandalized or with interior exposed"; "Bars on windows of building"; "Condition of streets"; and "Trash, litter, or junk on streets or any properties." In odd-numbered years, other items use a combined metropolitan/national (national is only conducted in odd numbered years) weighted sample; the above items only use a metropolitan weighted sample. See appendix B for a complete description of combined weighting.

### Condition of Streets

**1987 and 1989.** See the discussion under the topic "Buildings and Neighborhood."

### Description of Area Within 300 Feet

**1987 and 1989.** See the discussion under the topic "Buildings and Neighborhood."

### External Building Conditions

**1987 and 1989.** See the discussion under the topic "Buildings and Neighborhood."

## Head of Household/Householder

**1980.** Beginning in 1980, the concept head of household was dropped and replaced by householder. The head of household was the person regarded as the head by the respondent. However, if a married woman living with her husband was reported as the head, her husband was considered the head. The householder is the first household member listed by the respondent who is 18 years old or over and is an owner or renter of the sample unit.

## Heating Equipment

**1990.** Beginning in 1990, the heating equipment questions were revised to improve the reporting of electric heat pumps as a heating source. Previously, the questionnaire item dealing with the type of heating equipment underreported electric heat pumps. The respondents often answered yes to the first option of "a central warm-air furnace with air vents or ducts to the individual rooms" and did not proceed to the option of "electric heat pump." The questionnaire item was revised to determine if the central air system is actually a heat pump or another type of warm-air furnace.

## Housing Costs and Value

**1984.** Beginning in the 1984 AHS-MS; value, mortgage data, and taxes are shown of all owners; rent for all renters; and utilities for all of both groups. From 1974 through 1983, these items were shown only for "specified" owners and renters. For comparability, table 19 in each chapter of the series H170 reports still shows data separately for "specified" owners and renters. "Specified" homes exclude 1-unit buildings on 10 or more acres, and owners in building with 2 or more units or with a business or medical office on the property.

Also in 1984 the terminology in the books changes. The new term "Monthly housing costs" includes the old terms "Selected monthly housing costs" for owners, "Gross rent" for renters, and "Contract rent" for vacant for-rent units.

**1989.** See the discussion under the topic "Utilities."

**1990.** See the discussion under the topics "Income" and "Monthly Housing Costs."

## Housing Unit Definition

**1984.** Beginning with the 1984 AHS-MS there are one major and two minor differences in the housing unit definition. The major difference is that vacant mobile homes are included in the inventory beginning with the 1984 AHS-MS. Prior to 1984, such units were not counted. These units should not be considered when estimating inventory change between the AHS-MS surveys in 1984 and beyond and the 1974 through 1983 AHS-MS surveys. A minor difference in the definition is the 1973 through 1983 requirement that a housing unit must have either direct access from the

outside or through a common hallway, or complete kitchen facilities for the exclusive use of the occupants. In 1984, the complete kitchen facilities alternative was dropped with direct access required of all units. A second minor difference is in the definition of group quarters. In the 1973 through 1983 AHS-MS, a housing unit containing 5 or more persons unrelated to the householder was considered to be group quarters. In 1984, the cutoff was raised to 9 or more persons unrelated to the householder.

## Income

**1984.** See the discussion under the topic "Poverty."

**1990.** Two new items in 1990 and later years replace similar items that were published in 1989 and earlier years. They are "Monthly housing costs as percent of current income" and "Ratio of value to current income." For income, these new items use "Current income." In 1989 and earlier years, the items "Value-income ratio" and "Monthly housing costs as percent of income" used the "Income of families and primary individuals in the last 12 months." See appendix A for a complete definition of "Current income," "Monthly housing costs as percent of current income," and "Ratio of value to current income." We recommend caution when comparing prior years' data with 1990 and later years because of the differences in the definitions. For most households, current income is the same as income in the last 12 months. A study of data from the 1989 American Housing Survey National Survey showed that the two types of income were the same for 83 percent of total households, 86 percent of the owners, and 76 percent of the renters.

## Mobile Homes

**1984.** See discussion under the topic "Housing Unit Definition."

## Monthly Housing Costs

**1984.** See the discussion under the topic "Housing Costs and Value."

**1990.** In 1990, monthly housing costs questions for renters were revised to improve the reporting of actual rental costs. Prior to 1990, the questionnaire reflected the total amount reportedly paid for monthly rental costs. These amounts may have included the partially subsidized amount provided by the public housing authority, the Federal government, or State and local governments. The current questionnaire identifies those rental units that are subsidized and allows households to report only the costs they actually paid. The new procedures in 1990 produce lower and more accurate estimates.

See the discussion under the topic "Income."

## Name Change

**1984.** In 1984, the AHS-MS changed its name from the Annual Housing Survey to the American Housing Survey. See the introduction of this appendix.

## Neighborhood

**1987 and 1989.** See the topic "Buildings and Neighborhood."

## New Construction

**1984.** Beginning in 1984 the characteristics of new construction units are based on units constructed during the last 4 years. Prior to 1984, characteristics of new construction were based on units built since the last survey, which varied from being a 3- to 4-year period.

## Other Buildings Vandalized or With Interior Exposed

**1987 and 1989.** See the topic "Buildings and Neighborhood."

## Plumbing Facilities

**1984 and 1990.** Although published in the 1984 survey, the data on plumbing facilities were incorrect. For this reason the data were suppressed in the 1985 through 1989 surveys. Beginning in 1990 the data are shown. The changes in the 1984 redesigned questionnaire that resulted in serious deficiencies in these data were corrected in 1990. In the 1974 through 1983 AHS-MS, respondents were asked a question on complete plumbing facilities that specified to the respondents the components necessary for complete plumbing (i.e., hot and cold piped water, a flush toilet, and a bathtub or shower). The question further ensured that these facilities were only for the use of the occupants of the unit in which they were located (exclusive use). In those units with complete plumbing, an additional question was asked as to how many bathrooms there were.

In the 1984 AHS-MS, respondents were first asked how many bathrooms they had. If they answer one or more bathrooms, questions on plumbing facilities were not asked; the unit was assumed to have complete plumbing facilities for exclusive use. Although the definition of a bathroom still required hot and cold piped water, a sink, a flush toilet, and a bathtub or shower, this definition was not read to the respondent as it was before 1984. Also, nothing in the question requires the bathroom to be only for the use of the occupants of the sample unit (exclusive use). We believe that the 1984 AHS-MS was counting a significant number of units as having complete plumbing for exclusive use

because respondents for these units reported having a bathroom when, in fact, either the bathroom did not contain all plumbing facilities or the facilities were shared by persons living in another unit. Based on AHS data from previous years, we believe that "completeness" was more of a problem than "exclusive use."

In the 1990 AHS, the questionnaire items on bathrooms and plumbing were modified to provide more accurate estimates. Respondents were asked, "How many full bathrooms with a sink, hot and cold piped water, a flush toilet, and a bathtub or shower does this house/apartment have?" Also, an additional question was asked, "Are the bathrooms for this household's use only?" If the respondent reported no bathrooms, detailed questions on each required plumbing facility were asked separately. Units lacking complete plumbing facilities for exclusive use are included in the count of units with severe physical problems. The number of units with severe physical problems may have been underestimated in 1984 through 1989. It also appears the units with moderate problems may have been overestimated.

## Poverty

**1984.** Beginning in 1984 the AHS-MS provides housing characteristics for households with income below the poverty level. The AHS poverty data are not comparable to poverty data published from the Current Population Survey (CPS).

In general, AHS estimates of poverty are higher than the CPS estimates. Research indicates that the AHS slightly underreports income when compared with the CPS, thus overreporting poverty. Furthermore, the problem seems to be concentrated among elderly households. A detailed discussion of AHS poverty data is presented in the Census Bureau memorandum for the record, "AHS Poverty Data, 1985 to 1989." A detailed discussion of AHS income data is presented in the Census Bureau memorandum for the record, "Comparison of the 1989 AHS and CPS Income Reporting." Copies of these memoranda can be obtained by writing to the Housing and Household Economic Statistics Division, Bureau of the Census, Washington, DC 20233.

We wish to remind analysts that poverty data are published in the AHS not as an official count of households in poverty, but to show the housing characteristics of low-income households.

## Questionnaire

**1984.** A new questionnaire was introduced in the 1984 AHS-MS. Most of the changes on the questionnaire were made to improve the quality of the data. As a result of these changes, however, several items in the 1984 AHS-MS and later are not comparable to similar data for 1974 through 1983. A list of these items follows. A discussion of each item can be found under the topic of the same name.

Items changed on 1984 questionnaire:

- Units in structure
- Rooms in unit
- Plumbing facilities

A number of new items were introduced in the 1984 AHS-MS including lot size, square footage, units with severe or moderate problems, elderly householder, heating degree days, and detailed information on mortgages, etc. For detailed definitions of these and other items, please see appendix A.

### Rent Control

**1988.** In 1988 the computer edits were changed for units reporting rent control. The States of California, Connecticut, New Jersey, New York, and Massachusetts, as well as the District of Columbia, are the only States which have metropolitan areas with rent control. If a respondent answered "yes" to rent control in a metropolitan area not in one of the above mentioned States, the answer was edited to "no" in 1988 and beyond. Answers of "yes" to rent control in metropolitan areas not in one of the above mentioned States in survey years prior to 1988 are errors.

### Rooms in Unit

**1984.** In the 1974 through 1983 AHS-MS, respondents answered a single question asking for a total count of rooms in a unit. The potential to miss specific rooms is high in a question of this type. In the 1984 AHS-MS and beyond, respondents were asked for a count of each specific type of room. The answers to these questions are then added together in the tabulations to provide a total count of rooms. Far fewer rooms should be missed in this series of questions. Based on research done for the 1985 American Housing Survey National Sample (AHS-N), it is assumed that the 1974 through 1983 AHS-MS estimates of one- and two-room units are too high, resulting in low estimates for median number of rooms in many metropolitan areas.

### Sample

**1984.** A new sample was not chosen for the AHS-MS in 1984 and beyond (except for the Houston, TX area PMSA's in 1987) as was done in the 1985 AHS-N. However, most metropolitan areas had added counties to their definitions by 1983 and additional sample cases were drawn from the 1980 census to represent these counties. Therefore, each of the metropolitan areas surveys in 1984 and beyond has one of three types of samples:

- Areas of the same geographic area as defined for surveys before 1984 with the sample selected from the 1970 census and updated for change since then.
- Areas with new counties added. The old counties have sample selected from the 1970 census updated for change. The new counties have sample selected from the 1980 census updated for change.
- Houston, TX which had a completely new sample selected in 1987.

The data for metropolitan areas with counties added in the 1984 AHS-MS surveys and beyond are not comparable to data published for the 1974 through 1983 metropolitan surveys because of the additional counties.

### Severe and Moderate Problems

**1990.** The data concerning units with severe and moderate problems in 1990 and beyond are not comparable with similar data published in 1984 through 1989. See the discussion under the topic "Plumbing Facilities." Units lacking complete plumbing facilities are included in the count of units with severe physical problems. The number of units with severe physical problems may have been underestimated during the 1984 through 1989 time period. During the same time period, units with moderate problems may have been overestimated.

### Stories in Structure

**1987 and 1989.** See the discussion under the topic "Buildings and Neighborhood."

### Trash, Litter, or Junk on Streets or Any Property

**1987 and 1989.** See the discussion under the topic "Buildings and Neighborhood."

### Units in Structure

**1984.** In the 1974 through 1983 AHS-MS, data on units in structure were based on the respondent's answer to one question, "How many living quarters, both occupied and vacant, are there in this house (building)?" In the 1984 AHS-MS and beyond, data on units in structure were based on the respondent's answers to a series of questions (see items 20 through 23 on page 3 of the questionnaire in appendix A). The method of collecting units-in-structure data was revised as previous AHS experience showed the concept to be difficult for the respondents. Respondents particularly had difficulty distinguishing between single-family attached and multi-unit structures. As a result of this change, the estimated number of one-unit attached structures declined in some MSA's between interview

dates of 1984 and later compared to interview dates prior to 1984. It is estimated that 1974 through 1983 AHS-MS surveys, on average, overestimated the numbers of one-unit attached structures by approximately 25 percent. The level of overestimation may vary significantly between metropolitan areas. Units incorrectly classified as one-unit attached in previous survey years are, in 1984 and beyond, correctly classified as being in multi-unit structures.

## Utilities

**1989.** Beginning in 1989, two procedures were introduced that attempt to correct the overreporting of electricity and gas costs in the AHS-MS. In the first procedure, respondents were asked the amount of the electricity and/or gas bill for the previous months of January, April, August, and December. These months are the best predictors of annual costs. If the respondent provided data for at least 3 of the 4 months (1 month for recent movers), the results were used to provide an annual estimate of costs. This estimate was then divided by 12 to provide average monthly costs.

The second procedure was applied to the remaining units. If the respondents did not know the amount of their electricity and/or gas bill for at least 3 of the 4 months, we used their estimate of average monthly costs. A factor was then applied that, in effect, lowered these costs to make them consistent with electricity and gas costs reported in the Residential Energy Consumption Survey sponsored by the United States Department of Energy.

Before 1989, respondents were only asked to provide an estimate of average monthly costs. Research done using the 1987 AHS National Survey has shown that this approach produces 15 to 20 percent overestimates of electricity and gas costs. The new procedures in 1989 and later produce lower and more accurate estimates. On average, more than one-third of the respondents provided answers for at least 3 of the 4 months.

**1993.** Beginning in 1993, the procedures introduced in 1989 were improved and expanded from two to three procedures. All respondents were asked if they had records available showing their costs for electricity (or gas) separate from other utilities. If they responded "yes," they were asked the amount of their electricity (or gas) bill for the most recent months of January, April, August, and December. These months were the best predictors of annual costs. Depending on the number of months for which data were provided, one of two procedures was used. If the respondents answered "no" to the original question (that is, they did not have separate records for the electricity or gas), a third procedure was used. On average, more than one-third of the respondents provided answers for at least 1 of the 4 months.

If the respondent provided data for only 1 month, the first procedure was used. The data for the month were adjusted using regression formulas to estimate yearly costs which

were then divided by 12. These formulas were modeled after the results of the Residential Energy Consumption Survey (RECS) sponsored by the United States Department of Energy. These formulas took into account the following characteristics of the unit: electric home heating, natural gas home heating, electric water heating, natural gas water heating, year built, type of unit, number of rooms, number of bathrooms, number of appliances, and number of household members.

The second procedure was applied if the respondent provided data for 2, 3, or 4 months. As with the first procedure, the monthly data were adjusted using regression formulas, modeled after the results of RECS, to estimate yearly costs which were then divided by 12. Because more than 1 month's worth of real costs were available, it was not necessary to take into account detail characteristics of the unit as was done in the first procedure.

If the respondent answered "no" that he or she did not have separate records for the electricity (or gas), the third procedure was used. The respondent was asked to provide an estimate of the average monthly costs. A factor was then applied that, in effect, lowered these costs to make them consistent with electricity and gas costs in RECS.

Before 1989, respondents were only asked to provide an estimate of average monthly costs. Research done using the 1993 AHS National Survey has shown that this approach produces 0 to 10 percent overestimates of electricity costs and 15 to 25 percent overestimates of gas costs. New procedures introduced in 1989 produced lower and more accurate estimates. In 1993, these new procedures were improved and expanded from two to three procedures.

## Vacant Units

**1984.** See the discussions under the topic "Housing Unit Definition."

## Weighting

**General.** There are many stages in the weighting process. For example there are adjustments that account for the fact that interviews are not successfully completed at all housing units (noninterview adjustments). To fully understand the weighting for any given AHS-MS survey year, the reader must read appendix B in the H170 reports for the year of interest. The following is a brief description of changes by year in the last stage of weighting, the independent estimates or control totals. The independent estimates determine what the total count of housing units will be for a given MSA. As a general rule, the independent estimates from 1989 and beyond, which reflect the results of the 1990 census, are lower than those for 1979 through 1988, which reflect the results of the 1980 census. The independent estimates for 1974 and 1975, which reflect the results of the 1970 census, are also lower than those used

from 1979 through 1988. From 1976 through 1978 no independent estimates were used in the weighting except for the Pittsburgh metropolitan area (which used independent estimates based on the 1970 census). How the counts of housing units in metropolitan areas surveyed during the 1976 through 1978 time period compare to other time periods is not known. Therefore, estimates of the total number housing units in a given metropolitan area in one of the four time periods (1974 and 1975, 1976 through 1978, 1979 through 1988, and 1989 and beyond) are not comparable to estimates for the same metropolitan area in a different time period. The effects of changes to independent estimates are, however, proportionately distributed among all types of housing units. Therefore, the comparison of percents and medians for areas before 1989 to percents and medians in 1989 and later is valid.

**1974 and 1975.** The independent estimates reflected the results of the 1970 census plus change since then. Change was based on administrative records provided by utility companies. If such records were not available, permit data from the Bureau's Survey of Construction were used.

**1976 through 1978.** Except for the Pittsburgh metropolitan area in 1977, no independent estimate was used. After the preliminary weighting procedures were applied, the surveys' estimates of total housing units were accepted. In the 1977 Pittsburgh survey, the independent estimate reflected the results of the 1970 census with administrative utility company records measuring change since 1970.

**1979 and 1980.** The independent estimate was the result of interpolation between the 1970 and 1980 censuses.

**1981 through 1983.** During this time period, an independent estimate was prepared for each metropolitan area. It was based on the results of the 1980 census plus change since then. Change was based on estimates of building

permits and demolition permits obtained for the Bureau's Survey of Construction. Research was then conducted, often by talking to local officials, as to whether the independent estimates or the survey estimates of total housing units were the most reasonable. In the majority of the metropolitan areas, the independent estimates were used. However, in a significant proportion of the areas, survey estimates were used.

**1984 through 1988.** All metropolitan areas outside the State of California used an independent estimate based on the "population per household method." Essentially this method starts with the 1980 census results and updates them based on change in the population by county and the change in population per households by State. This method is described in the *Proceedings of the Bureau of the Census Second Annual Research Conference*, March 23-26, 1986, pages 83-110. For metropolitan areas inside the State of California, independent estimates were derived from data provided by the State of California, Department of Finance.

**1989.** Independent estimates were derived by interpolation between the 1985 county estimates of households produced by the Census Bureau (the 1984 through 1988 AHS method) and the 1990 census.

**1990.** Independent estimates were derived by extrapolation using the 1980 census and the 1990 census.

**1991 to Present.** The independent estimates reflect the adjusted housing unit counts from the 1990 census plus change since then. Change was based on data from the Bureau's Survey of Construction and Survey of Mobile Home Placements, as well as data produced by the Bureau on the number of vacant units in the country and the number of units lost during the time periods involved.

## Appendix D. Errors

All numbers in this book are estimates. As in other surveys, errors come primarily from wrong answers, incomplete data, and sampling.

### NONSAMPLING ERRORS

Nonsampling errors are usually the largest source of errors, larger than sampling errors. Errors, from wrong answers and from incomplete data, which apply to some items, are discussed in the next paragraphs:

**Wrong or inconsistent answers.** Wrong answers happen because people misunderstand questions, cannot recall the correct answer, or do not want to give the right answer. Table H shows which items have been measured for inconsistency when people are reinterviewed after a few weeks. The actual survey cannot catch and reconcile these inconsistencies, so a high rate of wrong answers remains for some items. The Census Bureau categorizes these levels of inconsistency into three ranges: 1) less than 20 is considered a low level of inconsistency, 2) between 20 and 50 is considered a moderate level of inconsistency, and 3) greater than 50 is considered a high level of inconsistency indicating that responses are not reliable. Not all questions have been checked for inconsistencies. The ones checked were the questions where inconsistencies seemed likely. Questions measuring opinions were likely to have high inconsistencies.

The numbers in table H are percents. They are nearly the same as: 100 minus the correlation between answers in the original interview and the reinterview. For example, an inconsistency of 20 means a correlation of 80 percent, which is good. This is the correlation between answers to the same question, usually from the same respondents, a month apart. Wrong answers make results wrong, and mean that data on groups, (e.g., income groups), are infected with data from people who really are not like the group at all. Readers should be wary of drawing firm conclusions from items with high inconsistency.

**Coverage errors.** Each home in the AHS-MS sample represents a large number of other homes. However, because of incomplete sampling lists (i.e., undercoverage) the homes in the survey do not represent all homes in this metropolitan area. Therefore, the raw numbers from the survey are raised proportionally so that the numbers published here match independent estimates of the total

Table A. Approximate Undercoverage Rates

MSA	Undercoverage rate (percent)
Anaheim-Santa Ana, CA .....	Less than 1
Buffalo, NY .....	Less than 1
Dallas, TX .....	Less than 1
Ft. Worth-Arlington, TX .....	4
Milwaukee, WI .....	3
Phoenix, AZ .....	6
Riverside-San Bernardino-Ontario, CA .....	14
San Diego, CA .....	5

Table B. Undercoverage Units

Type of unit	Reason for undercoverage
Mobile homes .....	Poor coverage of new mobile home parks in permit-issuing areas
Conventional new construction .....	Permits issued less than 8 months before interviewing are not considered
New construction in special places .....	Not covered in either permit-issuing or nonpermit-issuing areas
Conversions from nonresidential units .....	Nonresidential units at the time of the 1970 census which converted to residential units were missed

number of homes. These independent estimates are based on the 1990 Census of Housing, plus an accounting of changes since then. The approximate housing unit undercoverage rates for the metropolitan areas in 1994 AHS-MS are given in table A. Table B lists units that have known coverage deficiencies.

**Incomplete data.** Incomplete data happen because sampling lists are incomplete; and because people refuse the interview or some of the questions, or do not know answers. Table C shows, for the 1993 AHS-National sample, some of the items that have the least complete data for all units and for those below the poverty level. The rates in table C indicate what percent of the publication estimates are based on actual responses. These are primarily items that people forget or consider personal: mortgages, other housing costs, and income. The computer may assign, or "impute" values for these items according to rules developed by subject matter specialists. We do not know how close the imputed values are to the actual values. Incompleteness can cause large errors, since when even 10 percent of homes are missed by a particular question, they

Table C. Selected Completeness Rates for the American Housing Survey—1993 National Sample

Characteristics	Total occupied units	Units below poverty level
Current loan as percent of value .....	39	26
Total outstanding principal amount .....	41	29
Income sources of families and primary individuals .....	52	59
Land rent fee .....	59	-
Mobile home park fee .....	66	-
Lot size .....	68	54
Ratio of value to current income .....	68	47
Annual taxes paid per \$5,000 value .....	69	51
Mobile home site placement .....	70	65
Monthly housing costs as percent of income .....	72	64
Light fixtures in public halls .....	73	73
Previous occupancy .....	75	67
Household income .....	76	70
Income of families and primary individuals .....	76	69
Square feet per person .....	76	69
Household income as percent of poverty level .....	76	70
Square footage of unit .....	76	69
Units using each fuel .....	77	70
Average monthly cost for real estate taxes .....	77	67
Value .....	79	65
Property insurance paid .....	79	80
Monthly payment for principal and interest .....	79	80

- means not applicable or sample too small.

represent about 10 million homes which have to be estimated on little or no basis (there are about 100 million homes in the U.S.). The survey estimates them by assuming that they are like some group of homes which did give data, an assumption which is never exactly true. Thus it is not surprising that large nonsampling errors are possible when the survey has data for only 50-90 percent of homes for particular items.<sup>1</sup> Again readers should be wary of items likely to have highly incomplete data.<sup>2</sup>

**Effect on Income.** The nonsampling errors interact particularly badly for income. Income questions are inconsistently answered (table H), incompletely answered (table C), and the totals fall short of totals known from the National Income Accounts, especially for the elderly.

<sup>1</sup>For a table of completeness rates for all items in the 1993 AHS-National sample, see appendix D, table 2, in *American Housing Survey for the United States in 1993* (H150/93).

<sup>2</sup>Statistical note: The November 1990 paper, "How Response Error, Missing Data and Undercoverage Bias Survey Data," estimates that 90 percent of errors from incomplete data are less than:  $200 + .058 \times (\text{lesser of } A \text{ or } 100,000 - A)$ , where  $A$  is any count published in this book (in thousands, result also in thousands). Weights are adjusted to reduce these errors, but it is not known how much error remains. "How Response Error, Missing Data and Undercoverage Bias Survey Data," order number HUD-6458, is available from HUD User at the address in "Explanation and Cautions" at the front of this book.

## SAMPLING ERRORS

**Definition.** Error from sampling reflects how estimates from a sample vary from the actual value. (Note: "actual value" means the value that would appear if all housing units had been interviewed, under the same conditions, rather than only a sample. A confidence interval is a range which contains the actual estimate with a specified probability.)

**Counts.** Most numbers in this book are counts of housing units (e.g., units with basements or units with an elderly person). These counts have error from sampling. Table D gives a convenient list of errors for a range of numbers. These errors are an overestimate for most items. To get a more accurate answer, use the appropriate formula shown in table E. As with the other types of errors, readers should be wary of numbers with large errors from sampling.

Table D presents conservative examples of sampling errors to compute 90-percent confidence intervals. To obtain errors for estimates not included in table D, refer to table E. To construct the range, add and subtract the error computed from the formulas to the publication estimate. For estimates involving building loss housing units, multiply the error by the factors given in the footnote of the appropriate table (table D or E).

The letter "A" in the formulas represents the publication estimate. These estimates are given in thousands and should be used in the formulas as given; do not add zeros.

Ranges of 90 and 95 percent are commonly used. The range of error is also referred to as the confidence interval since there is a certain level of confidence the actual value is within the interval.

*Example:* For example, table 1-1 shows 321,600 owner-occupied housing units in the Ft. Worth-Arlington, TX PMSA (i.e., A is 321.6).

Apply the appropriate formula from table E to obtain a 90-percent confidence interval:

$$1.64 \times \sqrt{(.196345 \times 321.6) - (.000354 \times 321.6 \times 321.6)} = 8.5$$

The 90-percent confidence interval can then be formed by adding and subtracting this error to the survey estimate of 321.6 (i.e.,  $321.6 \pm 8.5$ ). Statements such as the actual value is in the range  $321.6 \pm 8.5$  (313.1 to 330.1) are right 90 percent of the time and wrong 10 percent of the time.

**Percents.** The reliability of an estimated percentage, computed by using the sample data for both numerator and denominator, depends upon both the size of the percentage and the size of the total upon which the percentage is based. Estimated percentages are more reliable than the corresponding estimates of the numerators of the percentages.

To obtain a 90-percent confidence interval error associated with a percentage use the appropriate formula in table F. For estimates involving building loss housing units, multiply the error by the factors given in the footnote of table F.

The "p" is the estimated percentage, and the "A" is the base (denominator) of the percentage.

*Example:* Table 1-1 shows that of 501,400 occupied housing units in Ft. Worth, 83,800 or 16.7 percent had 4 rooms. Apply the appropriate formula from table F to obtain a 90-percent confidence interval error for the percentage:

$$1.64 \times \sqrt{\frac{.193511 \times 16.7 (100 - 16.7)}{(501.4)}} = 1.2$$

Consequently, there is a 90-percent chance we'd be correct if we concluded that the actual proportion is within the range  $16.7 \pm 1.2$ , or 15.5 to 17.9 percent.

Note that when a ratio C/D is computed where C is not a subgroup of D (for example the number of Hispanics as a ratio of the number of Blacks) the error from sampling is different. The error from sampling for a 90-percent confidence interval for a ratio C/D is:

$$C/D \times \sqrt{((\text{error for C})/C)^2 + ((\text{error for D})/D)^2}$$

**Medians.** The following steps in table G calculate the error from sampling for a 90-percent confidence interval for medians. For medians with small bases, use the more accurate approach in table I.

**Differences.** Two numbers from this book, like 34 and 40 or 40 percent and 45 percent have a "statistically significant difference" if their ranges of error from sampling for a 90-percent confidence interval do not overlap. When ranges of error for a 90-percent confidence interval do overlap, numbers are still statistically different if the result of subtracting one from the other is more than:

$$\sqrt{(\text{error for first number})^2 + (\text{error for second number})^2}$$

Table 1-1 shows that 121,900 occupied housing units in the Ft. Worth area have 5 rooms. The difference between occupied units with 4 rooms and occupied units with 5 rooms is 38,100 (38.1). The error for 83.8 is 6.1, and the error for 121.9 is 7.1. The 90-percent confidence interval for the difference is:

$$38.1 \pm \sqrt{6.1^2 + 7.1^2} = 38.1 \pm 9.4$$

Since the interval does not include zero, we can conclude that these two estimates are statistically different.

Table D. Errors From Sampling to Compute a 90-Percent Confidence Interval<sup>1</sup>

Size of estimate	Anaheim-Santa Ana, CA PMSA	Buffalo, NY CMSA	Dallas, TX PMSA	Ft. Worth-Arlington, TX PMSA	Milwaukee, WI PMSA	Phoenix, AZ MSA	Riverside-San Bernardino-Ontario, CA PMSA	San Diego, CA MSA
0	0.3	0.2	0.4	0.2	0.2	0.4	0.4	0.3
1	0.9	0.7	1.1	0.7	0.7	1.0	1.0	0.9
5	2.1	1.5	2.4	1.6	1.6	2.2	2.2	2.1
10	2.9	2.1	3.4	2.3	2.3	3.1	3.1	2.9
25	4.6	3.3	5.4	3.6	3.5	4.9	4.9	4.5
50	6.4	4.5	7.5	4.9	4.9	6.8	6.9	6.3
75	7.7	5.4	9.1	5.9	5.9	8.2	8.4	7.7
100	8.7	6.0	10.4	6.6	6.6	9.4	9.5	8.7
300	13.1	7.4	16.2	8.5	8.8	14.4	14.8	13.3
500	13.9	1.3	18.3	5.1	6.4	15.8	16.6	14.5
700	11.9	NA	18.0	NA	NA	14.8	16.2	13.2
900	3.8	NA	15.2	NA	NA	10.6	13.4	8.5
1,100	NA	NA	7.7	NA	NA	NA	4.8	NA

NA means not applicable.

<sup>1</sup>For estimates of building losses in Buffalo, Dallas, Ft. Worth, Milwaukee, and Phoenix, apply a factor of 1.1 to the formula to obtain an error of the estimate. For estimates of building losses in all other MSA's, apply a factor of 1.0.

Table E. Formulas for 90-Percent Confidence Intervals<sup>1</sup>

MSA and estimate type	The formula is— <sup>2</sup>
<b>Anaheim-Santa Ana, CA PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.317388 \times A) - (.000346 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.275851 \times A) - (.000301 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.291215 \times A) - (.000317 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.309533 \times A) - (.009199 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.271657 \times A) - (.000296 \times A^2)}$
<b>Buffalo, NY CMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.168752 \times A) - (.000335 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.150829 \times A) - (.000300 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.158108 \times A) - (.000314 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.205468 \times A) - (.022904 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.199487 \times A) - (.000396 \times A^2)}$
<b>Dallas, TX PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.375739 \times A) - (.000326 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.437815 \times A) - (.000380 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.391529 \times A) - (.000340 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.746789 \times A) - (.017796 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.490168 \times A) - (.000425 \times A^2)}$
<b>Ft. Worth-Arlington, TX PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.196345 \times A) - (.000354 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.179155 \times A) - (.000323 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.193511 \times A) - (.000348 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.201884 \times A) - (.012572 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.175385 \times A) - (.000316 \times A^2)}$
<b>Milwaukee, WI PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.195148 \times A) - (.000329 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.181042 \times A) - (.000305 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.193030 \times A) - (.000325 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.271355 \times A) - (.080808 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.175819 \times A) - (.000296 \times A^2)}$

Table E. Formulas for 90-Percent Confidence Intervals<sup>1</sup>—Con.

MSA and estimate type	The formula is— <sup>2</sup>
<b>Phoenix, AZ MSA:</b>	
Owner .....	$1.64 \times \sqrt{(.362234 \times A) - (.000351 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.300498 \times A) - (.000291 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.314351 \times A) - (.000304 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.584948 \times A) - (.005676 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.280135 \times A) - (.000271 \times A^2)}$
<b>Riverside-San Bernardino-Ontario, CA PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.370739 \times A) - (.000330 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.280669 \times A) - (.000250 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.323342 \times A) - (.000288 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.585118 \times A) - (.004684 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.310621 \times A) - (.000277 \times A^2)}$
<b>San Diego, CA MSA:</b>	
Owner .....	$1.64 \times \sqrt{(.314147 \times A) - (.000316 \times A^2)}$
Renter .....	$1.64 \times \sqrt{(.292574 \times A) - (.000294 \times A^2)}$
Combined owner and renter .....	$1.64 \times \sqrt{(.291457 \times A) - (.000293 \times A^2)}$
Mobile homes .....	$1.64 \times \sqrt{(.435744 \times A) - (.008753 \times A^2)}$
New construction .....	$1.64 \times \sqrt{(.279221 \times A) - (.000281 \times A^2)}$

<sup>1</sup>The formulas in the text are based on 1.64 times the error from sampling. This formula gives 90-percent confidence interval errors. For 95-percent confidence interval errors, multiply by 1.96 instead of 1.64; for 99-percent confidence, multiply by 2.58 instead of 1.64.

<sup>2</sup>For estimates of building losses in Buffalo, Dallas, Ft. Worth, Milwaukee, and Phoenix, apply a factor of 1.1 to the results of these formulas to obtain an error of the estimate. For building losses in all other MSA's, apply a factor of 1.0.

Table F. Formulas for 90-Percent Confidence Intervals Associated With a Percentage

MSA and estimate type	The formula is $1.64 \sqrt{\dots}$
<b>Anaheim-Santa Ana, CA PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.317388 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.275851 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.291215 \times p \times (100-p))/A}$
Mobile homes .....	$1.64 \times \sqrt{(.309533 \times p \times (100-p))/A}$
New construction .....	$1.64 \times \sqrt{(.271657 \times p \times (100-p))/A}$
<b>Buffalo, NY CMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.168752 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.150829 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.158108 \times p \times (100-p))/A}$
Mobile homes .....	$1.64 \times \sqrt{(.205468 \times p \times (100-p))/A}$
New construction .....	$1.64 \times \sqrt{(.199487 \times p \times (100-p))/A}$
<b>Dallas, TX PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.375739 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.437815 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.391529 \times p \times (100-p))/A}$
Mobile homes .....	$1.64 \times \sqrt{(.746789 \times p \times (100-p))/A}$
New construction .....	$1.64 \times \sqrt{(.490168 \times p \times (100-p))/A}$
<b>Ft. Worth-Arlington, TX PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.196345 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.179155 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.193511 \times p \times (100-p))/A}$
Mobile homes .....	$1.64 \times \sqrt{(.201884 \times p \times (100-p))/A}$
New construction .....	$1.64 \times \sqrt{(.175385 \times p \times (100-p))/A}$
<b>Milwaukee, WI PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.195148 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.181042 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.193030 \times p \times (100-p))/A}$
Mobile homes .....	$1.64 \times \sqrt{(.271355 \times p \times (100-p))/A}$
New construction .....	$1.64 \times \sqrt{(.175819 \times p \times (100-p))/A}$

Table F. Formulas for 90-Percent Confidence Intervals Associated With a Percentage—Con.

MSA and estimate type	The formula is— <sup>1 2</sup>
<b>Phoenix, AZ MSA:</b>	
Owner .....	$1.64 \times \sqrt{(.362234 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.300498 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.314351 \times p \times (100-p))/A}$
Mobile homes.....	$1.64 \times \sqrt{(.584948 \times p \times (100-p))/A}$
New construction.....	$1.64 \times \sqrt{(.280135 \times p \times (100-p))/A}$
<b>Riverside-San Bernardino, CA PMSA:</b>	
Owner .....	$1.64 \times \sqrt{(.370739 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.280669 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.323342 \times p \times (100-p))/A}$
Mobile homes.....	$1.64 \times \sqrt{(.585118 \times p \times (100-p))/A}$
New construction.....	$1.64 \times \sqrt{(.310621 \times p \times (100-p))/A}$
<b>San Diego, CA MSA:</b>	
Owner .....	$1.64 \times \sqrt{(.314147 \times p \times (100-p))/A}$
Renter .....	$1.64 \times \sqrt{(.292574 \times p \times (100-p))/A}$
Combined owner and renter .....	$1.64 \times \sqrt{(.291457 \times p \times (100-p))/A}$
Mobile homes.....	$1.64 \times \sqrt{(.435744 \times p \times (100-p))/A}$
New construction.....	$1.64 \times \sqrt{(.279221 \times p \times (100-p))/A}$

<sup>1</sup>For estimates of building losses in Buffalo, Dallas, Ft. Worth, Milwaukee, and Phoenix, apply a factor of 1.1 to obtain an error of the estimate. For estimates of building losses in all other MSA's, apply a factor of 1.0.

<sup>2</sup>These formulas are equivalent to  $1.64 \sqrt{.Px(100-P) / n}$ . For example, for owners in Anaheim,  $.317388/A$  adjusts the data to the effective sample size.

Table G. How to Compute a 90-Percent Confidence Interval for a Median

Steps for calculations	The formula	An example	Your data
How many total units is the median based on (in thousands, exclude "not reported" and "don't know")?	A	297.3	—
What are the end-points of the category the median is in?	X - Y	\$600-699	—
What is the width of this category (in dollars, rooms, or whatever the item measures)?	W	\$100	—
How many housing units are in this median category (in thousands)?	B	21.6	—
Then the error from sampling for the median is approximately: <sup>1</sup>	$\frac{K \times W \times \sqrt{A}}{B}$	$\frac{.363 \times 100 \times \sqrt{297.3}}{21.6} = 29.0$	—
The 90-percent confidence interval for the median is:	$\text{median} \pm \frac{K \times W \times \sqrt{A}}{B}$	median ± \$29.0	—

<sup>1</sup>The appropriate value for K is obtained by multiplying the numerator of the formula for computing the error from sampling for 50 percent by a factor of .01. Refer to table F for the appropriate formula. For example, for combined owner and renter occupied units in Ft. Worth-Arlington, TX PMSA,  $K = .01 \times (1.64 \times \sqrt{.193511 \times 50 \times 50}) = .361$ ; for owner occupied units in Ft. Worth,  $K = .363$ ; for renter occupied units in Ft. Worth,  $K = .347$ ; for mobile homes in Ft. Worth,  $K = .368$ ; and for new construction units in Ft. Worth,  $K = .343$ .

Table H. Different Answers a Month Apart

Item	When measured <sup>1</sup>	Level of inconsistency	Confidence interval <sup>2</sup>
Other kinds of heating equipment (central warm-air)	89-MS	91	[73-100]
Mortgage payment include anything else (first mortgage)	90-MS	90	[72-111]
Water came in from other places	89-MS	81	[64-100]
Moved for other, financial/employment	85-MS	80	(62-104)
Moved for other, housing related	85-MS	79	(65-97)
Police protection problem in neighborhood	89-MS	78	[63-95]
Poor city/county service in neighborhood	89-MS	78	[63-95]
Moved for other reason	85-MS	73	(64-85)
Moved for better quality house	85-MS	69	(58-82)
Moved because other family/personal related	85-MS	68	(54-86)
Cost for water supply and sewage disposal	81-N	68	(61-76)
Other problem in neighborhood	89-MS	67	[61-74]
Undesirable industries/businesses in neighborhood	89-MS	66	[54-82]
Rats	89-MS	65	[54-69]
Noise in neighborhood	89-MS	64	[57-72]
Other kinds of heating equipment (none)	89-MS	63	[60-67]
Peeling paint on the ceiling	81-N	63	(49-80)
Other kinds of heating equipment (unvented room)	89-MS	62	[45-86]
How LIKELY to move to place prefer to live in 5 years	85-MS	62	(54-71)
How LIKELY to still be living in this unit in 5 years	85-MS	60	(49-74)
Gross income	82-MS	59	not available
Open cracks or holes in building	81-N	58	(47-72)
Electric fuses or breaker switches blown	81-N	58	(50-68)
Other major repairs over \$500 each—repair done	85-MS	57	(50-64)
People in neighborhood	89-MS	57	[52-62]
Central air conditioning/dehumidifier	80-N	56	not available
Satisfactory police protection	77-N	55	(49-62)
Moved for lower rent or less expensive house to maintain	85-MS	55	(43-70)
Broken plaster or peeling paint	89-MS	55	[46-65]
Water came in from walls, doors, windows	89-MS	55	[45-67]
A working electric wall outlet	77-N	55	(42-71)
Other kinds of heating equipment (fireplace with no insert)	89-MS	54	[49-59]
Shopping	77-N	54	(47-61)
Broken plaster on the ceiling	81-N	53	(40-70)
Water came in from roof	89-MS	53	[46-60]
Payments the same during whole length of the mortgage	85-MS	52	(46-59)
Litter in neighborhood	89-MS	51	[44-60]
Main reason moved	85-MS	51	(47-55)
Which best describes place at that time	85-MS	51	(46-55)
Yearly cost for garbage	81-N	51	(43-62)
Rate the place (10 categories)	89-MS	51	[49-53]
Other major repairs over \$500 each—someone in household do work	85-MS	51	(36-72)
Other kinds of heating equipment (other built-in electric)	89-MS	50	[38-66]
Holes in the floors	81-N	50	(33-74)
Oil, coal, kerosene, wood and any other fuel cost	81-N	50	(40-64)
Type of vacant	81-N	50	(38-65)
Central air fuel	85-N	50	(40-63)
At age 16, live in this area/different place	85-MS	50	(44-57)
Public transportation	77-N	50	(44-56)
Cookstove or range with oven	85-N	50	(39-64)
Traffic in neighborhood	89-MS	49	[43-54]
Moved to establish own household	85-MS	48	(38-59)
Rate the place (categories 1-6 combined)	89-MS	48	[46-51]
Other kinds of heating equipment (portable electric)	89-MS	47	[41-54]
Real estate taxes	81-N	47	(33-67)
Central air conditioning/none	80-N	47	not available
Crime in neighborhood	89-MS	47	[41-53]
Any additions built—repair done	85-MS	46	(35-61)
Water came in from basement	89-MS	45	[38-55]
Moved to change from owner to renter/renter to owner	85-MS	44	(36-55)

Table H. Different Answers a Month Apart—Con.

Item	When measured <sup>1</sup>	Level of inconsistency	Confidence interval <sup>2</sup>
Number of living rooms	85-N	44	(33-57)
Major equipment, such as furnace or central air replace /added—repair done	85-MS	44	(35-55)
Five years from now, would you prefer living in this area or someplace else	80-N	44	(32-60)
Water leaked into home from outdoors	89-MS	43	[39-47]
Rate the place (4 combined categories)	89-MS	43	[41-46]
Other kinds of heating equipment (fireplace with insert)	89-MS	43	[35-52]
Concealed wiring	89-MS	43	[33-57]
Siding replaced or added in last 2 years—repair done	85-MS	42	(32-56)
Heat breakdown	89-MS	41	[30-56]
Yearly cost of insurance (reported in \$100 increments to \$1,000)	89-MS	41	[38-44]
Moved to be closer to school/work	85-MS	41	(32-53)
Heating equipment broke down for 6 hours or more	89-MS	41	[30-56]
Cost for real estate taxes	81-N	40	(35-46)
Central air conditioning/portable fan	80-N	40	not available
Public elementary school satisfactory	89-MS	40	[34-47]
Mice or rats or signs of	76-N	40	not available
House/apartment cold for 24 hours	89-MS	40	[36-45]
Current mortgage same year as bought home	85-MS	39	(27-56)
Prefer to be living in another home in this area in 5 years	85-MS	38	(31-48)
Anything about the neighborhood that bothers you	89-MS	38	[35-41]
Change in taxes/insurance/principal balance	85-MS	37	(28-51)
Other kinds of heating equipment (stove)	89-MS	36	[28-47]
Bathrooms remodeled or added—repair done	85-MS	35	(28-45)
Married, widowed, divorced, or separated	85-MS	35	not available
Costs for gas for the month of August	89-N	35	[24-54]
All or part of roof replaced in last 2 years—repair done	85-MS	35	(29-42)
New storm doors or storm windows bought, installed—repair done	85-MS	33	(27-41)
Moved because needed larger house or apartment	85-MS	33	(26-41)
Number of other rooms	85-N	32	(28-38)
Kitchen remodeled or added—repair done	85-MS	32	(25-41)
Insulation added—repair done	85-MS	32	(25-44)
House and lot sell on today's market	90-MS	31	29-34
Moved for new job or job transfer	85-MS	30	(22-39)
Average monthly cost for gas	89-N	29	[23-37]
Average monthly cost for electricity	89-N	28	[24-34]
Number of dining rooms	85-N	27	(24-29)
Year the building was built	85-MS	25	not available
All or part of roof replaced in last 2 years—someone in household do work	85-MS	25	(15-44)
Number of family rooms	85-N	25	(21-30)
Mortgage payment include homeowner's insurance (first mortgage)	90-MS	24	[21-27]
Prefer to be living in this house/apartment/someplace else	85-MS	24	(20-29)
Clothes washer age	85-N	22	(19-25)
Any other rooms	85-N	22	(20-25)
How many years for mortgage	85-MS	22	(17-29)
New storm doors/windows bought/installed—someone in household do work	85-MS	19	(11-35)
Attend a public school or a private school	89-MS	19	[15-25]
Oven/cooking burner age	85-N	18	(16-21)
Heating equipment broke	89-MS	18	[9-34]
Clothes dryer age	85-N	18	(15-21)
Refrigerator age	85-N	18	(16-20)
Garbage disposal age	85-N	18	(15-22)
Insulation added—someone in household do work	85-MS	16	(8-33)
Monthly payment (first mortgage)	90-MS	16	[14-18]
Number of half bathrooms	85-N	16	(14-18)
New storm doors or storm windows bought and installed—job cost	85-MS	15	(8-32)

Table H. Different Answers a Month Apart—Con.

Item	When measured <sup>1</sup>	Level of inconsistency	Confidence interval <sup>2</sup>
New assumed mortgage .....	85-MS	15	(11-22)
Mortgage payment include property tax (first mortgage) .....	90-MS	15	[12-18]
How much was borrowed .....	85-MS	14	(11-18)
Monthly payment (for first mortgage/loan) (non-CATI) .....	89-N	14	[11-19]
Dishwasher age .....	85-N	14	(11-17)
Where was mortgage borrowed (non-CATI) .....	89-N	13	[7-28]
Mortgage on this house/apartment .....	90-MS	13	[11-15]
How much was borrowed (for the first mortgage/loan)? (non-CATI) .....	89-N	13	[10-17]
Have property insurance .....	89-MS	12	[10-14]
Clothes dryer fuel .....	85-N	12	(9-14)
Number of room air conditioners .....	85-N	11	(9-15)
Interest rate on the mortgage (for the first mortgage/loan) (non-CATI) .....	89-N	10	[7-15]
Room air conditioners .....	85-N	10	(8-12)
Kitchen remodeled or added—someone in household do work .....	85-MS	9	(3-26)
Living quarters .....	85-N	8	(6-9)
Clothes washer .....	85-N	8	(6-9)
Number of units in building .....	85-N	8	(6-9)
Number of bedrooms .....	85-N	7	(6-8)
Number of full bathrooms .....	85-N	6	(5-8)
Dishwasher .....	85-N	6	(5-7)
Cooking fuel .....	85-N	5	(4-6)
Clothes dryer .....	85-N	5	(4-7)
Number of apartments .....	85-N	5	(4-8)
Garbage disposal .....	85-N	5	(4-7)
Central air conditioning .....	85-N	5	(4-6)

<sup>1</sup>This notation consists of the year followed by the survey from which the item was measured. For example, 89-MS means that the item was measured during the 1989 AHS-Metropolitan (MS) Survey and 81-N means that the item was measured during the 1981 AHS-National (N) Survey.

<sup>2</sup>Confidence intervals enclosed by square brackets are at the 90-percent confidence level, all others are at the 95-percent confidence level. The confidence intervals for the years prior to 1989 have a confidence level of 95 percent. Since that time it has been the policy of the U.S. Bureau of the Census to publish a 90-percent confidence level for all testing.

**Table I. Calculation of the 90-Percent Confidence Interval for Medians**

The following steps calculate the 90-percent confidence interval for medians. First we give some cost data to work with (all numbers are in thousands):

		Cumulative number of housing units
Total housing units	321.6	
Less than \$500	109.3	109.3
\$500 to \$599	24.7	134.0
\$600 to \$699	21.6	155.6
\$700 to \$799	28.9	184.5
\$800 or more	112.8	297.3
Not reported	24.4	
Median	\$668	

Item	Formula	Bottom limit		Top limit	
		Example	Your data	Example	Your data
How many total units is the median based on (in thousands, exclude "not reported" and "no cash rent")? .....	A	297.3	_____		
Half the total, for the median (in thousands) .....	A/2	148.65	_____		
Error from sampling for 50 percent of the base of this median (1st line) <sup>1</sup> .....	$.363\sqrt{A}$	2.11	_____		
Multiply this percentage error by .01 to turn it into a fraction and by total units to give the error in housing units .....	$.499\sqrt{A}$	6.26	_____		
Bottom of error range (2nd line minus 4th line, in thousands) .....	B <sub>bottom</sub>	*142.39	_____		
Top of error range (2nd line plus 4th line, in thousands) .....	B <sub>top</sub>			*154.91	_____
* Start adding up the housing units in the table, category by category, cumulatively from the beginning of the table, until you exceed the starred number above. What interval does the starred number fall in? .....		\$600-699	_____	\$600-699	_____
How many housing units are in all the categories before this one (in thousands)? .....	C	134.0	_____	134.00	_____
How many housing units are in this category (in thousands) .....	D	21.6	_____	21.6	_____
What is the bottom limit of this category (in dollars, rooms, or whatever the item measures)? .....	E	\$600	_____	\$600	_____
What is the bottom limit of the next category (in dollars, rooms, etc)? .....	F	\$700	_____	\$700	_____
Formula to calculate limits of confidence interval .....	$\frac{(B-C)}{D}(F-E)+E$	$\frac{(142.39 - 134.0)}{21.6}(100)+600$		$\frac{(154.91 - 134.0)}{21.6}(100)+600$	
Limits of confidence interval (in dollars, rooms, etc.) .....		\$639		\$697	

\* Starting with the starred step, this worksheet is equivalent to interpolation, for those who are familiar with this term.

<sup>1</sup>Statistical note: This formula is based on the error from sampling for 50 percent (using the appropriate formula,  $1.64 \times \sqrt{.196345 \times 50 \times (100 - 50)/A} = 36.3/\sqrt{A}$ ) for medians involving owner-occupied units in the Ft. Worth PMSA. Refer to table F for the appropriate formula. As an example, for medians involving combined owner- and renter-occupied units in Ft. Worth, use  $36.1/\sqrt{A}$ ; for medians involving renter-occupied units in Ft. Worth, use  $34.7/\sqrt{A}$ ; for medians involving Ft. Worth mobile homes, use  $36.8/\sqrt{A}$ ; and for medians involving new construction units in Ft. Worth, use  $34.3/\sqrt{A}$ .

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- Sex of householder:** definition A-13, column heading in most tables
- Shower or bathtub:** comparisons 6-1, definition A-6
- Size of household:** comparisons 1-1, 6-1, definition A-5
- Steam heat:** comparisons 6-1, definition A-7
- Stoppage, heating or toilet:** comparisons 1-3, definition A-7
- Stoppage, water supply or sewage system:** comparisons 1-3, definition A-6, A-7
- Street repairs needed:** comparisons 6-2, definition A-10
- Street, trash:** comparisons 6-2, definition A-10
- Substandard (obsolete term):** see problems
- Telephone:** comparisons 1-3, definition A-8
- Tenure (owners-renters):** definition A-4, column heading in most tables
- Toilet stoppage:** comparisons 1-3, definition A-7
- Traffic nearby:** comparisons 1-3, definition A-9
- Trailer:** see mobile homes
- Transportation, public:** comparisons 1-4, owners 2-4, renters 3-4, blacks 4-4, hispanics 5-4, definition A-9
- Uncomfortably cold:** comparisons 1-3, definition A-7
- Units in structure:** comparisons 1-1, 6-1, definition A-6
- Utilities, heating equipment:** comparisons 6-1, definition A-7
- Utilities interruption, heat:** comparisons 1-3, definition A-7
- Utilities uses:** comparisons 6-1, definition A-7
- Value of home:** comparisons 1-2, definition A-10
- Value of housing units in 1988, 1989, 1990, 1991:** comparisons 6-3, definition A-10
- Vandalized buildings:** comparisons 6-2, definition A-10
- Vermin (rats):** comparison 1-3, 6-2, definition A-8
- Water supply stoppage:** comparisons 1-3, definition A-6
- Weighting:** B-4, C-5
- Whites:** table 6-1, column heading in tables 1-1, 1-2, 1-3, definition A-3
- Window bars:** comparisons 6-2, definition A-10
- Winter, heating:** comparisons 1-3, definition A-7
- Wood fuel:** comparisons 6-1, definition A-8
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- Year built:** comparisons 1-1, 6-1, definition A-6