

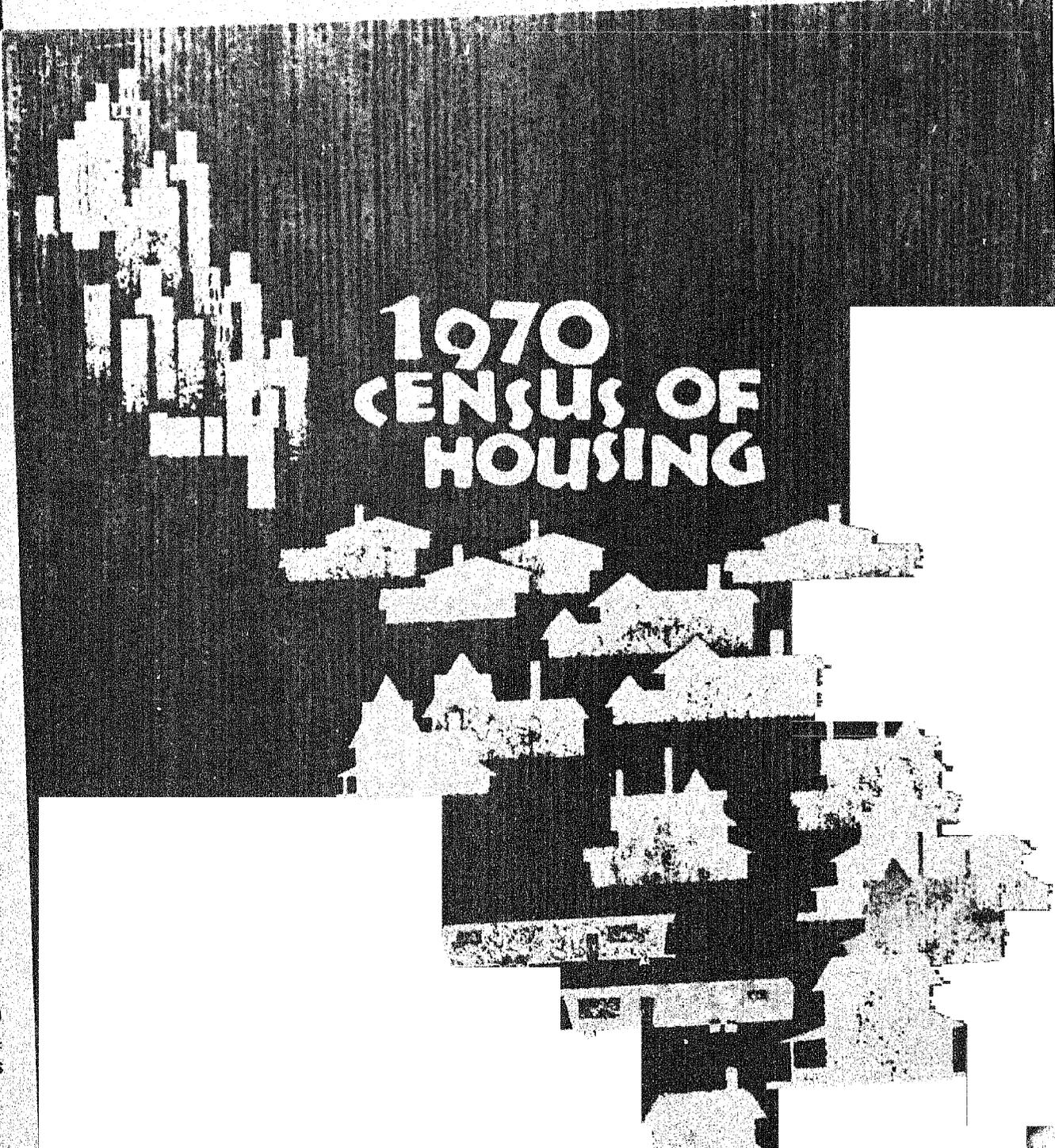
UNITED STATES
DEPARTMENT OF
COMMERCE
PUBLICATION



Metropolitan Housing Characteristics

WATERBURY, CONN.
STANDARD METROPOLITAN STATISTICAL AREA

HC(2)-233



1970 CENSUS OF HOUSING

U.S. DEPARTMENT
OF COMMERCE
Social and Economic
Statistics Administration

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THE CENSUS

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ACKNOWLEDGMENTS—Many persons participated in the various activities of the 1970 census. Primary direction of the program was performed by Conrad Taeuber, Associate Director for Demographic Fields, assisted by David L. Kaplan, 1970 Census Coordinator, and in conjunction with Paul R. Squires, Associate Director for Data Collection and Processing, and Joseph Waksberg, Acting Associate Director for Statistical Standards and Methodology.

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**1970
CENSUS OF
HOUSING**

Metropolitan
Housing
Characteristics

**WATERBURY, CONN.
STANDARD METROPOLITAN
STATISTICAL AREA**

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Derived figures (medians, etc.).—Shown in this report are medians as well as certain percentages and ratios. The median, which is a type of average, is the middle value in a distribution; i.e., the median divides the distribution into two equal parts—one-half of the cases fall below the median and one-half of the cases exceed the median. For all types of derived figures in this report, the figure is not presented (but indicated by three dots "...") if there are fewer than the prescribed number of units in the distribution or the base. For the 20-percent sample, the minimum number of housing units is 100; for the 15-percent sample, the minimum is 132; and for the 5-percent sample, the minimum is 400.

Medians for rooms and persons are rounded to the nearest tenth, for value to the nearest hundred dollars, and for rent to the nearest dollar. In computing medians for rooms and persons per housing unit, the whole number is used as the midpoint of the interval so that, for example, the category "3 rooms" is treated as an interval ranging from 2.5 up to 3.5 rooms. In computing median rent, units reported as "no cash rent" are excluded. The median is computed on the basis of the distribution as tabulated, which is sometimes more detailed than the distribution shown in this report. When the median falls in the lower terminal category of an open-end distribution, the method of presentation is to show the initial value of the next category followed by a minus sign; thus, for example, if the median falls in the category "Less than \$5,000," it is shown as "\$5,000—." When the median falls in the upper terminal category of an open-end distribution, the method of presentation is to show the initial value of the

terminal category followed by a plus sign; thus, for example, if the median falls in the category "\$50,000 or more," it is shown as "\$50,000+."

Symbols.—A dash "—" signifies zero. Three dots "..." mean not applicable, or that the base for a derived figure is too small for it to be shown, or that the data are being withheld to avoid disclosure of information for individual housing units. The symbol "U" means that the place is unincorporated.

Boundaries.—The data shown for 1970 relate to the boundaries as they existed on January 1, 1970. Information on boundary changes between 1960 and 1970 for certain types of areas is given in the 1970 Population Census PC(1)-A reports.

DATA COLLECTION PROCEDURES

The 1970 census was conducted primarily through self-enumeration. In 1960, self-enumeration was first introduced on a nationwide scale as a substitute for the traditional census direct interview.

A census questionnaire was delivered by postal carriers to every household several days before Census Day, April 1, 1970. This questionnaire contained certain explanatory information and was accompanied by an instruction sheet; in areas with comparatively large proportions of Spanish-speaking persons, a Spanish version of the instruction sheet was also enclosed. Some of this material is reproduced in Appendix B, "Definitions and Explanations of Subject Characteristics."

In the larger metropolitan areas and some adjacent counties, altogether containing about three-fifths of the

population of the United States, the householder was requested to fill out and mail back the form on Census Day. Approximately 87 percent of the householders did so. The mailed-back forms were reviewed by the census enumerator (or, in some localities, a census clerk) and if the form was determined to be incomplete or inconsistent, a followup was made. The bulk of these followups were made by telephone, the rest by personal visit. For the households that did not mail back their forms, a followup was also made, in almost all cases by personal visit and in the remainder by telephone; vacant units were enumerated by personal visit.

For the remaining two-fifths of the population, the householder was requested to fill out the form and give it to the enumerator when he called; approximately 80 percent did so. Incomplete and unfilled forms were completed by interview during the enumerator's visit.

Three types of questionnaires were used throughout the country: 80 percent of the households answered a form containing a limited number of population and housing questions and the remainder, split into 15-percent and 5-percent samples, answered forms which contained these questions as well as a number of additional questions. Some of the additional questions were the same on the 15-percent and 5-percent versions; others were different. A random procedure was used to determine which of the three forms any particular household answered.

In the metropolitan and adjacent areas, the designated type was sent to each household. In the remaining areas, the questionnaire with a limited number of questions was distributed to all households and the enumerators

interviewed for the additional questions in those households designated for the 15-percent and 5-percent samples.

The subjects covered in this report are all drawn from the 15-percent and 5-percent sample questionnaires.

PROCESSING PROCEDURES

The 1970 census questionnaires were specially designed to be processed by FOSDIC (Film Optical

Sensing Device for Input to Computers). Respondents and enumerators (and for some few items, census clerks) marked the answers in predesignated positions which could be "read" by FOSDIC, from a microfilm copy of the questionnaire, onto computer magnetic tape.

The tape containing the information from the questionnaires was processed on the Census Bureau's computers through a number of editing

and tabulation steps (see Appendix C, "Accuracy of the Data"). One of the end results of this operation was a computer tape from which the tables in this report were prepared on a cathode-ray-tube phototypesetting machine at the Government Printing Office. Another end result was the summary tape which is available for purchase, as described in Appendix D, "Publication and Computer Summary Tape Program."

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STANDARD METROPOLITAN STATISTICAL AREA

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MAP

Counties, Standard Metropolitan
Statistical Areas, and Selected Places

XI

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[The prefix letter "A" refers to tables for the total SMSA; tables for central cities and for places of 50,000 inhabitants or more, which follow in alphabetical order, have the prefix letter "B," "C," etc.]

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Waterbury city	B	10 to 18	—	—

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DESCRIPTION OF SMSA

The Waterbury, Conn. Standard Metropolitan Statistical Area comprises the following:

Litchfield County (part)

Thomaston town

Watertown town

Woodbury town

New Haven County (part)

Beacon Falls town

Cheshire town

Middlebury town

Naugatuck borough

Prospect town

Waterbury city

Wolcott town

Counties, Standard Metropolitan Statistical Areas, and Selected Places

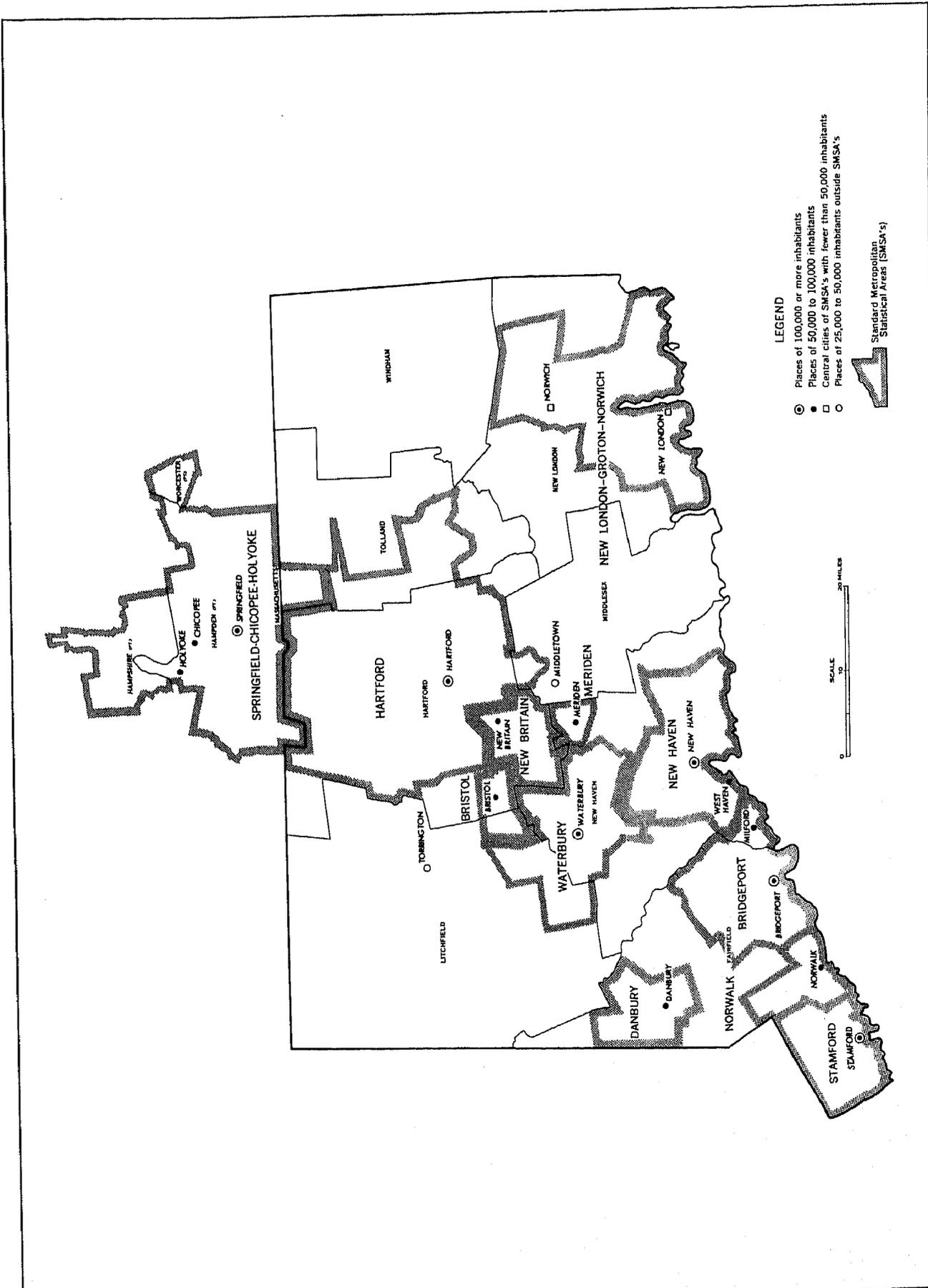


Table A-1. Value of Owner Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA

	Total	Less than \$5,000	\$5,000 to \$7,499	\$7,500 to \$9,999	\$10,000 to \$12,499	\$12,500 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 to \$49,999	\$50,000 or more	Median (dollars)
Specified owner occupied:	31 784	62	157	531	1 521	2 640	9 842	8 075	5 892	2 136	928	20 700
ROOMS												
1 and 2 rooms	82	17	4	11	13	5	11	17	4	-	-	13 300
3 rooms	245	16	11	46	35	47	51	9	15	15	19	16 800
4 rooms	2 954	20	48	124	344	449	1 296	460	1 184	86	34	19 400
5 rooms	9 944	4	52	152	434	829	4 017	3 152	2 342	387	81	20 500
6 rooms	10 611	5	25	142	489	994	3 344	2 802	1 406	581	189	24 900
7 rooms	4 401	-	17	28	145	186	714	1 135	758	1 056	605	33 500
8 rooms or more	3 547	-	-	28	61	130	409	500	6.2	7.5	7.5+	...
Median	5.8	...	4.8	5.1	5.3	5.5	5.4	5.6	6.2	7.5	7.5+	...
PERSONS												
1 person	2 434	23	37	133	241	319	807	476	267	82	49	17 400
2 persons	8 575	26	47	182	494	817	2 703	2 197	1 508	423	178	20 000
3 persons	5 674	8	23	55	262	472	1 809	1 474	1 091	324	156	20 700
4 persons	6 114	5	14	57	210	370	1 817	1 724	1 231	495	191	21 700
5 persons	4 522	-	25	53	126	293	1 389	1 155	900	407	174	21 600
6 persons or more	4 465	-	11	51	188	369	1 317	1 049	895	405	180	21 400
Median	3.4	...	2.4	2.2	2.6	2.9	3.3	3.4	3.6	4.0	3.9	...
Units with roomers, boarders, or lodgers	300	-	-	20	25	48	107	41	30	29	-	18 300
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	31 535	40	132	504	1 488	2 626	9 757	8 042	5 882	2 136	928	20 800
0.50 or less	14 864	32	54	296	838	1 334	4 310	3 498	2 761	1 946	596	20 800
0.51 to 1.00	14 671	8	72	170	536	1 054	4 623	4 061	2 895	946	306	21 100
1.01 to 1.50	1 802	-	6	34	84	223	747	461	216	45	26	18 600
1.51 or more	198	-	4	4	30	15	77	62	10	-	-	15 300
Locking some or all plumbing facilities	249	22	25	27	33	14	55	21	10	-	-	15 700
0.50 or less	164	7	25	22	14	4	27	12	-	-	-	...
0.51 to 1.00	59	5	-	5	6	-	3	-	-	-	-	...
1.01 to 1.50	21	5	-	13	-	-	-	-	-	-	-	...
1.51 or more	5	5	-	-	-	-	-	-	-	-	-	...
BEDROOMS												
None and 1	1 086	44	21	33	171	216	252	206	122	-	21	15 900
2	7 600	-	43	205	716	940	2 853	1 668	843	207	125	18 400
3	17 406	-	65	147	779	1 210	5 559	4 817	3 555	970	304	21 000
4 or more	6 064	-	45	41	380	507	1 095	1 292	1 166	979	559	23 700
YEAR STRUCTURE BUILT												
1969 to March 1970	571	-	-	5	11	5	41	147	204	121	37	28 800
1965 to 1968	3 203	5	-	28	58	445	925	1 011	488	243	26 400	
1960 to 1964	3 497	5	-	44	55	703	1 198	922	388	177	23 900	
1950 to 1959	10 786	22	19	64	232	618	3 632	3 184	2 261	548	206	21 300
1940 to 1949	4 339	-	34	99	262	515	1 788	911	525	156	49	18 400
1939 or earlier	9 388	30	104	358	944	1 389	3 233	1 710	969	435	216	17 700
COMPLETE BATHROOMS												
1 and 1 1/2	26 445	51	128	487	1 255	2 512	9 249	7 272	4 562	798	131	19 800
2 and 2 1/2	4 309	-	-	14	53	38	422	740	1 326	1 234	482	31 700
3 or more	556	-	-	5	-	8	7	45	95	125	271	49 200
None or also used by another household	406	20	27	54	53	43	132	58	19	-	-	15 300
HOUSEHOLD COMPOSITION												
Two-or-more-person households	29 350	39	120	398	1 280	2 321	9 035	7 599	5 625	2 054	879	21 000
Male head, wife present, no nonrelatives	26 229	28	84	346	1 074	1 974	7 880	6 934	5 204	1 906	799	21 200
Under 25 years	231	-	-	12	16	14	59	71	54	-	5	21 000
25 to 34 years	4 463	-	11	82	161	1 242	1 506	1 117	275	48	48	22 400
35 to 44 years	6 172	5	25	62	193	1 835	1 488	1 330	625	233	233	22 000
45 to 64 years	12 326	9	38	161	526	1 070	3 808	3 094	2 298	879	443	20 900
65 years and over	3 037	14	10	90	257	353	936	775	405	127	70	19 300
Other male head	874	11	19	31	71	81	313	169	106	40	33	18 500
Under 65 years	626	5	10	20	44	43	228	122	90	31	33	19 100
65 years and over	248	6	9	11	27	38	85	47	16	9	-	16 900
Female head	2 247	-	17	21	79	168	602	339	315	108	47	19 000
Under 65 years	1 556	-	11	10	56	98	240	157	228	104	15	19 200
65 years and over	691	-	6	11	23	70	168	339	87	4	32	18 600
One-person households	2 434	23	37	133	241	319	807	476	267	82	49	17 400
Under 65 years	1 222	18	15	86	96	152	414	238	136	36	31	17 700
65 years and over	1 212	5	22	47	145	167	393	238	131	46	18	17 200
INCOME IN 1969												
Less than \$2,000	1 204	21	28	66	104	180	385	246	139	22	13	17 600
\$2,000 to \$2,999	678	5	-	27	95	130	209	100	87	25	-	16 400
\$3,000 to \$3,999	636	5	10	32	82	90	236	115	38	16	12	16 600
\$4,000 to \$4,999	861	5	15	25	96	113	305	169	105	14	14	17 500
\$5,000 to \$5,999	940	-	-	27	70	78	338	278	116	27	6	19 400
\$6,000 to \$6,999	1 061	-	-	49	94	122	331	285	139	36	5	19 100
\$7,000 to \$7,999	5 249	15	37	125	244	553	1 873	1 406	740	180	76	19 400
\$8,000 to \$9,999	10 907	6	37	131	469	803	3 711	3 145	1 992	515	98	20 500
\$10,000 to \$14,999	8 065	5	30	39	239	528	2 202	1 932	1 976	877	237	22 600
\$15,000 to \$24,999	2 183	-	10	28	43	252	399	560	424	467	31	400
\$25,000 or more	12 400	...	\$9 100	\$7 900	\$9 700	\$10 300	\$11 700	\$12 300	\$14 000	\$17 700	\$25 200	...
Median												
YEAR MOVED INTO UNIT												
1969 to March 1970	2 155	-	-	22	37	74	585	530	4 003	1 509	546	21 700
1968	2 122	-	7	28	33	61	426	585	1 427	400	296	18 900
1967	1 747	8	17	48	69	429	478	329	806	310	142	22 800
1965 and 1966	3 282	20	39	94	215	794	2 153	1 563	1 239	501	149	21 900
1960 to 1964	5 745	-	6	95	161	361	1 670	1 563	1 750	433	198	19 800
1950 to 1959	10 743	17	74	170	459	879	3 770	2 860	642	225	61	17 800
1949 or earlier	5 922	26	68	189	459	879	2 136	1 237	-	-	-	...
HEATING EQUIPMENT												
Steam or hot water	19 383	10	42	199	497	1 200	5 657	5 520	4 003	1 509	546	21 700
Warm-air furnace	9 975	16	49	202	617	1 236	3 671	2 061	1 427	400	268	18 900
Built-in electric units	1 087	5	5	10	14	12	191	251	69	207	68	26 800
Floor, wall, or pipeless furnace	494	5	22	5	77	49	164	89	73	15	18	17 100
Other means	840	31	39	115	116	143	159	5	-	-	-	...
None	5	-	-	-	-	-	-	-	-	-	-	...
AIR CONDITIONING												
Room unit(s)	7 944	23	17	70	199	595	2 345	2 155	1 672	659	209	21 700
Central system	688	48	138	490	1 162	1 993	7 351	5 856	4 173	1 344	529	32 200
None	23 084	-	-	-	-	-	-	-	-	-	-	20 300

*Limited to one-family homes on less than 10 acres and no business on property.

Table A—2. Gross Rent of Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA

	Total	Less than \$50	\$50 to \$59	\$60 to \$69	\$70 to \$79	\$80 to \$99	\$100 to \$119	\$120 to \$149	\$150 to \$199	\$200 to \$299	\$300 or more	No cash rent	Median (dollars)
Specified renter occupied¹	24 298	782	637	1 461	2 067	5 865	5 254	3 773	2 641	718	43	1 057	103
ROOMS													
1 room	728	202	97	122	69	95	37	58	—	—	—	48	63
2 rooms	991	154	25	137	120	212	93	139	70	12	—	29	83
3 rooms	3 681	169	136	345	476	868	649	434	437	51	—	116	95
4 rooms	8 154	147	256	497	759	2 109	1 511	1 179	1 091	380	16	209	103
5 rooms	7 545	89	71	269	483	2 028	2 281	1 262	642	123	10	287	106
6 rooms	2 421	16	30	80	129	510	589	558	268	84	11	144	113
7 rooms	525	5	17	6	31	43	76	110	103	36	6	92	131
8 rooms or more	253	—	5	5	—	—	18	33	30	30	—	132	150
Median	4.3	2.7	3.7	3.8	4.0	4.3	4.6	4.6	4.2	4.3	...	4.9	...
PERSONS													
1 person	6 285	560	414	730	816	1 379	911	628	361	108	5	373	85
2 persons	6 858	160	97	446	626	1 758	1 447	961	840	217	12	294	103
3 persons	4 248	33	63	139	271	1 137	986	787	550	144	5	133	108
4 persons	3 163	5	37	92	183	712	841	591	466	110	15	111	112
5 persons	1 807	13	15	31	49	444	535	373	179	76	6	86	112
6 persons or more	1 937	11	11	23	122	435	534	433	245	63	—	60	113
Median	2.4	1.2	1.3	1.5	1.8	2.4	2.8	2.9	2.7	2.7	...	2.0	...
Units with roomers, boarders, or lodgers	364	18	—	25	15	85	58	64	52	—	—	47	105
PLUMBING FACILITIES BY PERSONS PER ROOM													
With all plumbing facilities	23 448	649	536	1 296	1 952	5 719	5 194	3 729	2 625	712	43	993	164
0.50 or less	11 220	383	354	880	1 153	2 780	2 160	1 448	1 054	328	17	663	98
0.51 to 1.00	9 985	229	171	392	642	2 352	2 428	1 620	1 321	320	26	284	109
1.01 to 1.50	1 882	13	5	7	126	472	541	405	215	53	—	33	111
1.51 or more	361	24	6	7	31	115	65	56	35	9	—	13	99
Lacking some or all plumbing facilities	850	133	101	165	113	146	60	44	16	6	—	64	70
0.50 or less	367	68	34	72	68	40	32	6	10	6	—	31	69
0.51 to 1.00	439	65	67	93	41	83	22	29	6	—	—	33	68
1.01 to 1.50	33	—	—	—	6	16	6	5	—	—	—	—	—
1.51 or more	11	—	—	—	—	7	—	4	—	—	—	—	—
BEDROOMS													
None	712	155	60	196	85	44	44	74	—	—	—	54	66
1	5 839	285	85	441	953	1 329	1 348	532	667	45	—	154	96
2	11 683	174	332	638	839	3 205	2 687	1 681	1 278	385	39	425	103
3 or more	6 158	22	95	180	236	1 362	1 501	1 257	829	232	49	395	113
YEAR STRUCTURE BUILT													
1969 to March 1970	877	62	9	20	—	15	64	244	366	93	4	—	153
1965 to 1968	2 005	94	—	—	5	22	72	451	986	293	26	56	167
1960 to 1964	898	63	30	10	14	47	74	189	316	113	—	42	150
1950 to 1959	1 912	67	36	76	95	497	436	353	181	40	6	125	106
1940 to 1949	2 144	35	30	111	106	532	651	386	145	49	7	92	107
1939 or earlier	16 462	461	532	1 244	1 847	4 752	3 957	2 150	647	130	—	742	96
ELEVATOR IN STRUCTURE													
4 floors or more	2 337	128	82	180	421	603	333	188	342	41	19	—	92
With elevator	1 136	45	46	81	113	179	255	63	294	41	19	—	108
Walk-up	1 201	83	36	99	308	424	78	125	48	—	—	—	84
1 to 3 floors	22 055	508	490	1 275	1 692	5 337	5 247	3 356	2 432	621	69	1 028	105
COMPLETE BATHROOMS													
1 and 1 1/2	22 201	644	488	1 210	1 853	5 423	4 889	3 718	2 467	670	—	839	104
2 or more	378	8	6	—	8	34	20	22	83	40	33	124	167
None or also used by another household	1 697	175	153	246	215	410	233	115	53	7	—	90	81
INCOME IN 1969													
Less than \$2,000	3 319	413	169	378	358	813	487	234	206	34	—	227	85
\$2,000 to \$2,999	1 397	112	65	124	179	336	240	172	78	9	—	82	89
\$3,000 to \$3,999	1 423	70	50	127	155	396	289	183	81	16	—	56	93
\$4,000 to \$4,999	1 500	33	55	116	139	330	347	227	130	40	—	83	102
\$5,000 to \$5,999	1 714	50	40	119	184	488	401	281	76	28	5	42	98
\$6,000 to \$6,999	1 779	34	39	130	162	522	414	289	107	16	—	66	99
\$7,000 to \$9,999	5 422	36	116	242	436	1 361	1 348	942	595	131	—	215	106
\$10,000 to \$14,999	5 403	29	61	175	336	1 202	1 333	1 056	828	218	4	161	112
\$15,000 to \$24,999	2 032	5	23	38	94	381	350	346	483	180	25	107	126
\$25,000 or more	309	—	19	12	24	36	45	43	87	46	9	18	127
Median	\$7 600	\$2000	\$4 600	\$4 900	\$6 100	\$7 100	\$8 000	\$8 600	\$10 300	\$11 900	...	\$6 600	...
YEAR MOVED INTO UNIT													
1969 to March 1970	6 825	167	63	208	314	1 314	1 421	1 438	1 331	376	25	178	118
1968	3 574	102	86	100	219	893	635	693	545	195	8	98	111
1967	2 178	90	76	122	94	439	622	412	237	39	—	47	108
1965 and 1966	2 721	147	78	155	240	678	584	471	226	49	—	93	101
1960 to 1964	3 320	138	69	255	353	924	808	499	125	20	—	127	97
1950 to 1959	3 285	76	148	299	430	975	727	289	87	17	—	237	92
1949 or earlier	2 373	107	127	317	426	642	345	63	52	21	—	273	82
GROSS RENT AS PERCENTAGE OF INCOME													
Less than 10 percent	3 257	117	206	382	519	1 090	578	240	79	22	4	...	87
10 to 14 percent	5 681	94	117	287	474	1 603	1 578	844	566	98	—	...	103
15 to 19 percent	4 228	80	56	151	296	1 010	1 020	991	570	136	18	...	115
20 to 24 percent	2 491	53	51	100	110	466	535	499	528	7	—	...	117
25 to 34 percent	2 503	124	49	122	180	470	574	515	312	142	7	...	111
35 percent or more	4 557	305	136	382	436	1 088	852	668	523	162	5	...	99
Not computed	1 581	9	22	37	52	138	117	76	63	10	—	1 057	101
AIR CONDITIONING													
Room unit(s)	3 991	61	92	127	249	764	575	726	976	247	—	174	121
Central system	278	—	—	16	—	—	13	23	70	131	17	8	210
None	20 007	766	555	1 313	1 827	5 103	4 554	3 106	1 557	339	16	871	100

¹Excludes one-family homes on 10 acres or more.

Table A-3. Income in 1969 of Families and Primary Individuals in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA

	Total	Less than \$2,000	\$2,000 to \$2,999	\$3,000 to \$3,999	\$4,000 to \$4,999	\$5,000 to \$5,999	\$6,000 to \$6,999	\$7,000 to \$9,999	\$10,000 to \$14,999	\$15,000 to \$24,999	\$25,000 or more	Median (dollars)
Owner occupied housing units	39 808	2 025	1 104	981	1 269	1 333	1 548	6 747	12 878	9 368	2 555	11 900
ROOMS												
1 and 2 rooms	129	32	10	9	10	5	4	28	11	11	9	5 700
3 rooms	594	116	65	42	52	50	40	110	76	36	7	5 400
4 rooms	5 003	469	267	281	250	273	301	1 044	1 431	656	31	8 900
5 rooms	13 100	650	358	391	453	523	645	2 658	4 596	2 453	373	10 900
6 rooms	12 003	463	274	153	153	305	388	1 922	4 201	3 318	626	12 600
7 rooms or more	8 979	295	128	105	153	177	170	985	2 563	2 894	1 509	14 800
PERSONS												
1 person	3 922	1 214	468	273	381	363	256	465	314	112	76	4 000
2 persons	11 271	476	474	525	693	594	756	2 148	3 123	1 943	537	10 000
3 and 4 persons	14 333	229	109	124	136	234	365	2 609	5 433	4 096	998	13 100
5 persons	5 109	56	14	44	25	64	84	844	2 021	1 491	464	13 500
6 persons or more	5 173	50	35	15	34	78	87	681	1 987	1 726	480	14 000
Units with roomers, boarders, or lodgers	419	72	29	10	26	25	22	34	118	65	18	9 300
BEDROOMS												
Less than 3	13 318	1 417	754	683	620	702	674	2 647	3 552	1 946	323	9 100
3	19 837	600	339	204	546	417	556	3 115	7 510	5 166	1 384	12 800
4 or more	6 870	248	23	63	176	84	119	718	2 328	1 880	1 231	14 300
YEAR STRUCTURE BUILT												
1969 to March 1970	664	8	-	9	17	9	27	123	251	183	37	12 800
1960 to 1968	7 319	155	53	78	122	171	184	1 273	2 788	1 944	551	12 900
1950 to 1959	11 484	326	163	212	219	365	361	1 912	4 283	2 677	766	12 500
1949 or earlier	20 341	1 536	888	682	911	788	976	3 439	5 556	4 364	1 201	10 900
YEAR MOVED INTO UNIT												
1969 to March 1970	2 576	62	25	41	57	93	90	457	967	644	140	12 400
1968	2 426	57	26	12	47	61	54	542	885	572	170	12 300
1960 to 1967	12 614	366	165	198	228	352	435	2 282	4 714	3 174	700	12 400
1959 or earlier	22 196	1 497	902	760	895	875	997	3 541	6 148	5 117	1 464	11 300
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	34 181	1 298	783	632	1 005	749	1 067	5 590	11 972	8 266	2 819	12 500
Clothes dryer	21 163	462	224	202	464	311	318	3 008	7 801	5 986	2 387	13 600
Dishwasher	10 160	295	35	100	140	95	100	921	3 321	3 208	1 945	15 200
Home load freezer	10 965	294	168	165	161	139	218	1 567	3 897	2 992	1 364	13 600
Owned second home	1 869	98	43	62	39	-	21	204	529	429	444	14 400
With air conditioning	10 431	274	176	157	184	283	315	1 559	3 316	3 012	1 155	13 400
Room unit(s)	9 620	260	151	157	184	266	308	1 518	3 157	2 744	875	13 100
Central system	811	14	25	-	-	17	7	41	159	268	280	20 300
Automobiles available:												
1	16 471	738	535	597	787	882	1 041	3 851	5 181	2 508	351	9 800
2	16 574	274	135	112	129	237	357	2 403	6 373	5 166	1 388	13 600
3 or more	3 675	5	13	13	24	20	37	256	845	1 733	729	18 600
Renter occupied housing units	24 630	3 329	1 410	1 451	1 519	1 751	1 816	5 497	5 468	2 073	316	7 600
ROOMS												
1 room	732	285	59	78	74	61	48	89	34	4	-	3 300
2 rooms	1 000	253	160	116	89	65	76	124	88	19	10	3 800
3 rooms	3 709	809	345	219	288	263	385	678	541	167	14	5 700
4 rooms	8 222	1 030	460	494	504	630	563	1 931	1 843	652	115	7 700
5 rooms	7 622	639	298	366	371	528	500	2 013	2 059	730	118	8 700
6 rooms or more	3 345	313	88	178	193	204	244	662	903	501	59	9 100
PERSONS												
1 person	6 336	2 115	701	630	622	648	471	724	354	59	12	3 600
2 persons	6 950	567	430	411	481	458	568	1 541	1 720	686	88	8 100
3 and 4 persons	7 526	413	226	300	241	436	475	2 179	2 288	858	110	9 300
5 persons	1 842	84	27	68	74	136	123	505	538	239	48	9 400
6 persons or more	1 976	150	26	42	101	73	179	548	568	231	58	9 300
Units with roomers, boarders, or lodgers	376	86	37	42	16	30	30	56	56	23	-	5 200
BEDROOMS												
None	712	239	65	71	98	49	55	114	21	-	-	3 700
1	5 839	1 213	611	568	437	383	568	1 022	770	242	25	5 200
2	11 771	1 246	706	725	575	901	695	3 018	2 728	968	209	8 000
3 or more	6 315	432	253	240	380	378	499	1 475	1 629	859	170	9 000
YEAR STRUCTURE BUILT												
1969 to March 1970	892	77	70	43	56	56	66	179	211	125	9	8 300
1960 to 1968	2 927	314	73	119	145	122	137	653	809	469	86	9 500
1950 to 1959	1 971	283	126	110	92	130	133	468	440	137	52	7 700
1949 or earlier	18 840	2 655	1 141	1 179	1 226	1 443	1 480	4 197	4 008	1 342	169	7 200
YEAR MOVED INTO UNIT												
1969 to March 1970	6 923	807	309	388	453	443	535	1 708	1 582	624	74	7 900
1968	3 595	419	191	219	199	257	348	794	886	248	34	7 600
1960 to 1967	8 338	1 167	454	426	519	699	528	1 932	1 881	620	112	7 600
1959 or earlier	5 774	943	371	376	364	350	413	1 044	1 275	556	82	7 200
GROSS RENT AS PERCENTAGE OF INCOME												
Specified renter occupied ¹	24 298	3 319	1 397	1 423	1 500	1 714	1 779	5 422	5 403	2 022	309	7 600
Less than 15 percent	8 938	-	-	24	58	167	319	2 314	3 995	1 775	286	12 000
15 to 19 percent	4 228	-	34	81	178	438	682	1 800	883	127	5	8 200
20 to 24 percent	2 491	12	68	127	286	504	425	737	314	18	-	6 600
25 to 34 percent	2 503	98	540	573	451	246	327	50	5	-	-	4 700
35 percent or more	4 557	2 458	1 000	595	322	112	41	29	-	-	-	2000-
Not computed	1 581	751	82	56	83	42	66	215	161	107	18	2 500
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	13 599	1 216	741	633	685	828	921	3 607	3 493	1 200	275	8 500
Clothes dryer	4 110	205	261	120	122	88	226	1 024	1 328	548	188	10 000
Dishwasher	1 667	238	42	46	45	42	54	279	550	278	93	10 800
Home load freezer	1 864	132	70	-	70	113	80	431	644	262	62	10 300
Owned second home	407	39	-	40	-	-	-	43	124	161	88	10 200
With air conditioning	4 311	260	170	120	152	176	268	937	1 502	638	88	10 200
Room unit(s)	4 033	218	170	103	139	159	268	908	1 421	559	88	10 200
Central system	278	42	-	17	13	17	-	29	81	79	-	11 300
Automobiles available:												
1	12 085	781	480	566	728	973	1 171	3 457	3 123	674	132	8 200
2	5 073	199	35	138	118	131	223	1 174	1 935	1 063	117	11 300
3 or more	477	20	16	14	-	-	24	24	153	204	22	14 600

¹Excludes one-family homes on 10 acres or more.

Table A-4. Plumbing Facilities by Persons Per Room for Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA	With all plumbing facilities					Lacking some or all plumbing facilities					
	Total	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more
Owner occupied housing units	39 808	39 424	19 438	17 464	2 250	272	384	260	92	27	5
PERSONS											
1 person.....	3 922	3 783	3 773	10	--	--	139	124	15	--	--
2 persons.....	11 271	11 142	10 904	228	--	10	129	118	6	--	5
3 persons.....	7 137	7 100	3 644	3 456	--	--	37	13	24	--	--
4 persons.....	7 196	7 154	859	6 242	38	15	42	5	32	5	--
5 persons.....	5 109	5 104	258	4 660	180	6	5	--	5	--	--
6 persons or more.....	5 173	5 141	--	2 868	2 032	241	32	--	10	22	--
Median.....	3.2	3.2	2.0	4.3	6.5	7.5+	1.9	1.6	...	...	...
Units with roomers, boarders, or lodgers.....	419	419	138	228	42	11	--	--	--	--	--
YEAR STRUCTURE BUILT											
1969 to March 1970.....	617	617	219	384	14	--	--	--	--	--	--
1965 to 1968.....	3 441	3 429	1 072	2 152	194	11	12	6	6	--	--
1960 to 1964.....	3 784	3 766	1 397	2 022	303	44	18	5	7	6	--
1950 to 1959.....	11 605	11 514	4 754	5 932	768	60	91	41	35	15	--
1940 to 1949.....	4 917	4 852	2 750	1 834	220	48	65	41	24	--	--
1939 or earlier.....	15 448	15 210	9 219	5 148	730	113	238	191	37	4	6
INCOME IN 1969											
Less than \$2,000.....	2 025	1 953	1 659	265	29	--	72	67	5	--	--
\$2,000 to \$2,999.....	1 104	1 095	931	143	10	11	9	--	--	--	--
\$3,000 to \$3,999.....	981	941	759	163	19	--	40	35	--	--	5
\$4,000 to \$4,999.....	1 269	1 234	1 078	131	25	--	35	35	--	--	--
\$5,000 to \$5,999.....	1 333	1 308	977	278	43	10	25	14	5	6	--
\$6,000 to \$6,999.....	1 548	1 548	1 066	406	76	--	--	--	--	--	--
\$7,000 to \$9,999.....	6 747	6 679	3 171	3 117	340	51	68	30	38	--	--
\$10,000 to \$14,999.....	12 878	12 784	4 822	6 943	914	105	94	56	26	12	--
\$15,000 to \$24,999.....	9 368	9 327	3 616	4 930	710	71	41	14	18	9	--
\$25,000 or more.....	2 555	2 555	1 359	1 088	84	24	--	--	--	--	--
Median.....	\$11 900	\$11 900	\$10 100	\$13 000	\$13 200	\$13 000	\$7 500	\$4 500	...	...	...
VALUE-INCOME RATIO											
Specified owner occupied ¹	31 784	31 535	14 864	14 671	1 802	198	249	164	59	21	5
Less than 1.5.....	10 639	10 557	4 003	5 594	838	122	82	31	28	18	5
1.5 to 1.9.....	7 306	7 258	3 055	3 663	502	38	48	29	16	3	--
2.0 to 2.4.....	4 606	4 582	1 890	2 484	192	16	24	19	5	--	--
2.5 to 2.9.....	2 818	2 798	1 345	1 318	123	12	20	15	5	--	--
3.0 to 3.9.....	2 581	2 556	1 685	785	86	--	25	25	--	--	--
4.0 or more.....	3 595	3 563	2 719	773	61	10	32	27	5	--	--
Not computed.....	239	221	167	54	--	--	18	18	--	--	--
HEATING EQUIPMENT											
Steam or hot water.....	23 800	23 674	11 824	10 454	1 243	153	126	77	42	7	--
Warm-air furnace.....	11 901	11 811	5 710	5 221	789	91	90	51	24	15	--
Built-in electric units.....	1 226	1 209	384	752	73	--	17	17	--	--	--
Floor, wall, or pipeless furnace.....	603	592	333	201	52	6	11	11	--	--	--
Other means.....	2 262	2 122	1 182	825	93	22	140	104	26	5	5
None.....	16	16	5	11	--	--	--	--	--	--	--
Renter occupied housing units	24 630	23 775	11 381	10 122	1 905	367	855	372	439	33	11
PERSONS											
1 person.....	6 336	5 704	5 377	327	--	--	632	272	360	--	--
2 persons.....	6 950	6 844	5 367	1 448	--	29	106	91	15	--	--
3 persons.....	4 327	4 286	556	3 702	19	9	41	9	32	--	--
4 persons.....	3 199	3 177	63	2 982	132	--	22	--	16	6	--
5 persons.....	1 842	1 842	18	1 337	439	26	22	--	16	6	--
6 persons or more.....	1 976	1 944	--	324	1 315	303	32	--	--	21	11
Median.....	2.4	2.4	1.6	3.4	6.0	7.5+	1.2	1.2	1.1	...	...
Units with roomers, boarders, or lodgers.....	376	376	171	147	37	21	--	--	--	--	--
YEAR STRUCTURE BUILT											
1969 to March 1970.....	771	763	323	398	18	24	8	--	8	--	--
1965 to 1968.....	2 030	2 015	828	1 064	110	13	15	--	15	--	--
1960 to 1964.....	963	930	403	447	68	12	33	--	33	--	--
1950 to 1959.....	2 038	1 985	743	822	361	59	53	8	31	8	6
1940 to 1949.....	2 160	2 123	864	904	316	39	37	24	13	--	--
1939 or earlier.....	16 668	15 937	8 156	6 385	1 154	242	731	359	344	19	9
INCOME IN 1969											
Less than \$2,000.....	3 329	3 030	2 141	697	145	47	299	147	146	6	--
\$2,000 to \$2,999.....	1 410	1 346	913	385	37	11	64	24	40	--	--
\$3,000 to \$3,999.....	1 451	1 346	856	433	47	10	105	68	33	4	--
\$4,000 to \$4,999.....	1 519	1 476	949	381	117	29	43	17	26	--	--
\$5,000 to \$5,999.....	1 751	1 693	1 013	550	119	11	58	26	32	--	--
\$6,000 to \$6,999.....	1 816	1 749	839	746	128	36	67	25	30	12	--
\$7,000 to \$9,999.....	5 497	5 374	1 973	2 763	549	89	123	32	84	--	--
\$10,000 to \$14,999.....	5 468	5 401	1 886	2 912	511	92	67	15	37	11	4
\$15,000 to \$24,999.....	2 073	2 056	719	1 107	204	26	17	12	5	--	--
\$25,000 or more.....	316	304	92	148	48	16	12	6	6	--	--
Median.....	\$7 600	\$7 700	\$5 800	\$9 000	\$9 000	\$8 300	\$3 600	\$3 200	\$4 000	...	...
GROSS RENT AS PERCENTAGE OF INCOME											
Specified renter occupied ²	24 298	23 448	11 220	9 985	1 882	361	850	367	439	33	11
Less than 10 percent.....	3 257	3 145	1 125	1 638	320	62	112	34	78	--	--
10 to 14 percent.....	5 681	5 532	2 058	2 862	511	101	149	51	77	17	4
15 to 19 percent.....	4 228	4 138	1 717	1 985	371	65	90	29	48	6	7
20 to 24 percent.....	2 491	2 444	1 193	1 013	209	29	47	22	25	--	--
25 to 34 percent.....	2 503	2 384	1 317	867	182	18	119	75	40	--	--
35 percent or more.....	4 557	4 321	2 867	1 193	205	56	236	108	122	6	--
Not computed.....	1 581	1 484	943	427	84	30	97	48	49	--	--
HEATING EQUIPMENT											
Steam or hot water.....	10 600	10 128	5 044	4 159	769	156	472	100	348	17	7
Warm-air furnace.....	3 278	3 215	1 497	1 367	284	67	63	32	27	4	--
Built-in electric units.....	1 681	1 671	693	881	92	10	5	--	5	--	--
Floor, wall, or pipeless furnace.....	569	563	199	280	84	--	6	--	--	--	--
Other means.....	8 422	8 118	3 898	3 410	676	134	304	234	54	12	4
None.....	80	75	50	25	--	--	5	--	5	--	--

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table A-5. Rooms in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

	Total	1 room	2 rooms	3 rooms	4 rooms	5 rooms	6 rooms	7 rooms	8 rooms or more	Median
The SMSA										
Owner occupied housing units	39 808	49	80	594	5 003	13 100	12 003	4 870	4 109	5.6
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	39 081	27	50	572	4 853	12 760	12 006	4 768	4 045	5.6
PERSONS										
1 person	3 922	25	40	288	1 055	1 145	843	267	259	5.0
2 persons	11 271	15	22	212	2 279	4 135	3 107	908	593	5.3
3 persons	7 137	—	—	34	858	2 588	2 283	906	468	5.5
4 persons	7 196	4	11	43	535	2 502	2 336	901	864	5.7
5 persons	5 109	—	—	6	180	1 521	1 806	882	714	6.0
6 persons or more	5 173	5	7	11	96	1 209	1 628	1 006	1 211	6.3
Median	3.2	...	...	1.5	2.1	3.0	3.4	3.9	4.4	...
PLUMBING FACILITIES BY PERSONS PER ROOM										
With all plumbing facilities	39 424	29	63	555	4 914	12 979	11 944	4 858	4 082	5.6
0.50 or less	19 438	—	23	260	3 255	5 218	6 190	2 077	2 415	5.7
0.51 to 1.00	17 464	10	22	240	1 388	6 563	5 104	2 560	1 577	5.6
1.01 to 1.50	2 250	—	—	38	252	1 071	601	211	13	5.0
1.51 or more	272	19	18	17	19	127	49	10	27	4.7
Lacking some or all plumbing facilities	384	20	17	28	79	62	43	8	—	4.6
0.50 or less	260	—	17	6	5	48	10	—	—	...
0.51 to 1.00	92	15	—	5	5	—	—	—	—	...
1.01 to 1.50	27	—	—	—	—	—	—	—	—	...
1.51 or more	5	5	—	—	—	—	—	—	—	...
BEDROOMS										
None and 1	1 976	70	78	382	987	379	1 475	300	84	4.0
2	11 342	—	—	121	3 936	5 426	8 788	2 861	741	4.8
3	19 837	—	—	—	208	7 239	1 307	2 118	3 384	5.8
4 or more	6 870	—	—	—	—	61	—	—	—	7.5
YEAR STRUCTURE BUILT										
1949 to March 1970	664	—	—	—	50	189	227	—	14	4.0
1960 to 1968	7 319	—	23	68	475	2 643	2 016	1 072	1 022	5.7
1950 to 1959	11 484	5	13	140	1 634	4 776	3 158	1 130	628	5.3
1949 or earlier	20 341	44	44	386	2 844	5 492	6 602	2 604	2 325	5.7
COMPLETE BATHROOMS										
1 and 1 1/2	33 377	27	55	505	4 684	12 295	10 395	3 556	1 860	5.4
2 or more	5 748	—	—	67	175	471	1 632	1 212	2 191	6.9
None or also used by another household	687	23	19	64	131	281	103	28	38	4.9
VALUE-INCOME RATIO										
Specified owner occupied ¹	31 784	43	39	245	2 954	9 944	10 611	4 401	3 547	5.8
Less than 1.5	10 639	14	—	53	1 043	3 858	3 203	1 426	1 042	5.7
1.5 to 1.9	7 306	5	—	51	649	2 489	2 458	952	702	5.8
2.0 to 2.9	7 424	10	13	37	504	2 325	2 414	1 186	935	5.7
3.0 or more	6 176	14	13	95	728	1 839	1 816	816	855	5.3
Not computed	239	—	13	9	30	88	65	21	13	...
Renter occupied housing units	24 630	732	1 000	3 709	8 222	7 622	2 475	562	308	4.3
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	22 663	315	855	3 599	7 454	7 301	2 379	501	259	4.4
PERSONS										
1 person	6 336	687	779	1 900	1 738	885	242	65	40	3.4
2 persons	6 950	29	193	1 270	2 759	1 978	571	96	54	4.2
3 persons	4 327	9	19	353	1 907	1 474	449	64	62	4.4
4 persons	3 199	—	—	138	1 127	1 362	435	74	63	4.7
5 persons	1 842	—	—	26	445	877	345	110	39	5.0
6 persons or more	1 976	7	9	22	246	1 046	433	153	60	5.2
Median	2.4	1.0	1.1	1.5	2.4	3.1	3.4	4.3	3.6	...
PLUMBING FACILITIES BY PERSONS PER ROOM										
With all plumbing facilities	23 775	365	932	3 586	8 074	7 536	2 418	556	308	4.4
0.50 or less	11 381	—	711	1 807	4 379	2 810	1 228	219	227	4.2
0.51 to 1.00	10 122	327	193	1 599	3 024	3 685	953	265	76	4.5
1.01 to 1.50	1 905	—	19	132	575	190	122	58	5	4.8
1.51 or more	367	38	68	123	148	86	57	14	6	4.4
Lacking some or all plumbing facilities	855	367	68	93	118	53	34	6	—	2.4
0.50 or less	372	—	68	24	10	28	17	—	—	3.7
0.51 to 1.00	439	360	—	6	16	5	—	—	—	1.1
1.01 to 1.50	33	7	—	—	4	—	—	—	—	...
1.51 or more	11	—	—	—	—	—	—	—	—	...
BEDROOMS										
None	712	712	—	—	—	—	—	—	—	1.0
1	5 839	—	1 025	3 022	1 485	258	24	25	31	3.1
2	11 771	—	—	251	6 880	4 269	340	31	592	4.3
3 or more	6 315	—	—	—	112	3 281	1 926	—	—	5.4
YEAR STRUCTURE BUILT										
1969 to March 1970	892	61	47	157	482	131	9	5	—	3.9
1960 to 1968	2 927	130	234	538	1 455	439	57	39	35	3.9
1950 to 1959	1 971	41	45	273	648	761	135	51	19	4.5
1949 or earlier	18 840	500	674	2 741	5 639	6 291	2 274	467	254	4.5
COMPLETE BATHROOMS										
1 and 1 1/2	22 484	359	891	3 620	7 426	7 269	2 350	424	145	4.4
2 or more	441	—	13	14	80	86	57	77	114	6.0
None or also used by another household	1 705	385	109	239	581	252	102	37	—	3.7
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied ²	24 298	728	991	3 681	8 154	7 545	2 421	525	253	4.3
Less than 10 percent	3 257	66	64	335	1 078	1 224	405	71	14	4.6
10 to 14 percent	5 681	118	154	676	1 912	2 082	577	122	40	4.5
15 to 19 percent	4 228	37	120	576	1 372	1 505	436	80	32	4.2
20 to 24 percent	2 491	107	111	415	971	696	209	46	6	4.2
25 to 34 percent	2 503	72	141	420	886	669	375	61	15	3.9
35 percent or more	4 557	259	348	1 019	1 594	900	239	98	14	3.9
Not computed	1 581	69	53	240	341	469	180	97	132	4.7

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table A-6. Units in Structure for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Owner occupied				Renter occupied							
	Total	1 unit	2 units or more	Mobile home or trailer	Total	1 unit	2 units	3 and 4 units	5 to 9 units	10 to 19 units	20 units or more	Mobile home or trailer
All occupied housing units	39 808	33 025	6 261	522	24 630	2 882	4 973	8 738	3 781	2 487	1 745	24
ROOMS												
1 room	49	43	6	—	732	39	19	42	98	239	289	6
2 rooms	80	45	25	10	1 000	53	51	167	185	280	264	—
3 rooms	594	262	298	34	3 709	297	553	827	879	624	524	5
4 rooms	5 003	3 096	1 587	320	8 222	637	1 935	2 932	1 343	856	506	13
5 rooms	13 100	10 173	2 801	126	7 622	709	1 780	3 704	901	400	128	—
6 rooms	12 003	10 844	1 127	32	2 475	586	509	942	322	82	34	—
7 rooms	4 870	4 616	254	—	562	316	82	105	53	6	—	
8 rooms or more	4 109	3 946	163	—	308	245	44	19	—	—	—	
Median	5.6	5.8	4.9	4.2	4.3	5.1	4.5	4.6	4.0	3.6	3.1	...
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	39 424	32 736	6 170	518	23 775	2 792	4 877	8 536	3 640	2 321	1 371	18
0.50 or less	19 438	15 613	3 607	218	11 381	1 252	2 230	4 197	1 647	1 106	931	18
0.51 to 1.00	17 464	15 090	2 134	240	10 122	1 244	2 179	3 730	1 514	917	538	—
1.01 to 1.50	2 250	1 835	365	50	1 905	271	399	563	379	240	53	—
1.51 or more	272	198	64	10	367	25	69	66	100	58	49	—
Lacking some or all plumbing facilities	384	289	91	4	855	90	96	182	141	144	174	6
0.50 or less	260	193	63	4	372	65	62	134	66	28	17	—
0.51 to 1.00	92	70	22	—	439	15	34	32	70	125	157	6
1.01 to 1.50	27	21	6	—	33	6	—	16	5	6	—	
1.51 or more	5	5	—	—	11	4	—	—	—	7	—	
BEDROOMS												
None	92	70	22	—	712	43	—	24	119	95	431	—
1	1 884	1 102	701	81	5 839	364	847	1 433	1 139	1 132	924	—
2	11 342	7 784	3 237	321	11 771	827	2 585	5 302	1 398	1 265	366	28
3	19 837	17 921	1 820	96	5 374	923	1 108	2 136	747	312	148	—
4 or more	6 870	6 545	325	—	941	561	146	106	128	—	—	
YEAR STRUCTURE BUILT												
1969 to March 1970	664	581	26	57	892	52	24	326	83	148	259	—
1965 to 1968	3 521	3 250	89	182	2 021	157	121	374	298	500	565	6
1960 to 1964	3 798	3 560	91	147	906	118	136	143	144	237	123	5
1950 to 1959	11 484	11 061	312	111	1 971	579	475	241	278	314	71	13
1940 to 1949	4 919	4 541	373	5	2 202	445	617	602	352	153	33	—
1939 or earlier	15 422	10 032	5 370	20	16 638	1 531	3 600	7 052	2 626	1 135	694	—
INCOME IN 1969												
Less than \$2,000	2 025	1 289	709	27	3 329	291	551	955	639	538	349	6
\$2,000 to \$2,999	1 104	715	379	10	1 410	102	225	499	291	162	131	—
\$3,000 to \$3,999	981	660	285	36	1 451	178	237	480	300	167	89	—
\$4,000 to \$4,999	1 269	883	367	19	1 519	172	258	512	252	171	144	10
\$5,000 to \$5,999	1 333	960	351	22	1 751	177	299	676	313	176	110	—
\$6,000 to \$6,999	1 548	1 106	393	49	1 816	213	345	642	307	170	139	—
\$7,000 to \$9,999	6 747	5 436	1 162	149	5 497	615	1 136	2 142	792	462	316	8
\$10,000 to \$14,999	12 878	11 233	1 468	177	5 468	718	1 342	2 059	634	427	288	—
\$15,000 to \$24,999	9 368	8 325	1 010	33	2 073	358	514	671	213	172	145	—
\$25,000 or more	2 555	2 418	137	—	316	58	66	76	40	42	34	—
Median	\$11 900	\$12 400	\$8 700	\$9 000	\$7 600	\$8 500	\$8 500	\$7 800	\$6 300	\$6 200	\$6 400	...
YEAR MOVED INTO UNIT												
1969 to March 1970	2 576	2 208	253	115	6 923	801	1 207	2 306	1 079	841	689	—
1968	2 426	2 148	195	83	3 595	318	638	1 293	590	410	346	—
1967	2 067	1 791	224	52	2 195	236	408	805	385	203	152	6
1965 and 1966	3 833	3 336	396	101	2 771	351	581	922	518	255	134	10
1960 to 1964	6 714	5 879	699	136	3 372	397	875	1 093	515	350	126	16
1950 to 1959	12 021	10 648	1 337	36	2 954	414	703	1 035	431	191	180	—
1949 or earlier	10 175	6 940	3 219	16	2 820	387	648	1 208	335	141	101	—
GROSS RENT												
Specified renter occupied¹ .....	...	...	...	...	24 298	2 550	4 973	8 738	3 781	2 487	1 745	24
Less than \$50 .....	...	...	...	...	782	67	64	178	160	160	153	—
\$50 to \$59 .....	...	...	...	...	637	28	129	199	144	75	62	—
\$60 to \$69 .....	...	...	...	...	1 461	63	263	549	280	183	118	5
\$70 to \$79 .....	...	...	...	...	2 067	84	413	923	347	202	94	4
\$80 to \$99 .....	...	...	...	...	5 865	321	1 317	2 289	1 097	651	185	5
\$100 to \$119 .....	...	...	...	...	5 254	380	1 238	2 377	861	196	202	—
\$120 to \$149 .....	...	...	...	...	3 773	486	886	1 354	509	334	204	—
\$150 to \$199 .....	...	...	...	...	2 641	399	383	644	286	413	516	—
\$200 to \$299 .....	...	...	...	...	718	184	51	63	54	185	181	—
\$300 or more .....	...	...	...	...	43	17	—	5	—	4	17	—
No cash rent .....	...	...	...	...	1 057	521	229	157	43	84	13	10
Median .....	...	...	...	...	\$103	\$124	\$103	\$101	\$97	\$98	\$128	...
HEATING EQUIPMENT												
Steam or hot water	23 800	20 115	3 685	—	10 600	1 197	2 464	2 897	1 350	1 488	1 204	—
Warm-air furnace	11 901	10 303	1 165	433	3 278	946	851	842	297	153	185	4
Built-in electric units	1 226	1 148	78	—	1 681	181	120	429	256	417	278	—
Floor, wall, or pipeless furnace	603	511	69	23	569	90	123	98	145	79	34	—
Other means	2 262	943	1 259	60	8 422	459	1 410	4 426	1 719	344	44	20
None	16	5	5	6	80	9	5	46	14	6	—	
AIR CONDITIONING												
Room unit(s)	9 620	8 258	1 275	87	4 033	461	789	1 319	475	511	472	6
Central system	811	759	40	12	278	33	49	13	7	19	157	—
None	29 381	23 933	5 008	440	20 319	2 410	4 222	7 330	3 371	1 861	1 099	26
AUTOMOBILES AVAILABLE												
1	16 471	13 054	3 145	272	12 085	1 422	2 585	4 558	1 713	1 061	739	7
2	16 574	14 890	1 459	225	5 073	948	1 272	1 727	511	386	229	—
3 or more	3 675	3 328	317	30	477	102	171	105	72	12	15	—
None	3 092	1 678	1 402	12	6 995	432	1 032	2 272	1 557	932	745	25

¹Excludes one-family homes on 10 acres or more.

Table A-7. Household Composition for Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA	Two-or-more-person households										One-person households	
	Total	Male head, wife present, no nonrelatives					Other male head		Female head		Under 65 years	65 years and over
		Under 25 years	25 to 34 years	35 to 44 years	45 to 64 years	65 years and over	Under 65 years	65 years and over	Under 65 years	65 years and over		
Owner occupied housing units	39 808	317	4 972	6 978	15 020	4 343	862	401	1 997	996	1 888	2 034
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	39 424	317	4 963	6 950	14 917	4 267	853	401	1 982	991	1 823	1 940
0.50 or less	19 438	155	937	995	7 369	3 364	538	298	1 201	808	1 823	1 950
0.51 to 1.00	17 464	150	3 553	4 867	6 759	863	296	96	697	173	10	10
1.01 to 1.50	2 250	12	432	971	693	35	13	7	77	10	-	-
1.51 or more	272	-	41	117	96	5	6	-	7	-	-	-
Lacking some or all plumbing facilities	384	-	9	28	103	76	9	-	15	5	65	74
0.50 or less	260	-	9	5	34	64	4	-	15	5	55	69
0.51 to 1.00	92	-	-	5	60	12	-	-	-	-	10	5
1.01 to 1.50	27	-	-	18	9	-	-	-	-	-	-	-
1.51 or more	5	-	-	-	-	-	5	-	-	-	-	-
UNITS IN STRUCTURE												
1	33 025	236	4 501	6 315	12 916	3 234	668	257	1 614	714	1 298	1 272
2 or more	6 261	40	367	574	1 986	1 067	175	144	358	282	530	738
Mobile home or trailer	522	41	104	89	118	42	19	-	25	-	60	24
INCOME IN 1969												
Less than \$2,000	2 025	15	59	60	162	227	47	26	149	66	278	936
\$2,000 to \$2,999	1 104	-	14	22	48	343	13	24	116	56	97	371
\$3,000 to \$3,999	981	-	10	22	71	424	19	5	106	51	147	126
\$4,000 to \$4,999	1 269	9	34	20	157	462	15	20	118	53	180	201
\$5,000 to \$5,999	1 333	24	67	88	202	361	15	26	121	66	242	121
\$6,000 to \$6,999	1 548	19	138	125	316	407	47	10	150	80	191	65
\$7,000 to \$9,999	6 747	114	1 321	1 087	2 134	704	148	79	474	221	366	99
\$10,000 to \$14,999	12 878	102	2 357	3 104	5 281	681	290	113	450	186	241	73
\$15,000 to \$24,999	9 368	30	874	2 010	5 157	500	191	64	256	174	89	23
\$25,000 or more	2 555	4	98	440	1 492	234	77	34	57	43	57	19
Median	\$11 900	\$9 400	\$11 800	\$13 300	\$14 200	\$6 900	\$12 200	\$10 500	\$8 500	\$8 700	\$6 000	\$2 200
VALUE-INCOME RATIO												
Specified owner occupied ¹	31 784	231	4 463	6 172	12 326	3 037	626	248	1 556	691	1 222	1 212
Less than 1.5	10 639	55	790	2 135	5 921	643	253	113	366	174	149	40
1.5 to 1.9	7 306	34	1 366	1 757	2 901	407	142	58	266	143	173	59
2.0 to 2.4	4 606	58	1 010	1 046	1 569	374	76	22	226	67	106	52
2.5 to 2.9	2 818	21	679	609	831	256	50	10	116	50	134	62
3.0 to 3.9	2 581	34	365	340	622	561	37	16	160	106	201	139
4.0 or more	3 595	24	245	280	447	780	63	29	389	146	386	806
Not computed	239	5	8	5	35	16	5	-	33	5	73	54
Renter occupied housing units	24 630	2 029	4 185	2 201	3 855	1 549	781	235	2 934	525	3 589	2 747
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	23 775	2 014	4 159	2 190	3 821	1 500	755	231	2 895	506	3 269	2 435
0.50 or less	11 381	665	762	209	1 420	979	414	152	1 075	328	3 126	2 251
0.51 to 1.00	10 122	1 272	2 693	1 354	1 942	484	302	70	1 512	166	143	184
1.01 to 1.50	1 905	66	643	494	385	19	33	-	253	12	-	-
1.51 or more	367	11	61	133	74	18	6	9	55	-	-	-
Lacking some or all plumbing facilities	855	15	26	11	34	49	24	4	39	19	320	312
0.50 or less	372	-	-	6	10	39	15	4	14	12	131	141
0.51 to 1.00	439	15	6	5	19	10	11	-	13	-	189	171
1.01 to 1.50	33	-	16	-	5	-	-	-	12	-	-	-
1.51 or more	11	-	4	-	-	-	-	-	7	-	-	-
UNITS IN STRUCTURE												
1	2 882	198	547	353	670	192	87	20	251	79	273	212
2 to 4	13 711	1 267	2 603	1 308	2 392	850	483	138	1 563	277	1 657	1 173
5 to 19	6 268	468	838	483	640	355	164	57	1 016	112	1 250	885
20 or more	1 745	96	197	57	149	152	47	20	104	57	400	466
Mobile home or trailer	24	-	-	-	4	-	-	-	-	-	9	11
GROSS RENT												
Specified renter occupied ²	24 298	1 994	4 119	2 167	3 785	1 535	776	230	2 892	515	3 556	2 729
Less than \$50	782	15	16	5	39	73	17	5	47	5	165	395
\$50 to \$59	637	6	15	14	79	38	10	-	43	18	229	185
\$60 to \$69	1 461	43	68	69	199	127	28	12	150	35	429	301
\$70 to \$79	2 067	105	171	135	306	136	63	42	236	57	427	389
\$80 to \$99	5 865	510	842	489	948	449	235	77	748	188	878	501
\$100 to \$119	5 254	456	1 043	605	856	326	168	23	769	97	543	368
\$120 to \$149	3 773	481	957	387	530	117	118	26	495	34	426	202
\$150 to \$199	2 641	327	761	308	409	125	55	20	259	16	213	148
\$200 to \$299	718	39	151	84	172	41	30	5	68	20	45	63
\$300 or more	43	-	4	16	6	-	-	7	5	-	5	-
No cash rent	1 057	12	91	55	241	103	52	13	72	45	196	177
GROSS RENT AS PERCENTAGE OF INCOME BY INCOME												
Specified renter occupied ²	24 298	1 994	4 119	2 167	3 785	1 535	776	230	2 892	515	3 556	2 729
Less than \$5,000	7 639	294	322	153	298	681	93	111	1 424	223	1 675	2 365
Less than 20 percent	375	3	6	4	9	56	7	-	41	-	144	105
20 to 24 percent	493	10	27	26	18	48	-	10	32	20	149	153
25 to 34 percent	1 424	52	72	40	70	199	21	19	289	32	334	296
35 percent or more	4 375	200	176	70	151	295	21	14	853	144	824	1 550
Not computed	972	29	41	13	50	83	21	14	209	27	224	261
\$5,000 to \$9,999	8 915	1 071	1 946	840	1 158	488	394	52	964	176	1 538	286
Less than 20 percent	5 720	682	1 201	584	876	286	233	39	548	145	959	167
20 to 24 percent	1 666	225	413	126	165	128	84	6	189	4	305	23
25 to 34 percent	1 024	133	244	88	49	52	39	7	175	10	158	69
35 percent or more	182	25	29	15	16	54	12	-	35	-	22	11
Not computed	323	6	59	27	16	28	5	-	17	17	94	16
\$10,000 to \$14,999	5 403	524	1 413	815	1 448	203	180	36	371	59	304	50
Less than 20 percent	4 878	498	1 275	756	1 299	167	165	32	330	54	269	33
20 to 24 percent	314	20	120	43	70	4	-	-	27	-	19	11
25 percent or more	50	6	8	9	6	-	-	-	5	5	5	6
Not computed	161	-	10	7	73	32	15	4	9	-	11	28
\$15,000 or more	2 341	105	438	359	681	163	107	31	133	57	39	22
Less than 20 percent	2 193	105	424	343	613	152	107	24	113	51	39	6
20 to 24 percent	18	-	-	-	-	-	-	-	5	-	-	-
25 percent or more	5	-	-	-	-	-	-	-	10	-	-	-
Not computed	125	-	14	16	68	11	-	-	-	-	-	-

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table A-8. Persons in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Total	1 person	2 persons	3 persons	4 persons	5 persons	6 persons	7 persons	8 persons or more	Median
Owner occupied housing units	39 808	3 922	11 271	7 137	7 196	5 109	2 850	1 440	883	3.2
BEDROOMS										
None and 1	1 976	641	1 120	70	108	19	18	-	-	1.8
2	11 342	2 011	5 265	2 596	1 077	245	105	43	-	2.2
3	19 837	1 046	4 370	3 827	4 485	3 679	1 761	397	272	3.7
4 or more	6 870	343	838	766	1 131	1 148	1 075	863	686	4.8
YEAR STRUCTURE BUILT										
1969 to March 1970	664	24	144	116	219	68	51	18	24	3.7
1965 to 1968	3 521	84	534	614	904	842	313	153	77	4.1
1960 to 1964	3 798	186	767	715	869	640	389	152	80	3.8
1950 to 1959	11 484	641	3 146	2 166	2 391	1 556	398	230	330	3.4
1940 to 1949	4 919	476	1 612	995	791	525	279	118	123	2.9
1939 or earlier	15 422	2 511	5 068	2 531	2 022	1 478	862	601	349	2.6
UNITS IN STRUCTURE										
1	33 025	2 570	8 974	5 901	6 337	4 623	2 536	1 311	773	3.3
2 or more	6 261	1 268	2 133	1 127	768	431	304	124	106	2.4
Mobile home or trailer	522	84	164	109	91	55	10	5	4	2.6
COMPLETE BATHROOMS										
1 and 1 1/2	33 377	3 307	9 918	6 191	5 991	4 142	2 084	1 055	689	3.1
2 and 2 1/2	4 950	293	999	790	1 030	817	594	316	111	3.9
3 or more	798	72	119	115	147	147	85	80	33	4.1
None or also used by another household	687	218	234	74	77	13	46	10	15	2.0
HOUSEHOLD COMPOSITION										
Two-or-more-person households	35 886		11 271	7 137	7 196	5 109	2 850	1 440	883	3.4
Male head, wife present, no nonrelatives	31 630	...	9 111	6 113	6 653	4 863	2 712	1 333	845	3.6
Under 25 years	317	...	126	100	49	5	-	-	7	2.8
25 to 34 years	4 972	...	472	797	1 801	1 146	459	197	100	4.2
35 to 44 years	6 978	...	351	663	1 805	1 797	1 254	689	419	4.9
45 to 64 years	15 020	...	4 985	3 763	2 776	1 808	942	432	314	3.2
65 years and over	4 343	...	3 177	790	222	82	52	15	5	2.2
Other male head	1 263	...	638	291	150	73	62	27	22	2.5
Under 65 years	862	...	380	221	113	49	50	27	22	2.7
65 years and over	401	...	258	70	37	24	12	-	-	2.3
Female head	2 993	...	1 522	733	393	173	76	80	16	2.5
Under 65 years	1 997	...	869	511	316	144	76	65	16	2.8
65 years and over	996	...	653	222	77	29	-	15	-	2.3
One-person households	3 922	3 922	...	...	...	...	...	...	...	1.0
VALUE-INCOME RATIO										
Specified owner occupied ¹	31 784	2 434	8 575	5 674	6 114	4 522	2 463	1 272	730	3.4
Less than 1.5	10 639	189	2 362	2 337	2 028	1 789	992	545	397	3.7
1.5 to 1.9	7 306	232	1 916	1 377	1 564	1 102	609	322	184	3.6
2.0 to 2.4	4 606	158	1 173	750	1 183	722	435	144	41	3.7
2.5 to 2.9	2 818	196	782	430	667	384	184	124	51	3.5
3.0 to 3.9	2 581	340	1 058	355	341	265	111	74	37	2.4
4.0 or more	3 595	1 192	1 239	397	307	256	126	58	20	2.0
Not computed	239	127	45	28	24	4	6	5	-	1.4
Renter occupied housing units	24 630	6 336	6 950	4 327	3 199	1 842	986	605	385	2.4
BEDROOMS										
None	712	690	22	-	-	-	-	-	-	1.0
1	5 839	3 213	2 150	238	180	33	-	25	-	1.4
2	11 771	1 986	3 869	3 100	1 838	667	202	84	25	2.5
3 or more	6 315	477	687	866	1 392	1 307	855	396	335	4.3
YEAR STRUCTURE BUILT										
1969 to March 1970	892	219	304	206	98	35	14	5	11	2.2
1965 to 1968	2 021	428	672	455	293	141	24	8	-	2.4
1960 to 1964	906	235	264	181	140	55	18	5	8	2.3
1950 to 1959	1 971	395	478	304	205	231	185	108	65	2.9
1940 to 1949	2 202	352	619	393	349	215	137	93	44	2.8
1939 or earlier	16 638	4 707	4 613	2 788	2 114	1 165	608	386	257	2.3
UNITS IN STRUCTURE										
1	2 882	485	832	461	445	313	156	108	82	2.8
2	4 973	1 005	1 347	1 121	730	375	220	98	77	2.6
3 and 4	8 738	1 825	2 630	1 771	1 274	655	310	187	86	2.5
5 to 9	3 781	1 133	962	513	470	296	163	160	84	2.3
10 to 19	2 487	1 002	569	353	218	143	118	47	37	1.9
20 or more	1 745	866	606	108	62	60	19	5	19	1.5
Mobile home or trailer	24	20	4	-	-	-	-	-	-	...
COMPLETE BATHROOMS										
1 and 1 1/2	22 484	5 496	6 500	4 004	2 948	1 675	908	610	343	2.4
2 or more	441	19	130	80	89	71	12	10	30	3.4
None or also used by another household	1 705	844	335	200	123	83	62	38	20	1.5
HOUSEHOLD COMPOSITION										
Two-or-more-person households	18 294		6 950	4 327	3 199	1 842	986	605	385	3.0
Male head, wife present, no nonrelatives	13 819	...	4 633	3 356	2 635	1 554	854	475	302	3.2
Under 25 years	2 029	...	813	779	268	149	20	-	-	2.8
25 to 34 years	4 185	...	857	1 069	1 146	597	324	139	53	3.6
35 to 44 years	2 201	...	270	337	509	422	320	170	173	4.5
45 to 64 years	3 855	...	1 467	959	646	360	186	161	76	3.0
65 years and over	1 549	...	1 226	222	66	26	4	5	-	2.1
Other male head	1 016	...	699	150	78	49	18	10	12	2.2
Under 65 years	781	...	523	106	73	43	18	6	12	2.2
65 years and over	235	...	176	44	5	6	-	4	-	2.2
Female head	3 459	...	1 618	811	486	239	114	120	71	2.6
Under 65 years	2 934	...	1 219	720	474	239	110	101	71	2.8
65 years and over	525	...	399	91	12	-	4	19	-	2.2
One-person households	6 336	6 336	...	...	...	...	...	...	...	1.0
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied ²	24 298	6 285	6 858	4 248	3 163	1 807	971	594	372	2.4
Less than 10 percent	3 257	273	1 105	742	518	299	135	110	75	2.8
10 to 14 percent	5 681	684	1 716	1 259	956	502	327	143	94	2.8
15 to 19 percent	4 228	781	1 225	828	674	352	185	128	55	2.6
20 to 24 percent	2 491	666	681	385	339	228	97	65	30	2.4
25 to 29 percent	2 503	848	696	346	269	146	80	58	40	2.1
30 to 34 percent	4 557	2 407	1 030	497	256	174	100	43	50	1.4
35 to 39 percent	1 581	606	405	191	151	106	47	28	28	2.0

¹ on less than 10 acres and no business on property. ² Excludes one-family homes on 10 acres or more.

Table A-9. Duration of Vacancy for Year-Round Vacant for Sale and Vacant for Rent Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	The SMSA				The SMSA	The SMSA			
	Total	Less than 2 months	2 up to 6 months	6 months or more		Total	Less than 2 months	2 up to 6 months	6 months or more
Vacant for sale	255	86	74	95	Vacant for rent	1 614	870	484	260
ROOMS					ROOMS				
1 to 3 rooms	12	..	3	9	1 room	25	7	15	3
4 rooms	44	14	22	8	2 rooms	58	29	23	6
5 rooms	76	27	19	30	3 rooms	393	192	132	69
6 rooms	44	17	7	20	4 rooms	690	429	178	83
7 rooms or more	79	28	23	28	5 rooms	357	188	97	72
					6 rooms	51	18	23	10
					7 rooms or more	40	7	16	17
PLUMBING FACILITIES					PLUMBING FACILITIES				
With all plumbing facilities	250	86	69	95	With all plumbing facilities	1 606	866	480	260
Lacking some or all plumbing facilities	5	..	5	..	Lacking some or all plumbing facilities	8	4	4	..
BEDROOMS					BEDROOMS				
None and 1	35	..	..	35	None	20	..	20	..
2	58	29	29	..	1	578	290	213	75
3	140	39	21	80	2	814	382	242	190
4 or more	43	22	..	21	3 or more	175	112	50	13
YEAR STRUCTURE BUILT					YEAR STRUCTURE BUILT				
1969 to March 1970	66	36	17	13	1969 to March 1970	276	189	48	39
1960 to 1968	27	7	10	10	1960 to 1968	159	88	68	3
1950 to 1959	17	4	8	5	1950 to 1959	98	47	37	14
1949 or earlier	145	39	39	67	1949 or earlier	1 081	546	331	204
UNITS IN STRUCTURE					UNITS IN STRUCTURE				
1	196	54	58	84	1	100	45	22	33
2 or more	59	32	16	11	2 to 4	651	292	217	142
HEATING EQUIPMENT					5 to 9	292	145	99	48
Steam or hot water	121	24	37	60	10 to 19	349	197	122	30
Warm-air furnace	66	17	27	22	20 or more	222	191	24	7
Built-in electric units	33	25	2	6					
Floor, wall, or pipeless furnace	35	20	8	7	RENT ASKED				
Other means .....	..	..	..	..	Specified vacant for rent?	1 600	870	484	246
None .....	..	..	..	..	Less than \$50	182	87	36	59
SALES PRICE ASKED					\$50 to \$59	170	86	53	31
Specified vacant for sale ¹	196	54	58	84	\$60 to \$79	466	199	195	72
Less than \$5,000 .....	..	..	5	..	\$80 to \$99	191	100	59	32
\$5,000 to \$9,999	5	..	4	23	\$100 to \$119	143	94	45	4
\$10,000 to \$14,999	33	6	11	10	\$120 to \$149	155	93	19	43
\$15,000 to \$19,999	35	14	14	19	\$150 to \$199	238	165	73	..
\$20,000 to \$24,999	43	4	24	23	\$200 or more	55	46	4	5
\$25,000 to \$34,999	51	4	..	6	Median rent asked	\$79	\$93	\$76	\$69
\$35,000 to \$49,999	23	17	3	3					
\$50,000 or more	6	3	..	..			
Median price asked	\$22 900	..	..	..		

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table A-10. Sales Price Asked and Rent Asked for Year-Round Vacant Housing Units: 1970

[Data based on sample, see text. For meaning of symbols, see text]

The SMSA	Sales price asked - Vacant for sale ¹						Rent asked - Vacant for rent ²							
	Total	Less than \$10,000	\$10,000 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 or more	Total	Less than \$60	\$60 to \$79	\$80 to \$99	\$100 to \$149	\$150 to \$199	\$200 or more
Total	196	5	33	35	43	51	29	1 600	352	466	191	298	238	55
PLUMBING FACILITIES														
With all plumbing facilities	195	..	36	..	78	37	44	1 571	460	326	192	249	287	57
Lacking some or all plumbing facilities	21	21	..	..	..	..	..	..	..	..	..	..	..	..
BEDROOMS														
None and 1	21	..	..	..	21	..	..	598	192	110	108	89	86	13
2	29	..	16	..	13	..	..	798	228	130	68	147	181	44
3	123	21	20	..	44	16	22	162	27	86	16	13	20	..
4 or more	43	..	..	..	..	21	22	13	13	..	..	..	..	..
YEAR STRUCTURE BUILT														
1969 to March 1970	54	..	..	..	4	22	28	276	8	3	3	129	110	23
1960 to 1968	24	..	4	..	18	..	..	159	5	13	5	26	83	27
1950 to 1959	13	..	..	..	3	10	1	93	25	50	9	..	4	5
1949 or earlier	105	5	29	33	18	19	..	1 072	314	400	174	143	41	..
UNITS IN STRUCTURE														
1 .....	..	..	..	..	..	..	..	86	24	17	16	12	6	9
2 to 4 .....	..	..	..	..	..	..	..	651	156	225	106	102	62	..
5 to 19 .....	..	..	..	..	..	..	..	641	161	214	54	115	69	28
20 or more .....	..	..	..	..	..	..	..	222	9	10	15	69	101	18
INCLUSION OF UTILITIES IN RENT														
All utilities included .....	..	..	..	..	..	..	..	264	32	104	42	60	8	18
Some or no utilities included .....	..	..	..	..	..	..	..	1 336	320	362	149	238	230	37

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B-1. Value of Owner Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterbury	Total	Less than \$5,000	\$5,000 to \$7,499	\$7,500 to \$9,999	\$10,000 to \$12,499	\$12,500 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 to \$49,999	\$50,000 or more	Median (dollars)
Specified owner occupied¹	12 477	18	58	196	751	1 461	5 069	2 891	1 530	388	93	18 700
ROOMS												
1 and 2 rooms	26	12	—	—	4	—	5	5	—	—	—	—
3 rooms	63	—	5	5	19	18	11	—	5	—	—	—
4 rooms	1 290	6	10	42	161	229	647	146	49	—	—	16 400
5 rooms	4 199	—	21	55	210	419	1 969	311	28	10	10	18 600
6 rooms	4 316	—	16	61	259	610	1 750	960	580	69	11	18 500
7 rooms	1 537	—	6	23	77	104	458	394	354	111	10	21 300
8 rooms or more	1 046	—	—	10	21	81	229	210	251	180	64	24 300
Median	5.7	—	—	5.4	5.4	5.6	5.5	5.6	6.2	7.4	—	—
PERSONS												
1 person	1 034	12	6	53	132	159	406	159	88	19	—	16 600
2 persons	3 685	6	21	66	289	462	1 443	879	433	78	8	18 500
3 persons	2 284	—	6	15	107	251	964	567	300	64	10	19 000
4 persons	2 185	—	5	30	83	225	946	552	246	65	33	19 000
5 persons	1 642	—	15	16	60	189	638	366	242	93	23	19 300
6 persons or more	1 647	—	5	16	80	175	672	368	241	69	21	19 000
Median	3.2	—	—	2.2	2.3	2.9	3.2	3.2	3.3	4.0	—	—
Units with roomers, boarders, or lodgers	108	—	—	15	3	22	49	14	—	5	—	16 800
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	12 397	6	52	191	741	1 457	5 031	2 886	1 530	388	95	18 800
0.50 or less	6 001	6	16	127	458	726	2 305	1 341	766	205	51	18 600
0.51 to 1.00	5 618	—	36	59	240	645	2 331	1 380	716	172	39	19 000
1.01 to 1.50	712	—	—	5	22	86	342	153	68	11	5	18 100
1.51 or more	66	—	—	—	—	—	33	12	—	—	—	—
Lacking some or all plumbing facilities	80	12	6	5	10	4	38	5	—	—	—	—
0.50 or less	53	7	6	5	6	4	25	—	—	—	—	—
0.51 to 1.00	20	5	—	—	—	—	10	5	—	—	—	—
1.01 to 1.50	7	—	—	—	—	—	3	—	—	—	—	—
1.51 or more	—	—	—	—	—	—	—	—	—	—	—	—
BEDROOMS												
None and 1	426	27	21	—	63	79	132	63	41	—	—	15 900
2	3 290	—	—	61	364	501	1 350	797	195	22	—	17 800
3	6 568	—	24	76	346	563	2 939	1 648	703	235	34	18 900
4 or more	2 054	—	45	19	138	375	608	492	250	82	45	19 000
YEAR STRUCTURE BUILT												
1969 to March 1970	106	—	—	—	—	5	17	39	29	4	12	24 000
1965 to 1968	741	—	—	—	6	10	179	230	225	75	16	23 800
1960 to 1964	1 192	—	—	—	6	12	388	449	261	64	12	22 100
1950 to 1959	3 943	—	9	14	83	361	1 691	1 094	549	103	32	19 500
1940 to 1949	1 800	—	22	77	263	77	934	340	133	31	—	17 600
1939 or earlier	4 695	11	49	160	579	810	1 860	739	353	111	23	16 700
COMPLETE BATHROOMS												
1 and 1 1/2	11 078	7	41	167	664	1 406	4 727	2 554	1 319	171	22	18 500
2 and 2 1/2	1 084	—	—	8	34	38	195	283	303	189	34	24 700
3 or more	179	—	—	5	—	—	7	11	75	40	41	33 900
None or also used by another household	167	8	7	22	11	5	89	25	—	—	—	16 800
HOUSEHOLD COMPOSITION												
Two-or-more-person households	11 443	6	52	143	619	1 302	4 643	2 732	1 462	369	95	18 900
Male head, wife present, no nonrelatives	9 885	46	117	491	1 177	1 091	3 955	2 450	1 341	318	76	19 100
Under 25 years	65	—	—	—	5	5	22	14	14	—	—	—
25 to 34 years	1 091	—	6	11	28	60	460	310	159	42	6	19 700
35 to 44 years	2 075	—	9	5	82	158	924	495	302	88	12	19 300
45 to 64 years	5 090	—	21	55	215	624	2 024	1 248	713	149	41	19 000
65 years and over	1 564	—	10	46	161	235	525	383	153	39	12	18 400
Other male head	456	6	—	5	52	56	215	74	26	16	6	17 300
Under 65 years	321	—	—	5	36	33	161	52	21	7	—	17 400
65 years and over	135	6	—	16	23	23	54	22	5	9	—	17 000
Female head	1 102	—	6	21	76	155	493	208	95	35	13	17 400
Under 65 years	696	—	6	10	40	97	330	110	64	35	4	17 300
65 years and over	406	—	—	11	36	58	163	98	31	—	9	17 000
One-person households	1 034	12	6	53	132	159	406	159	88	19	—	16 600
Under 65 years	496	7	6	21	57	89	203	62	42	9	—	16 500
65 years and over	538	5	—	32	75	70	203	97	46	10	—	16 700
INCOME IN 1969												
Less than \$2,000	556	12	6	25	51	120	212	64	52	5	9	16 300
\$2,000 to \$2,999	352	—	—	16	56	69	123	36	35	17	—	15 900
\$3,000 to \$3,999	305	—	—	16	48	48	118	47	23	5	—	16 200
\$4,000 to \$4,999	462	—	5	5	59	63	228	78	24	—	—	17 000
\$5,000 to \$5,999	373	—	—	10	22	44	167	30	10	—	—	18 600
\$6,000 to \$6,999	463	—	—	16	57	66	162	123	34	5	—	17 900
\$7,000 to \$9,999	2 030	—	15	44	121	263	922	426	201	32	6	18 000
\$10,000 to \$14,999	4 013	6	22	54	191	439	1 777	1 031	415	72	6	18 800
\$15,000 to \$24,999	3 098	—	10	—	137	325	1 231	770	518	99	8	19 400
\$25,000 or more	825	—	—	—	9	24	129	226	218	143	66	25 700
Median	\$12 100	—	—	\$7 700	\$9 000	\$10 700	\$11 700	\$12 800	\$14 500	\$19 800	—	—
YEAR MOVED INTO UNIT												
1969 to March 1970	660	—	—	—	12	28	274	202	118	18	8	20 400
1968	649	—	7	28	13	28	221	126	168	43	15	21 100
1967	604	8	—	6	22	31	221	148	112	44	12	20 500
1965 and 1966	993	—	—	14	47	107	347	228	189	55	6	19 700
1960 to 1964	2 090	—	—	31	79	168	810	539	356	78	29	19 700
1950 to 1959	4 728	—	28	35	249	612	2 024	1 149	521	83	27	18 700
1949 or earlier	2 784	7	13	88	287	475	1 121	481	233	79	—	16 900
HEATING EQUIPMENT												
Steam or hot water	7 855	—	—	—	—	—	—	—	—	—	—	—
Warm-air furnace	3 760	6	15	85	388	737	3 043	2 102	1 102	317	60	19 500
Built-in electric units	269	—	20	49	262	629	1 790	643	279	53	35	17 400
Floor, wall, or pipeless furnace	194	—	—	5	—	7	77	64	107	9	—	23 600
Other means	399	12	12	57	60	62	89	30	16	—	—	16 000
None	—	—	—	—	—	—	—	—	—	—	—	14 900
AIR CONDITIONING												
Room unit(s)	3 576	—	6	29	109	369	1 392	931	568	144	28	19 600
Central system	284	—	—	—	—	7	62	48	85	48	34	27 900
None	8 648	15	42	173	600	1 073	3 564	1 894	1 044	208	35	18 400

¹Limited to one-family homes on less than 10 acres and no business on property.

Table B-2. Gross Rent of Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

	Total	Less than \$50	\$50 to \$59	\$60 to \$69	\$70 to \$79	\$80 to \$99	\$100 to \$119	\$120 to \$149	\$150 to \$199	\$200 to \$299	\$300 or more	No cash rent	Median (dollars)
Waterbury													
Specified renter occupied ¹	17 412	562	467	1 163	1 682	4 678	4 042	2 681	1 413	236	22	464	106
ROOMS													
1 room	475	150	63	82	60	48	14	36	--	--	--	22	62
2 rooms	701	92	21	117	101	188	46	78	42	6	--	10	81
3 rooms	2 631	114	98	264	376	643	435	265	274	41	--	21	93
4 rooms	5 568	101	203	410	627	1 616	1 082	755	534	129	12	10	99
5 rooms	6 042	89	50	236	410	1 755	1 930	1 011	379	5	10	167	104
6 rooms	1 686	11	16	48	93	406	472	422	129	26	--	63	110
7 rooms	313	5	11	6	15	22	54	99	53	14	--	34	128
8 rooms or more	96	--	5	--	--	--	9	15	4	15	--	48	...
Median	4.4	2.8	3.8	3.8	4.0	4.4	4.7	4.7	4.2	4.1	...	5.0	...
PERSONS													
1 person	4 592	390	324	597	669	1 061	680	414	228	67	5	157	84
2 persons	4 917	123	64	308	534	1 457	1 098	677	439	89	12	116	99
3 persons	2 985	27	41	128	232	873	744	550	294	15	5	76	104
4 persons	2 142	5	25	86	109	545	652	433	223	15	--	49	108
5 persons	1 293	6	7	26	44	359	456	261	87	15	--	32	108
6 persons or more	1 483	11	6	18	94	383	412	346	144	35	--	34	110
Median	2.3	1.2	1.2	1.5	1.8	2.4	2.8	3.0	2.6	2.1	...	2.1	...
Units with roomers, boarders, or lodgers	296	18	--	20	15	80	48	60	25	--	--	30	100
PLUMBING FACILITIES BY PERSONS PER ROOM													
With all plumbing facilities	16 862	473	407	1 052	1 587	4 595	4 008	2 643	1 410	230	22	433	106
0.50 or less	8 258	289	283	707	950	2 276	1 716	1 041	572	139	17	268	95
0.51 to 1.00	6 942	156	118	326	507	1 808	1 820	1 280	712	66	5	144	105
1.01 to 1.50	1 385	6	--	12	113	412	422	283	106	20	--	11	107
1.51 or more	277	24	6	7	17	99	50	39	20	5	--	10	97
Lacking some or all plumbing facilities	550	87	60	111	93	83	34	38	5	6	--	31	70
0.50 or less	248	33	21	58	54	34	23	--	5	6	--	14	71
0.51 to 1.00	276	54	39	53	41	32	11	29	--	--	--	17	67
1.01 to 1.50	15	--	--	--	--	10	--	5	--	--	--	--	...
1.51 or more	11	--	--	--	--	7	--	4	--	--	--	--	...
BEDROOMS													
None	454	132	60	92	85	--	23	29	--	--	--	33	62
1	4 108	187	69	401	789	1 091	757	404	387	23	--	349	99
2	8 801	153	261	575	692	2 642	2 147	1 199	681	83	19	157	110
3 or more	4 172	22	28	157	171	1 104	1 100	883	483	44	23	--	--
YEAR STRUCTURE BUILT													
1969 to March 1970	677	62	9	20	--	15	39	233	266	33	--	--	145
1965 to 1968	1 150	55	--	--	--	22	33	322	580	99	22	17	162
1960 to 1964	362	5	12	5	9	16	39	132	121	17	--	6	141
1950 to 1959	1 128	62	31	50	84	400	239	176	46	6	--	34	96
1940 to 1949	1 392	23	19	80	62	384	481	228	63	16	--	36	105
1939 or earlier	12 703	355	396	1 008	1 527	3 841	3 211	1 590	339	65	--	371	95
ELEVATOR IN STRUCTURE													
4 floors or more	2 320	128	65	180	421	603	333	188	342	41	19	--	92
With elevator	1 136	45	46	81	113	179	255	63	294	41	19	--	108
Walk-up	1 184	83	19	99	308	424	78	125	48	--	--	--	84
1 to 3 floors	15 215	366	353	1 045	1 316	4 204	3 694	2 327	1 209	109	23	539	100
COMPLETE BATHROOMS													
1 and 1 1/2	16 014	485	370	940	1 490	4 357	3 831	2 614	1 333	236	--	358	101
2 or more	1 160	--	6	--	8	12	20	15	17	19	17	46	...
None or also used by another household	1 231	110	103	196	175	281	195	95	31	7	--	38	81
INCOME IN 1969													
Less than \$2,000	2 537	285	127	312	323	680	384	141	144	21	--	120	85
\$2,000 to \$2,999	1 088	77	55	118	159	275	174	135	51	9	--	35	87
\$3,000 to \$3,999	1 057	46	38	110	123	322	222	134	37	11	--	14	92
\$4,000 to \$4,999	1 157	33	51	72	106	282	289	183	87	22	--	32	101
\$5,000 to \$5,999	1 276	39	30	95	133	392	302	228	31	11	5	23	98
\$6,000 to \$6,999	1 318	28	23	107	129	390	326	207	69	16	--	23	104
\$7,000 to \$9,999	3 809	26	83	169	361	1 040	1 027	627	373	28	--	75	108
\$10,000 to \$14,999	3 715	23	30	140	268	970	1 024	744	383	58	--	75	114
\$15,000 to \$24,999	1 277	5	18	28	64	299	249	239	227	54	12	62	110
\$25,000 or more	178	--	12	12	16	28	25	43	13	6	5	18	...
Median	\$7 200	\$2 000	\$4 300	\$4 600	\$6 000	\$7 000	\$7 900	\$8 500	\$9 300	\$10 000	...	\$6 900	...
YEAR MOVED INTO UNIT													
1969 to March 1970	4 640	136	49	137	251	943	1 096	1 079	780	104	9	56	114
1968	2 534	74	64	76	174	749	468	504	280	98	8	39	105
1967	1 541	76	47	92	59	314	509	285	117	28	--	14	107
1965 and 1966	1 945	94	78	125	201	543	478	292	86	13	--	35	96
1960 to 1964	2 387	79	36	205	301	768	616	301	38	5	--	43	95
1950 to 1959	2 533	76	120	229	347	777	592	215	50	5	--	122	91
1949 or earlier	1 825	60	85	272	340	556	287	48	30	14	--	133	82
GROSS RENT AS PERCENTAGE OF INCOME													
Less than 10 percent	2 504	95	136	289	399	918	457	187	23	--	--	...	87
10 to 14 percent	4 038	72	81	215	391	1 206	1 166	593	271	43	--	...	106
15 to 19 percent	2 903	50	50	112	223	763	622	277	20	20	5	...	111
20 to 24 percent	1 750	35	40	83	83	396	427	348	297	34	5	...	107
25 to 34 percent	1 870	106	44	111	148	363	472	401	182	38	5	...	95
35 percent or more	3 419	195	100	316	391	914	633	466	308	91	5	464	101
Not computed	928	9	16	37	47	118	106	64	57	--	--	--	--
AIR CONDITIONING													
Room unit(s)	2 583	46	64	93	204	568	453	496	560	69	--	30	113
Central system	1 779	--	--	--	--	7	23	63	61	17	--	8	94
None	14 643	549	415	1 043	1 469	4 082	3 586	2 205	758	132	--	404	98

¹Excludes one-family homes on 10 acres or more.

Table B-3. Income in 1969 of Families and Primary Individuals in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterbury	Total	Less than \$2,000	\$2,000 to \$2,999	\$3,000 to \$3,999	\$4,000 to \$4,999	\$5,000 to \$5,999	\$6,000 to \$6,999	\$7,000 to \$9,999	\$10,000 to \$14,999	\$15,000 to \$24,999	\$25,000 or more	Median (dollars)
Owner occupied housing units	17 427	1 166	657	527	748	645	764	2 902	5 200	3 879	939	11 300
ROOMS												
1 and 2 rooms	51	18	5	4	4	-	-	10	5	5	-	...
3 rooms	291	62	49	15	27	34	18	31	41	14	-	4 700
4 rooms	2 414	271	162	156	140	156	132	467	567	352	11	8 200
5 rooms	6 562	420	238	260	290	238	354	1 173	2 133	1 253	203	10 700
6 rooms	5 230	248	149	41	215	132	225	879	1 662	1 433	246	12 200
7 rooms or more	2 879	147	54	51	72	85	35	342	792	822	479	14 100
PERSONS												
1 person	2 031	740	259	122	228	176	112	197	138	28	31	3 100
2 persons	5 371	272	308	312	425	325	407	1 001	1 374	747	200	8 900
3 and 4 persons	6 008	99	72	74	67	104	165	1 185	2 102	1 783	357	12 900
5 persons	1 971	25	6	14	9	23	34	280	760	646	174	13 900
6 persons or more	2 046	30	12	5	19	17	46	239	826	675	177	14 000
Units with roomers, boarders, or lodgers	193	52	20	6	15	15	16	19	37	9	4	5 200
BEDROOMS												
Less than 3	6 954	1 018	424	435	322	287	322	1 306	1 561	1 120	159	8 500
3	8 081	343	180	81	324	125	190	1 261	2 925	2 153	499	12 600
4 or more	2 284	136	-	42	39	-	60	273	911	496	327	13 200
YEAR STRUCTURE BUILT												
1969 to March 1970	127	-	-	4	5	-	4	28	56	19	11	12 000
1960 to 1968	2 088	54	20	24	49	63	36	383	779	531	149	12 700
1950 to 1959	4 194	146	87	98	115	138	135	703	1 459	1 064	249	12 300
1949 or earlier	11 018	966	550	401	579	444	589	1 788	2 906	2 265	530	10 300
YEAR MOVED INTO UNIT												
1969 to March 1970	829	35	12	21	12	33	28	145	336	165	42	11 900
1968	791	5	12	6	14	16	9	241	264	171	53	11 800
1960 to 1967	4 759	178	89	84	143	192	198	827	1 715	1 091	242	11 900
1959 or earlier	11 048	843	562	411	601	502	572	1 670	2 804	2 489	594	10 600
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	14 853	912	478	350	581	256	455	2 494	4 925	3 498	904	11 900
Clothes dryer	7 432	252	98	80	265	48	134	1 165	2 456	2 301	633	13 400
Dishwasher	3 594	196	21	16	39	16	38	391	1 095	1 292	490	14 900
Home food freezer	3 891	195	79	21	39	79	96	485	1 359	1 140	398	13 500
Owned second home	678	78	21	21	-	-	-	63	153	118	224	15 300
With air conditioning	4 903	144	108	78	146	134	166	760	1 414	1 469	484	13 200
Room unit(s)	4 582	144	94	78	146	117	166	746	1 358	1 367	366	12 900
Central system	321	-	14	-	-	17	-	14	56	102	118	20 800
Automobiles available:												
1	8 124	365	295	286	458	465	538	1 897	2 433	1 219	168	9 600
2	5 903	90	41	40	66	83	148	716	2 228	1 970	521	14 000
3 or more	1 267	5	6	13	12	6	6	68	249	666	236	19 000
Renter occupied housing units	17 494	2 542	1 096	1 063	1 162	1 290	1 333	3 814	3 729	1 287	178	7 200
ROOMS												
1 room	475	175	53	40	54	42	36	58	17	-	-	3 200
2 rooms	701	197	133	90	50	42	56	77	43	13	-	3 200
3 rooms	2 541	605	245	151	204	184	271	463	319	92	7	5 400
4 rooms	5 587	795	345	367	415	454	416	1 212	1 198	333	52	7 000
5 rooms	6 067	546	263	297	323	424	385	1 605	1 592	548	84	8 500
6 rooms or more	2 123	224	57	118	116	144	169	399	560	301	35	8 800
PERSONS												
1 person	4 596	1 608	553	448	466	458	339	458	225	29	12	3 300
2 persons	4 946	438	315	307	354	322	420	1 121	1 218	418	33	7 800
3 and 4 persons	5 146	289	181	216	193	338	341	1 500	1 528	507	53	9 000
5 persons	1 312	72	27	50	64	110	99	325	377	158	30	9 200
6 persons or more	1 494	135	20	42	85	62	134	410	381	175	50	9 000
Units with roomers, boarders, or lodgers	302	81	19	37	10	30	19	47	46	13	-	5 100
BEDROOMS												
None	454	170	65	52	77	28	-	62	-	-	-	2 900
1	4 108	1 001	589	405	278	237	380	617	425	176	-	4 200
2	8 818	975	537	604	510	726	544	2 192	2 014	614	102	7 700
3 or more	4 199	305	115	201	309	188	359	1 122	957	536	107	8 700
YEAR STRUCTURE BUILT												
1969 to March 1970	682	77	55	37	44	56	53	138	138	79	5	7 400
1960 to 1968	1 517	170	40	41	84	79	92	386	407	194	24	9 000
1950 to 1959	1 152	221	80	46	72	81	78	262	221	58	33	7 000
1949 or earlier	14 143	2 074	921	939	962	1 074	1 110	3 028	2 963	956	116	7 000
YEAR MOVED INTO UNIT												
1969 to March 1970	4 685	607	250	303	316	309	378	1 177	994	330	21	7 500
1968	2 534	345	128	127	165	193	267	512	617	157	23	7 200
1960 to 1967	5 888	859	349	279	425	545	388	1 321	1 263	378	81	7 200
1959 or earlier	4 387	716	284	304	258	278	311	782	1 004	396	54	7 200
GROSS RENT AS PERCENTAGE OF INCOME												
Specified renter occupied ¹	17 412	2 537	1 088	1 057	1 157	1 276	1 318	3 809	3 715	1 277	178	7 200
Less than 15 percent	6 542	-	-	13	54	117	267	1 753	3 022	1 171	155	11 800
15 to 19 percent	2 903	-	17	62	128	351	493	1 334	487	26	5	7 900
20 to 24 percent	1 750	12	45	104	244	388	348	1 168	110	13	-	6 200
25 to 34 percent	1 870	80	197	428	467	356	166	150	21	5	-	4 500
35 percent or more	3 419	1 861	794	436	232	54	31	11	-	-	-	2000-
Not computed	928	584	35	14	32	10	23	75	75	62	18	2000-
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	9 790	878	590	586	566	555	673	2 675	2 320	782	165	8 200
Clothes dryer	2 339	99	217	95	95	45	140	669	615	286	78	9 100
Dishwasher	634	100	22	-	24	22	54	137	168	88	19	9 100
Home food freezer	1 102	75	50	-	19	42	62	212	453	147	42	11 000
Owned second home	275	20	-	40	-	-	-	20	103	92	-	...
With air conditioning	2 770	182	122	86	100	117	185	625	1 000	303	50	9 800
Room unit(s)	2 591	147	122	76	100	109	185	596	943	263	50	9 800
Central system	179	35	-	10	-	8	-	29	57	40	-	10 700
Automobiles available:												
1	8 336	492	288	315	521	726	807	2 453	2 224	426	84	8 200
2	3 042	150	28	77	55	74	158	662	1 195	592	51	11 300
3 or more	260	13	7	8	-	-	24	19	80	96	13	13 700

¹Excludes one-family homes on 10 acres or more.

Table B-4. Plumbing Facilities by Persons Per Room for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterbury	With all plumbing facilities					Lacking some or all plumbing facilities					
	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	
Owner occupied housing units	17 427	17 292	6 852	7 329	991	120	135	97	31	7	--
PERSONS											
1 person.....	2 031	1 985	1 975	10	--	--	46	36	10	--	--
2 persons.....	5 371	5 308	5 204	104	--	--	63	57	6	--	--
3 persons.....	3 196	3 182	1 422	1 760	--	--	14	4	10	--	--
4 persons.....	2 812	2 812	180	2 602	25	5	--	--	--	--	--
5 persons.....	1 971	1 966	71	1 833	62	5	5	--	5	--	--
6 persons or more.....	2 046	2 039	--	1 020	904	115	7	--	--	7	--
Median.....	2.9	2.9	2.0	4.2	6.5	7.5+	1.8	...	...	...	...
Units with roomers, boarders, or lodgers.....	193	193	67	118	8	--	--	--	--	--	--
YEAR STRUCTURE BUILT											
1969 to March 1970.....	73	73	29	44	--	--	--	--	--	--	--
1965 to 1968.....	815	809	223	521	65	--	6	--	6	--	--
1960 to 1964.....	1 299	1 299	441	726	118	14	--	--	--	--	--
1950 to 1959.....	4 267	4 226	1 747	2 150	303	26	41	29	7	5	--
1940 to 1949.....	2 092	2 077	1 204	782	77	14	15	--	15	--	--
1939 or earlier.....	8 881	8 792	5 233	3 059	424	76	89	77	8	4	--
INCOME IN 1969											
Less than \$2,000.....	1 166	1 143	999	120	24	--	23	18	5	--	--
\$2,000 to \$2,999.....	657	653	551	96	--	6	4	--	--	--	--
\$3,000 to \$3,999.....	527	512	417	95	--	--	15	15	--	--	--
\$4,000 to \$4,999.....	748	732	652	70	10	--	16	16	--	--	--
\$5,000 to \$5,999.....	645	635	502	116	12	5	10	10	--	--	--
\$6,000 to \$6,999.....	764	764	537	180	47	--	--	--	--	--	--
\$7,000 to \$9,999.....	2 902	2 887	1 439	1 310	119	19	15	5	10	--	--
\$10,000 to \$14,999.....	5 200	5 161	2 070	2 700	396	55	39	20	16	3	--
\$15,000 to \$24,999.....	3 879	3 866	1 294	2 201	347	24	13	9	--	4	--
\$25,000 or more.....	939	939	451	441	36	11	--	--	--	--	--
Median.....	\$11 300	\$11 300	\$8 600	\$13 100	\$13 600	\$12 700	\$6 000	...	...	...	...
VALUE-INCOME RATIO											
Specified owner occupied ¹											
Less than 1.5.....	12 477	12 397	6 007	5 618	712	66	80	53	20	7	--
1.5 to 1.9.....	5 013	4 999	1 891	2 709	351	48	74	10	--	4	--
2.0 to 2.4.....	2 728	2 710	1 074	1 393	225	18	18	10	5	3	--
2.5 to 2.9.....	1 534	1 519	699	750	70	--	15	10	5	--	--
3.0 to 3.9.....	757	746	432	270	44	--	11	6	5	--	--
4.0 or more.....	871	861	644	212	5	--	10	10	--	--	--
Not computed.....	1 442	1 437	1 166	254	17	--	5	--	5	--	--
None.....	132	125	95	30	--	--	7	--	--	--	--
HEATING EQUIPMENT											
Steam or hot water.....	10 828	10 769	5 636	4 459	595	79	59	36	16	7	--
Warm-air furnace.....	4 522	4 488	2 161	2 012	298	17	34	24	10	--	--
Built-in electric units.....	324	319	83	201	35	--	5	5	--	--	--
Floor, wall, or pipeless furnace.....	239	233	124	88	15	6	6	6	--	--	--
Other means.....	1 509	1 478	848	564	48	18	31	26	5	--	--
None.....	5	5	--	5	--	--	--	--	--	--	--
Renter occupied housing units	17 494	16 944	8 288	6 983	1 390	283	550	248	276	15	11
PERSONS											
1 person.....	4 596	4 191	3 988	203	--	--	405	178	227	--	--
2 persons.....	4 946	4 880	3 930	921	--	29	66	61	5	--	--
3 persons.....	2 994	2 962	343	2 610	--	9	32	9	23	--	--
4 persons.....	2 152	2 141	16	2 030	95	--	11	--	5	6	--
5 persons.....	1 312	1 296	11	992	282	11	16	--	16	--	--
6 persons or more.....	1 494	1 474	--	227	1 013	234	20	--	--	9	11
Median.....	2.3	2.4	1.5	3.4	6.1	7.5+	1.2	1.2	1.1	...	...
Units with roomers, boarders, or lodgers.....	302	302	132	112	37	21	--	--	--	--	--
YEAR STRUCTURE BUILT											
1969 to March 1970.....	608	600	253	323	--	24	8	--	8	--	--
1965 to 1968.....	1 161	1 161	522	580	59	--	--	--	--	--	--
1960 to 1964.....	419	419	201	182	29	7	--	--	--	--	--
1950 to 1959.....	1 232	1 220	424	528	209	59	12	--	6	--	6
1940 to 1949.....	1 372	1 348	552	504	253	39	24	24	--	--	--
1939 or earlier.....	12 702	12 178	6 270	4 820	903	185	524	231	272	12	9
INCOME IN 1969											
Less than \$2,000.....	2 542	2 352	1 707	480	123	42	190	94	90	6	--
\$2,000 to \$2,999.....	1 096	1 032	697	293	31	11	64	24	40	--	--
\$3,000 to \$3,999.....	1 063	1 014	670	294	40	10	49	38	7	4	--
\$4,000 to \$4,999.....	1 162	1 124	718	281	96	29	38	17	21	--	--
\$5,000 to \$5,999.....	1 290	1 255	704	448	98	5	35	16	19	--	--
\$6,000 to \$6,999.....	1 333	1 306	616	562	102	26	27	15	12	--	--
\$7,000 to \$9,999.....	3 814	3 740	1 365	1 939	374	62	74	11	56	--	7
\$10,000 to \$14,999.....	3 729	3 685	1 348	1 940	322	75	44	15	20	5	4
\$15,000 to \$24,999.....	1 287	1 270	424	675	160	11	17	12	5	--	--
\$25,000 or more.....	178	166	39	71	44	12	12	6	6	--	--
Median.....	\$7 200	\$7 300	\$5 500	\$8 800	\$8 600	\$7 900	\$3 400	\$3 200	\$4 000	...	...
GROSS RENT AS PERCENTAGE OF INCOME											
Specified renter occupied ²											
Less than 10 percent.....	17 412	16 862	8 258	6 942	1 385	277	550	248	276	15	11
10 to 14 percent.....	2 504	2 429	872	1 232	278	47	75	23	52	--	--
15 to 19 percent.....	4 038	3 954	1 493	2 027	363	71	84	32	43	5	4
20 to 24 percent.....	2 903	2 841	1 214	1 335	243	49	62	23	32	--	7
25 to 34 percent.....	1 750	1 709	922	630	137	20	41	22	19	--	--
35 percent or more.....	1 870	1 792	996	642	142	12	78	49	25	4	--
Not computed.....	3 419	3 264	2 232	814	167	51	155	68	81	6	--
None.....	928	873	529	262	55	27	55	31	24	--	--
HEATING EQUIPMENT											
Steam or hot water.....	7 697	7 377	3 800	2 918	528	131	320	86	216	11	7
Warm-air furnace.....	1 669	1 638	740	671	175	52	31	6	21	4	--
Built-in electric units.....	806	806	358	405	37	6	--	--	--	--	--
Floor, wall, or pipeless furnace.....	417	411	128	204	79	--	6	6	--	--	--
Other means.....	6 855	6 662	3 232	2 765	571	94	193	150	39	--	4
None.....	50	50	30	20	--	--	--	--	--	--	--

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B-5. Rooms in Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterbury										
	Total	1 room	2 rooms	3 rooms	4 rooms	5 rooms	6 rooms	7 rooms	8 rooms or more	Median
Owner occupied housing units	17 427	20	31	291	2 414	6 562	5 230	1 727	1 152	5.4
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	17 065	14	6	285	2 263	6 405	5 337	1 638	1 117	5.4
PERSONS										
1 person	2 031	20								
2 persons	5 371		16	139	509	684		128	88	5.0
3 persons	3 196		10	100	1 177	2 144	1 433	348	159	5.2
4 persons	2 812			16	405	1 349	990	306	130	5.4
5 persons	1 971			25	225	1 182	903	292	180	5.5
6 persons or more	2 046				62	628	799	297	185	5.9
Median	2.9			1.6	2.1	2.8	3.2	3.8	4.0	...
PLUMBING FACILITIES BY PERSONS PER ROOM										
With all plumbing facilities	17 292	10	24	273	2 380	6 508	5 216	1 727	1 152	5.4
0.50 or less	8 852		9	129	1 652	2 796	2 856	782	628	5.4
0.51 to 1.00	7 329	10	10	110	630	3 144	2 059	865	501	5.4
1.01 to 1.50	991			25	84	505	279	75	23	5.3
1.51 or more	120			11	14	63	22	5		5.0
Lacking some or all plumbing facilities	135	10	7	16	34	54	14			4.3
0.50 or less	97			7	10	34	14			...
0.51 to 1.00	31	10		6						...
1.01 to 1.50	7									...
1.51 or more										...
BEDROOMS										
None and 1	1 054	27	59	220	508	201	39			3.9
2	5 900			38	1 949	3 141	631	120	21	4.8
3	8 081				144	2 948	3 632	1 084	273	5.8
4 or more	2 284					39	446	856	943	7.3
YEAR STRUCTURE BUILT										
1969 to March 1970	127				10	61	31	5	20	5.4
1960 to 1968	2 088		10	11	120	1 018	567	227	135	5.4
1950 to 1959	4 194		7	32	759	2 011	957	297	131	5.1
1949 or earlier	11 018	20	14	248	1 525	3 472	3 675	1 198	866	5.6
COMPLETE BATHROOMS										
1 and 1 1/2	15 478	14	11	249	2 173	6 197	4 849	1 334	651	5.4
2 or more	1 604			36	90	208	500	304	466	6.4
None or also used by another household	345	7	8	20	78	175	50	7		4.8
VALUE-INCOME RATIO										
Specified owner occupied ¹	12 477	14	12	63	1 290	4 199	4 316	1 537	1 046	5.7
Less than 1.5	5 013			10	450	1 597	1 819	676	461	5.7
1.5 to 1.9	2 728			15	265	1 019	935	319	175	5.6
2.0 to 2.9	2 291	5		8	209	768	833	273	195	5.7
3.0 or more	2 313	9	5	25	350	775	689	254	206	5.5
Not computed	132		7	5	16	40	40	15	9	5.5
Renter occupied housing units	17 494	475	701	2 541	5 587	6 047	1 702	318	103	4.4
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	16 058	215	563	2 479	5 058	5 744	1 616	274	109	4.4
PERSONS										
1 person	4 596	430	594	1 378	1 247	744	161	30	12	3.4
2 persons	4 946	29	107	819	1 949	1 571	394	58	19	4.3
3 persons	2 994	9		210	1 264	1 159	304	24	24	4.5
4 persons	2 152			101	658	1 067	266	44	16	4.8
5 persons	1 312			11	282	724	243	41	11	5.0
6 persons or more	1 494	7		22	187	802	334	121	21	5.2
Median	2.3	1.1	1.1	1.4	2.3	3.1	3.5	4.6	3.4	...
PLUMBING FACILITIES BY PERSONS PER ROOM										
With all plumbing facilities	16 944	241	643	2 479	5 492	5 996	1 672	318	103	4.4
0.50 or less	8 288		536	1 327	3 114	2 277	840	112	82	4.2
0.51 to 1.00	6 983	203	107	1 024	1 917	2 922	642	152	16	4.6
1.01 to 1.50	1 390			95	391	671	183	45	5	4.8
1.51 or more	283	38		33	70	126	7	9		4.8
Lacking some or all plumbing facilities	550	234	56	62	95	71	30			4.5
0.50 or less	248		58	51	82	38	19			3.2
0.51 to 1.00	276	227	5	5	5	28	11			3.7
1.01 to 1.50	15			6	4	5				1.1
1.51 or more	11	7			4					...
BEDROOMS										
None	454	454								1.0
1	4 108		793	2 089	967	234		25		3.1
2	8 818			126	4 638	3 791	232	31		4.4
3 or more	4 199				86	2 346	1 341	361	65	5.4
YEAR STRUCTURE BUILT										
1969 to March 1970	682	61	42	110	361	94	9	5		3.9
1960 to 1968	1 517	15	87	355	758	251	22	19	10	3.9
1950 to 1959	1 152	22	29	138	358	513	65	23	4	4.6
1949 or earlier	14 143	377	543	1 938	4 110	5 209	1 606	271	89	4.5
COMPLETE BATHROOMS										
1 and 1 1/2	16 096	244	586	2 492	5 087	5 747	1 622	246	72	4.4
2 or more	167		8	8	23	51	12	28	37	5.4
None or also used by another household	1 231	244	96	170	413	224	63	21		3.8
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied ²	17 412	475	701	2 531	5 568	6 042	1 686	313	96	4.4
Less than 10 percent	2 504	41	42	221	5 783	1 050	310	52	5	4.7
10 to 14 percent	4 038	89	94	447	1 224	1 688	404	84	8	4.6
15 to 19 percent	2 903	75	64	373	881	1 158	292	44	16	4.6
20 to 24 percent	1 750	21	83	310	648	531	137	20		4.2
25 to 34 percent	1 870	57	121	290	636	542	166	49	9	4.2
35 percent or more	3 419	163	263	758	1 177	745	278	25	10	3.9
Not computed	928	29	34	132	219	328	99	39	48	4.7

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B-6. Units in Structure for Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterbury	Owner occupied				Renter occupied							Mobile home or trailer
	Total	1 unit	2 units or more	Mobile home or trailer	Total	1 unit	2 units	3 and 4 units	5 to 9 units	10 to 19 units	20 units or more	
All occupied housing units	17 427	12 725	4 691	11	17 494	944	2 883	7 361	3 184	1 624	1 487	9
ROOMS												
1 room	20	14	6	--	475	14	10	26	77	125	223	--
2 rooms	31	12	19	--	701	19	30	104	121	186	241	--
3 rooms	291	68	223	--	2 541	57	284	570	684	455	486	5
4 rooms	2 414	1 349	1 059	6	5 587	228	1 030	2 297	1 141	482	405	4
5 rooms	6 562	4 265	2 297	6	6 067	248	1 173	3 424	812	303	107	--
6 rooms	5 230	4 366	859	5	1 702	200	271	830	307	69	25	--
7 rooms	1 727	1 573	154	--	318	111	68	91	42	6	--	--
8 rooms or more	1 152	1 078	74	--	103	67	17	19	--	--	--	--
Median	5.4	5.6	5.0	...	4.4	5.1	4.6	4.7	4.1	3.6	3.1	...
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	17 292	12 439	4 442	11	16 944	927	2 833	7 230	3 043	1 538	1 384	9
0.50 or less	8 852	6 142	2 699	11	8 288	432	1 339	3 560	1 396	724	828	9
0.51 to 1.00	7 329	5 704	1 625	--	6 983	381	1 217	3 148	1 218	558	461	--
1.01 to 1.50	991	727	264	--	1 390	108	238	466	340	206	32	--
1.51 or more	120	66	54	--	283	6	39	56	89	50	43	--
Lacking some or all plumbing facilities	135	86	49	--	550	17	50	131	141	88	17	--
0.50 or less	97	59	38	--	248	8	31	106	66	20	106	--
0.51 to 1.00	31	7	11	--	276	5	19	21	5	6	--	--
1.01 to 1.50	7	--	--	--	15	--	--	4	--	7	--	--
1.51 or more	--	--	--	--	11	4	--	--	--	--	--	--
BEDROOMS												
None	49	27	22	--	454	--	--	24	98	32	300	--
1	1 005	438	567	--	4 108	46	490	1 046	806	885	835	--
2	5 900	3 373	2 527	--	8 818	365	1 634	4 502	1 227	782	280	28
3	8 081	6 680	1 401	--	3 796	276	681	1 818	633	261	127	--
4 or more	2 284	2 135	149	--	403	150	19	106	128	--	--	--
YEAR STRUCTURE BUILT												
1969 to March 1970	127	106	21	--	682	15	4	310	64	62	227	--
1965 to 1968	798	741	57	--	1 155	48	73	224	179	183	448	5
1960 to 1964	1 290	1 206	73	11	362	30	80	49	74	40	84	4
1950 to 1959	4 194	4 015	179	--	1 152	178	267	166	225	249	63	--
1940 to 1949	2 090	1 824	266	--	1 398	129	373	446	309	108	33	--
1939 or earlier	8 928	4 833	4 095	--	12 745	544	2 086	6 166	2 333	984	632	--
INCOME IN 1969												
Less than \$2,000	1 166	572	594	--	2 542	96	335	786	577	440	308	--
\$2,000 to \$2,999	657	352	305	--	1 096	34	148	405	253	131	125	--
\$3,000 to \$3,999	527	315	207	5	1 063	55	157	404	256	114	77	5
\$4,000 to \$4,999	748	472	276	--	1 162	70	163	461	211	119	133	--
\$5,000 to \$5,999	645	382	263	--	1 290	48	152	571	274	155	90	--
\$6,000 to \$6,999	764	473	291	--	1 333	90	188	560	260	114	121	--
\$7,000 to \$7,999	2 902	2 085	817	--	3 814	202	601	1 781	658	285	283	4
\$8,000 to \$8,999	5 200	4 091	1 103	6	3 729	232	788	1 768	528	186	227	--
\$10,000 to \$14,999	5 200	4 091	1 103	6	3 729	232	788	1 768	528	186	227	--
\$15,000 to \$24,999	3 879	3 143	736	--	1 287	104	307	569	135	72	100	--
\$25,000 or more	939	840	99	--	178	13	44	56	32	10	23	--
Median	\$11 300	\$12 100	\$8 500	...	\$7 200	\$8 200	\$8 500	\$7 800	\$6 100	\$5 100	\$6 100	...
YEAR MOVED INTO UNIT												
1969 to March 1970	829	660	169	--	4 685	258	700	1 836	836	461	594	--
1968	791	656	135	--	2 534	113	336	1 088	477	213	307	--
1967	785	618	167	--	1 541	81	205	663	316	157	119	--
1965 and 1966	1 305	993	312	--	1 960	119	342	737	469	178	115	--
1960 to 1964	2 669	2 111	544	14	2 387	117	532	962	452	225	92	7
1950 to 1959	5 517	4 569	948	--	2 252	170	456	894	394	173	165	--
1949 or earlier	5 531	3 127	2 404	--	2 135	125	362	1 113	327	107	101	--
GROSS RENT												
Specified renter occupied! .....	...	...	...	...	17 412	862	2 883	7 361	3 184	1 624	1 487	9
Less than \$50 .....	...	...	...	...	562	27	50	112	128	114	131	--
\$50 to \$59 .....	...	...	...	...	467	24	80	154	120	49	40	5
\$60 to \$69 .....	...	...	...	...	1 163	20	172	471	254	198	83	4
\$70 to \$79 .....	...	...	...	...	1 682	25	266	783	312	594	180	--
\$80 to \$89 .....	...	...	...	...	4 678	143	807	1 978	976	168	202	--
\$100 to \$119 .....	...	...	...	...	4 042	141	704	2 068	759	205	170	--
\$120 to \$149 .....	...	...	...	...	2 681	187	512	1 175	432	114	454	--
\$150 to \$199 .....	...	...	...	...	1 415	65	196	449	137	7	103	--
\$200 to \$299 .....	...	...	...	...	236	50	--	44	32	--	17	--
\$300 or more .....	...	...	...	...	22	--	--	5	--	--	13	--
No cash rent .....	...	...	...	...	464	180	96	122	34	19	13	--
Median .....	...	...	...	...	\$100	\$114	\$101	\$101	\$96	\$89	\$121	...
HEATING EQUIPMENT												
Steam or hot water	10 828	8 012	2 816	6	7 697	459	1 533	2 413	1 122	1 066	1 104	--
Warm-air furnace	4 522	3 814	702	--	1 669	224	307	640	247	83	168	--
Built-in electric units	324	274	50	5	808	42	62	346	135	78	143	--
Floor, wall, or pipeless furnace	239	194	40	--	417	42	66	66	141	68	34	9
Other means	1 509	431	1 078	--	6 855	173	915	3 865	1 530	325	38	--
None	5	--	5	--	50	4	--	31	9	6	--	--
AIR CONDITIONING												
Room unit(s)	4 582	3 633	949	--	2 591	125	434	1 076	375	163	418	--
Central system	321	300	21	14	179	13	17	13	7	--	129	7
None	12 524	8 801	3 709	--	14 724	845	2 482	6 204	2 889	1 351	946	--
AUTOMOBILES AVAILABLE												
1	8 124	5 852	2 258	14	8 336	454	1 541	3 784	1 377	566	607	7
2	5 903	4 869	1 034	--	3 042	282	626	1 445	390	124	175	--
3 or more	1 267	1 066	201	--	260	13	97	80	43	12	15	--
None	2 133	947	1 186	--	5 856	234	669	1 984	1 461	812	696	--

*Excludes one-family homes on 10 acres or more.

Table B-7. Household Composition for Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterbury	Total	Two-or-more-person households									One-person households	
		Male head, wife present, no nonrelatives					Other male head		Female head		Under 65 years	65 years and over
		Under 25 years	25 to 34 years	35 to 44 years	45 to 64 years	65 years and over	Under 65 years	65 years and over	Under 65 years	65 years and over		
Owner occupied housing units	17 427	96	1 326	2 531	6 628	2 476	450	256	986	647	879	1 152
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	17 292	96	1 326	2 523	6 584	2 454	450	256	976	642	862	1 123
0.50 or less	8 852	35	231	255	2 960	1 839	283	186	587	501	862	1 113
0.51 to 1.00	7 329	61	964	1 762	3 239	580	155	63	364	131	-	10
1.01 to 1.50	991	-	121	461	326	35	6	7	25	10	-	-
1.51 or more	120	-	10	45	59	-	-	-	-	-	-	-
Lacking some or all plumbing facilities	135	-	-	8	44	22	6	-	-	-	-	-
0.50 or less	97	-	-	-	24	22	-	-	10	5	17	29
0.51 to 1.00	31	-	-	5	16	-	-	-	10	5	12	24
1.01 to 1.50	7	-	-	3	4	-	-	-	-	-	5	5
1.51 or more	-	-	-	-	-	-	-	-	-	-	-	-
UNITS IN STRUCTURE												
1	12 725	70	1 091	2 094	5 194	1 617	326	141	723	412	508	549
2 or more	4 691	26	235	437	1 434	848	124	115	263	235	371	603
Mobile home or trailer	11	-	-	-	-	11	-	-	-	-	-	-
INCOME IN 1969												
Less than \$2,000	1 166	5	15	36	71	124	24	21	90	40	167	573
\$2,000 to \$2,999	657	-	5	-	27	228	9	5	73	51	43	216
\$3,000 to \$3,999	527	-	4	-	55	247	10	5	60	24	60	62
\$4,000 to \$4,999	748	5	19	10	86	305	5	-	47	43	109	119
\$5,000 to \$5,999	645	-	20	48	46	215	4	21	63	52	124	52
\$6,000 to \$6,999	764	-	46	55	155	254	16	5	66	55	82	30
\$7,000 to \$9,999	2 902	44	374	487	923	388	84	62	201	142	136	61
\$10,000 to \$14,999	5 200	32	593	1 133	2 417	322	172	71	211	111	108	30
\$15,000 to \$24,999	3 879	10	210	661	2 321	274	88	37	147	103	24	4
\$25,000 or more	939	-	40	101	527	119	38	29	28	26	26	5
Median	\$11 300	...	\$11 500	\$12 800	\$14 000	\$6 500	\$12 100	\$10 600	\$8 400	\$8 200	\$5 500	\$2 000
VALUE-INCOME RATIO												
Specified owner occupied¹	12 477	65	1 091	2 075	5 090	1 564	321	135	696	406	496	538
Less than 1.5	5 013	10	306	793	2 904	391	165	72	216	86	57	13
1.5 to 1.9	2 728	10	340	669	1 153	179	72	32	95	51	32	10
2.0 to 2.4	1 534	22	215	337	518	180	37	22	94	49	50	10
2.5 to 2.9	757	-	131	101	224	116	21	5	52	23	26	26
3.0 to 3.9	871	9	60	84	168	299	-	-	52	69	82	48
4.0 or more	1 442	9	39	86	113	399	21	4	174	79	159	359
Not computed	132	5	-	5	10	-	5	-	13	5	39	50
Renter occupied housing units	17 494	1 325	2 658	1 514	2 713	1 175	597	193	2 319	404	2 597	1 999
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	16 944	1 325	2 638	1 503	2 689	1 135	582	189	2 301	391	2 395	1 796
0.50 or less	8 288	476	477	139	993	727	278	136	801	273	2 318	1 670
0.51 to 1.00	6 983	810	1 670	934	1 357	375	265	48	1 215	106	77	126
1.01 to 1.50	1 390	33	446	341	280	15	33	20	230	12	-	-
1.51 or more	283	6	45	89	59	18	6	5	55	5	-	-
Lacking some or all plumbing facilities	550	-	20	11	24	40	15	4	18	13	202	203
0.50 or less	248	-	-	6	5	35	9	4	5	6	86	92
0.51 to 1.00	276	-	6	5	14	5	6	-	13	-	116	111
1.01 to 1.50	15	-	10	-	5	-	-	-	-	-	-	-
1.51 or more	11	-	4	-	-	-	-	-	-	7	-	-
UNITS IN STRUCTURE												
1	944	53	167	122	201	67	36	8	114	25	83	68
2 to 4	10 244	919	1 812	952	1 914	680	382	112	1 171	230	1 247	825
5 to 19	4 810	279	559	397	478	281	138	53	935	92	905	693
20 or more	1 487	74	120	43	120	147	41	20	99	57	353	413
Mobile home or trailer	9	-	-	-	-	-	-	-	-	-	9	-
GROSS RENT												
Specified renter occupied²	17 412	1 313	2 648	1 502	2 703	1 170	597	193	2 290	404	2 597	1 995
Less than \$50	562	15	10	5	34	52	17	-	34	5	139	251
\$50 to \$59	467	-	15	8	33	38	10	-	27	12	174	150
\$60 to \$69	1 163	28	62	44	162	89	22	12	129	18	340	257
\$70 to \$79	1 682	81	139	107	244	122	52	27	193	48	347	322
\$80 to \$99	4 678	341	608	394	816	378	195	72	658	155	694	367
\$100 to \$119	4 042	351	745	469	638	274	149	23	625	88	406	274
\$120 to \$149	2 681	355	620	277	402	87	90	21	386	29	277	137
\$150 to \$199	1 415	126	405	157	212	68	35	13	160	11	124	104
\$200 to \$299	236	10	11	31	42	25	-	-	5	20	20	47
\$300 or more	22	-	-	5	-	-	-	-	7	-	5	-
No cash rent	464	6	33	5	120	37	27	13	48	18	71	86
GROSS RENT AS PERCENTAGE OF INCOME BY INCOME												
Specified renter occupied²	17 412	1 313	2 648	1 502	2 703	1 170	597	193	2 290	404	2 597	1 995
Less than \$5,000	5 839	219	226	117	205	523	74	90	1 144	170	1 316	1 755
Less than 20 percent	274	3	6	4	4	41	7	-	28	-	106	75
20 to 24 percent	405	5	17	20	18	43	-	10	32	9	144	107
25 to 34 percent	1 172	42	57	27	60	173	16	19	253	32	272	221
35 percent or more	3 323	147	117	58	98	221	34	47	670	118	632	1 181
Not computed	6 465	22	29	8	25	45	17	14	161	17	162	171
\$5,000 to \$9,999	6 403	701	1 344	606	883	376	313	52	747	126	1 077	1 178
Less than 20 percent	4 305	456	860	453	714	220	198	39	438	116	704	1 077
20 to 24 percent	1 222	168	286	90	108	101	75	6	140	4	232	12
25 to 34 percent	672	9	172	53	29	43	28	7	126	6	98	48
35 percent or more	96	-	15	5	11	12	-	-	26	-	17	5
Not computed	108	-	10	5	21	-	-	-	17	-	6	6
\$10,000 to \$14,999	3 715	332	845	545	1 072	158	144	31	308	55	191	34
Less than 20 percent	3 509	321	810	535	1 018	139	134	27	272	50	181	22
20 to 24 percent	110	11	25	5	27	4	-	-	22	-	10	6
25 percent or more	21	-	-	-	-	-	-	-	5	-	-	6
Not computed	75	-	10	-	-	-	-	-	5	-	-	6
\$15,000 or more	1 455	61	233	234	543	113	66	20	91	53	13	28
Less than 20 percent	1 357	61	225	234	492	108	66	13	76	47	13	22
20 to 24 percent	13	-	-	-	-	-	-	-	-	-	-	6
25 percent or more	5	-	-	-	-	-	-	-	-	-	-	-
Not computed	80	-	8	-	51	5	-	-	10	6	-	-

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B—8. Persons in Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterbury	Total	1 person	2 persons	3 persons	4 persons	5 persons	6 persons	7 persons	8 persons or more	Median
Owner occupied housing units	17 427	2 031	5 371	3 196	2 812	1 971	1 114	597	335	2.9
BEDROOMS										
None and 1	1 054	387	512	70	67	—	18	—	—	1.8
2	5 900	952	2 833	1 345	535	109	83	43	—	2.2
3	8 081	550	1 897	1 398	1 756	1 465	753	115	147	3.6
4 or more	2 284	131	264	258	400	—	435	321	195	4.8
YEAR STRUCTURE BUILT										
1969 to March 1970	127	4	32	32	24	17	10	4	4	3.4
1965 to 1968	798	14	153	167	167	196	77	15	9	3.9
1960 to 1964	1 290	52	244	275	290	210	134	47	38	3.8
1950 to 1959	4 194	243	1 291	811	808	546	285	134	76	3.2
1940 to 1949	2 090	198	649	448	347	222	145	45	36	2.9
1939 or earlier	8 928	1 520	3 002	1 463	1 176	780	463	352	172	2.5
UNITS IN STRUCTURE										
1	12 725	1 057	3 773	2 341	2 213	1 662	912	505	262	3.2
2 or more	4 691	974	1 587	855	599	309	202	92	73	2.4
Mobile home or trailer	11	—	11	—	—	—	—	—	—	...
COMPLETE BATHROOMS										
1 and 1 1/2	15 478	1 747	4 896	2 963	2 564	1 747	803	470	288	2.9
2 and 2 1/2	1 323	125	292	170	223	220	158	114	21	3.8
3 or more	281	50	49	40	31	23	51	31	6	3.5
None or also used by another household	345	95	137	41	26	7	19	5	15	2.1
HOUSEHOLD COMPOSITION										
Two-or-more-person households	15 396	...	5 371	3 196	2 812	1 971	1 114	597	335	3.2
Male head, wife present, no nonrelatives	13 057	...	4 128	2 637	2 539	1 842	1 044	538	329	3.4
Under 25 years	96	...	26	33	22	15	—	55	41	4.2
25 to 34 years	1 326	...	117	218	470	284	141	296	136	4.9
35 to 44 years	2 531	...	92	242	689	611	465	172	147	3.2
45 to 64 years	6 428	...	2 157	1 666	1 218	882	386	15	5	2.2
65 years and over	2 476	...	1 736	478	140	50	52	11	6	2.5
Other male head	706	...	366	163	94	38	28	11	6	2.6
Under 65 years	450	...	211	118	64	19	21	—	—	2.3
65 years and over	256	...	155	45	30	19	7	—	—	2.4
Female head	1 633	...	877	396	179	91	42	48	—	2.6
Under 65 years	986	...	465	240	130	72	42	37	—	2.3
65 years and over	647	...	412	156	49	19	—	11	—	1.0
One-person households	2 031	2 031	...	...	...	...	...	...	...	...
VALUE-INCOME RATIO										
Specified owner occupied¹	12 477	1 034	3 685	2 284	2 185	1 642	897	494	256	3.2
Less than 1.5	5 013	70	1 165	1 110	937	849	458	276	148	3.7
1.5 to 1.9	2 728	83	739	501	570	411	217	127	80	3.6
2.0 to 2.4	1 534	60	459	277	375	166	145	48	4	3.4
2.5 to 2.9	757	84	271	111	131	82	36	26	16	2.7
3.0 to 3.9	871	130	455	150	63	64	5	—	4	2.2
4.0 or more	1 442	518	587	121	94	70	36	12	4	1.8
Not computed	132	89	9	14	15	—	—	5	—	1.2
Renter occupied housing units	17 494	4 596	4 946	2 994	2 152	1 312	696	492	306	2.3
BEDROOMS										
None	454	432	22	—	—	—	—	—	—	1.0
1	4 108	2 454	1 361	80	180	33	—	—	—	1.3
2	8 818	1 443	2 909	2 278	1 370	551	183	84	—	2.5
3 or more	4 199	300	446	527	888	922	540	353	223	4.4
YEAR STRUCTURE BUILT										
1969 to March 1970	682	171	221	173	72	25	4	5	11	2.3
1965 to 1968	1 155	259	382	241	166	75	24	8	—	2.3
1960 to 1964	362	87	121	71	53	15	10	5	—	2.3
1950 to 1959	1 152	209	269	174	116	149	112	71	52	3.1
1940 to 1949	1 398	190	391	236	189	168	102	89	33	3.0
1939 or earlier	12 745	3 680	3 562	2 099	1 556	880	444	319	205	2.3
UNITS IN STRUCTURE										
1	944	151	285	131	119	112	45	62	39	2.8
2	2 883	575	830	652	341	224	135	74	52	2.6
3 and 4	7 361	1 497	2 201	1 495	1 104	561	268	154	81	2.5
5 to 9	3 184	927	795	423	404	266	137	154	78	2.3
10 to 19	1 626	314	314	205	139	112	105	43	37	2.0
20 or more	1 487	766	521	88	45	37	6	5	19	1.5
Mobile home or trailer	9	9	—	—	—	—	—	—	—	...
COMPLETE BATHROOMS										
1 and 1 1/2	16 096	4 012	4 635	2 787	2 010	1 197	657	502	296	2.4
2 or more	167	6	57	26	15	28	5	7	23	3.3
None or also used by another household	1 231	593	249	157	97	62	35	24	14	1.6
HOUSEHOLD COMPOSITION										
Two-or-more-person households	12 898	...	4 946	2 994	2 152	1 312	696	492	306	3.0
Male head, wife present, no nonrelatives	9 385	...	3 213	2 203	1 727	1 063	579	377	223	3.2
Under 25 years	1 325	...	546	492	154	121	12	—	—	2.7
25 to 34 years	2 658	...	530	625	763	358	212	123	47	3.7
35 to 44 years	1 514	...	194	238	301	304	235	130	112	4.6
45 to 64 years	2 713	...	1 032	676	448	254	120	119	64	3.0
65 years and over	1 175	...	911	172	61	26	18	6	12	2.1
Other male head	1 790	...	512	119	78	45	18	6	12	2.3
Under 65 years	597	...	367	82	73	39	—	—	—	2.2
65 years and over	193	...	145	37	5	6	—	—	—	2.7
Female head	2 723	...	1 221	672	347	204	99	109	71	2.9
Under 65 years	2 319	...	913	601	341	204	—	19	—	2.2
65 years and over	404	...	308	71	6	—	—	—	—	1.0
One-person households	4 596	4 596	...	...	...	...	...	...	...	...
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied²	17 412	4 592	4 917	2 985	2 142	1 293	696	487	300	2.3
Less than 10 percent	2 504	203	820	575	393	238	115	102	58	2.9
10 to 14 percent	4 038	491	1 213	878	679	383	225	101	68	2.6
15 to 19 percent	2 903	536	880	544	449	213	125	112	44	2.2
20 to 24 percent	1 750	517	500	245	207	146	64	50	31	2.0
25 to 34 percent	1 870	645	544	259	160	124	58	46	20	1.4
35 percent or more	3 419	1 835	747	354	182	137	76	38	50	2.0
Not computed	928	365	213	130	72	52	33	38	25	...

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B—9. Duration of Vacancy for Year-Round Vacant for Sale and Vacant for Rent Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterbury					Waterbury				
	Total	Less than 2 months	2 up to 6 months	6 months or more		Total	Less than 2 months	2 up to 6 months	6 months or more
Vacant for sale	115	46	27	42	Vacant for rent	1 201	666	320	215
ROOMS					ROOMS				
1 to 3 rooms	3	—	3	—	1 room	7	7	—	—
4 rooms	33	14	11	8	2 rooms	42	16	23	3
5 rooms	51	23	7	21	3 rooms	308	158	101	49
6 rooms	12	9	—	3	4 rooms	480	314	88	78
7 rooms or more	16	—	6	10	5 rooms	306	149	85	72
					6 rooms	46	18	18	10
					7 rooms or more	12	4	5	3
PLUMBING FACILITIES					PLUMBING FACILITIES				
With all plumbing facilities	112	46	24	42	With all plumbing facilities	1 193	662	316	215
Lacking some or all plumbing facilities	3	—	3	—	Lacking some or all plumbing facilities	8	4	4	—
BEDROOMS					BEDROOMS				
None and 1	14	—	—	14	None	—	—	—	—
2	58	29	29	—	1	462	249	171	42
3	33	17	—	16	2	545	302	69	174
4 or more	—	—	—	—	3 or more	155	112	30	13
YEAR STRUCTURE BUILT					YEAR STRUCTURE BUILT				
1969 to March 1970	11	4	3	4	1969 to March 1970	198	149	10	39
1960 to 1968	8	3	5	—	1960 to 1968	71	60	11	—
1950 to 1959	12	4	3	5	1950 to 1959	71	36	31	4
1949 or earlier	84	35	16	33	1949 or earlier	861	421	268	172
UNITS IN STRUCTURE					UNITS IN STRUCTURE				
1	67	19	17	31	1	33	16	8	9
2 or more	48	27	10	11	2 to 4	474	197	147	130
					5 to 9	234	126	66	42
					10 to 19	255	150	75	30
					20 or more	205	177	24	4
HEATING EQUIPMENT					RENT ASKED				
Steam or hot water	44	11	6	27	Specified vacant for rent²	1 201	666	320	215
Warm-air furnace	35	12	15	8	Less than \$50	145	81	13	51
Built-in electric units	7	7	—	—	\$50 to \$59	137	66	43	28
Floor, wall, or pipeless furnace	—	—	—	—	\$60 to \$79	383	155	163	65
Other means	29	16	6	7	\$80 to \$99	143	71	48	24
None	—	—	—	—	\$100 to \$119	92	69	19	4
					\$120 to \$149	137	79	15	43
					\$150 to \$199	146	127	19	—
					\$200 or more	18	18	—	—
					Median rent asked	\$77	\$89	\$73	\$69
SALES PRICE ASKED									
Specified vacant for sale¹	67	19	17	31					
Less than \$5,000	—	—	—	—					
\$5,000 to \$9,999	3	—	—	—					
\$10,000 to \$14,999	14	6	4	4					
\$15,000 to \$19,999	20	10	2	8					
\$20,000 to \$24,999	15	2	8	5					
\$25,000 to \$34,999	14	—	—	14					
\$35,000 to \$49,999	1	—	—	—					
\$50,000 or more	—	—	—	—					
Median price asked .....	...	...	...	...	

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table B—10. Sales Price Asked and Rent Asked for Year-Round Vacant Housing Units: 1970

[Data based on sample, see text. For meaning of symbols, see text]

Waterbury	Sales price asked—Vacant for sale ¹							Rent asked—Vacant for rent ²						
	Total	Less than \$10,000	\$10,000 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 or more	Total	Less than \$60	\$60 to \$79	\$80 to \$99	\$100 to \$149	\$150 to \$199	\$200 or more
Total	67	3	14	20	15	14	1	1 201	282	383	143	229	146	18
PLUMBING FACILITIES														
With all plumbing facilities	45	—	16	—	13	16	—	1 162	362	252	130	249	129	40
Lacking some or all plumbing facilities	—	—	—	—	—	—	—	—	—	—	—	—	—	—
BEDROOMS														
None and 1	—	—	—	—	—	—	—	462	138	70	87	89	65	13
2	29	—	16	—	13	—	—	545	184	96	27	147	64	27
3	16	—	—	—	—	16	—	142	27	86	16	13	—	—
4 or more	—	—	—	—	—	—	—	13	13	—	—	—	—	—
YEAR STRUCTURE BUILT														
1969 to March 1970	4	—	—	—	—	4	—	198	4	3	—	112	79	—
1960 to 1968	5	—	—	—	5	—	—	71	—	—	—	13	40	18
1950 to 1959	8	—	—	—	3	5	—	71	19	47	5	—	—	—
1949 or earlier	50	3	14	20	7	5	1	861	259	333	138	104	27	—
UNITS IN STRUCTURE														
1 .....	...	...	...	...	...	...	...	33	20	6	7	—	—	—
2 to 4 .....	...	...	...	...	...	...	...	474	116	166	77	84	31	—
5 to 19 .....	...	...	...	...	...	...	...	489	137	204	44	76	28	—
20 or more .....	...	...	...	...	...	...	...	205	9	7	15	69	87	18
INCLUSION OF UTILITIES IN RENT														
All utilities included .....	...	...	...	...	...	...	...	236	26	99	40	53	—	18
Some or no utilities included .....	...	...	...	...	...	...	...	965	256	284	103	176	146	—

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Appendix A.—AREA CLASSIFICATIONS

USUAL PLACE OF RESIDENCE ..	App-1
COUNTIES	App-1
PLACES	App-1
STANDARD METROPOLITAN STATISTICAL AREAS	App-1

USUAL PLACE OF RESIDENCE

In accordance with census practice dating back to 1790, each person enumerated in the 1970 census was counted as an inhabitant of his usual place of residence, which is generally construed to mean the place where he lives and sleeps most of the time. This place is not necessarily the same as his legal residence, voting residence, or domicile. In the vast majority of cases, however, the use of these different bases of classification would produce substantially the same statistics although there may be appreciable differences for a few areas.

The implementation of this practice has resulted in the establishing of residence rules for certain categories of persons whose usual place of residence is not immediately clear. Furthermore, this practice means that persons were not always counted as residents of the place where they happened to be found by the census enumerators. Persons without a usual place of residence were, however, counted where they were enumerated. Detailed information on residence rules is given in the 1970 Population Census PC(1)-A reports.

COUNTIES

The primary divisions of the States are, in general, termed counties, but in Louisiana these divisions are known as parishes. There are no counties in Alaska; in this State, statistical areas called census divisions were developed

for general statistical purposes through the cooperation of the State and the Census Bureau and are treated as county equivalents. In four States (Maryland, Missouri, Nevada, and Virginia), there are one or more cities which are independent of any county organization and thus constitute primary divisions of their States.

PLACES

Two types of places are recognized in the census reports, incorporated places and unincorporated places. Incorporated places are political units incorporated as cities, boroughs, towns, and villages except for (a) boroughs in Alaska and (b) towns in the New England States, New York, and Wisconsin. Unincorporated places are closely settled population centers without corporate limits for which the Census Bureau has delineated boundaries. Each place so delineated possesses a definite nucleus of residences and has its boundaries drawn to include, if feasible, all the surrounding closely settled area. Unincorporated places are identified with the letter "U."

STANDARD METROPOLITAN STATISTICAL AREAS

The Bureau of the Census recognizes 243 standard metropolitan statistical areas (SMSA's) in the United States and 4 in Puerto Rico, making a total of 247 in the 1970 census. These include the 231 SMSA's as defined and named in the Bureau of the Budget publication, **Standard Metropolitan Statistical Areas: 1967**, U.S. Government Printing Office, Washington, D.C. 20402. Since 1967, 16 SMSA's have been added, of which two were defined in January 1968 and an additional 14 were defined in February

1971 on the basis of the results of the 1970 census. Changes in SMSA boundaries or titles made after February 1971 are not recognized in this series of reports. SMSA's are defined by the Office of Management and Budget (formerly Bureau of the Budget).

Except in the New England States, a standard metropolitan statistical area is a county or group of contiguous counties which contains at least one city of 50,000 inhabitants or more, or "twin cities" with a combined population of at least 50,000. In addition to the county or counties containing such a city or cities, contiguous counties are included in an SMSA if, according to certain criteria, they are socially and economically integrated with the central city. In the New England States, SMSA's consist of towns and cities instead of counties. Each SMSA must include at least one central city, and the complete title of an SMSA identifies the central city or cities. For a detailed description of the criteria used in defining SMSA's, see the Bureau of the Budget publication cited above.

The figures for central cities shown in this report may differ from those shown in the Housing Census HC(1)-A and HC(1)-B reports. In those reports, if a central city of an SMSA is an extended city (so designated because it has extended its boundaries to include territory essentially rural in character), the figures shown for the central city were restricted to the urban portion of the city. In addition, parts of central cities outside the SMSA boundaries were excluded from the central city tabulations. In this report, however, figures for central cities refer to the entire population and housing within the legal city boundaries, including any rural parts of the city or parts outside the SMSA.

Appendix B.—DEFINITIONS AND EXPLANATIONS OF SUBJECT CHARACTERISTICS

GENERAL	App-2	Gross rent	App-8
Self-enumeration and census questionnaire	App-2	Rent asked	App-8
Comparability with 1960 data ..	App-2	Value-income ratio	App-8
LIVING QUARTERS	App-3	Gross rent as percentage of income	App-8
Housing units	App-3	HOUSEHOLD CHARACTERISTICS	App-8
Group quarters	App-3	Head of household	App-8
Rules for mobile homes, hotels, rooming houses, etc.	App-3	Household composition	App-8
Institutions	App-4	Nonrelative	App-9
OCCUPANCY AND VACANCY CHARACTERISTICS	App-4	Family or primary individual ...	App-9
Occupied housing units	App-4	Income in 1969	App-9
Race	App-4	FACSIMILES	App-10
Spanish heritage	App-4	Housing Pages in the 1970 Census Questionnaires	App-10
Tenure	App-4	Respondent Instructions for the Housing Questions in the 1970 Census	App-13
Year moved into unit	App-4	GENERAL	
Vacant housing units	App-4	Self-enumeration and census questionnaire. —As stated in the introductory text of this report, the 1970 census was conducted primarily through self-enumeration. Furthermore, census takers were instructed to read the questions directly from the questionnaire in their telephone and personal visit interviews. The questionnaire pages containing the housing questions asked on a 100-percent basis and the additional questions asked on a sample basis, as well as the page of the respondent instruction sheet which relates to these questions, are reproduced on pages App-10 to App-13. The definitions and explanations given below for each subject are, to a considerable extent, drawn from various technical and procedural materials used in the collection of the data. This material helped the enumerative personnel to understand more fully the intent of each question and thus to resolve problem or unusual cases. Also included is certain explanatory information to assist the user in the proper utilization of the statistics.	
Vacancy status	App-5		
Duration of vacancy	App-5		
UTILIZATION CHARACTERISTICS	App-5		
Persons	App-5		
Rooms	App-5		
Persons per room	App-5		
Bedrooms	App-5		
STRUCTURAL AND PLUMBING CHARACTERISTICS	App-5		
Direct access	App-5		
Complete kitchen facilities	App-5		
Year structure built	App-6		
Units in structure	App-6		
Elevator in structure	App-6		
Plumbing facilities	App-6		
Complete bathrooms	App-6		
EQUIPMENT, FUELS, AND APPLIANCES	App-6		
Heating equipment	App-6		
Air conditioning	App-7		
Automobiles available	App-7		
Automatic clothes washing machine	App-7		
Clothes dryer	App-7		
Dishwasher	App-7		
Home food freezer	App-7		
Owned second home	App-7		
FINANCIAL CHARACTERISTICS	App-7		
Value	App-7		
Sales price asked	App-7		

Comparability with 1960 data.—Although the 1970 data are generally comparable with the data collected in 1960, certain changes have been introduced. The 1960 inquiry regarding owner occupancy has been subdivided to show a separate category for cooperatives and condominiums in 1970. The 1960 question on cooking equipment was broadened in 1970 to cover "complete kitchen facilities"; i.e., an installed sink with piped water, a range or cookstove, and a mechanical refrigerator. On the other hand, the 1960 question on condition of housing unit (i.e., sound, deteriorating, or dilapidated) was eliminated because of serious problems with response reliability.

Items which were added to the 1970 questionnaire are dishwasher and owned second home. The 1960 inquiry on television has been subdivided to provide separate information on television sets which can receive UHF broadcasts. The 1970 inquiry on radios is limited to battery-operated sets including car radios, whereas the 1960 inquiry covered radio sets of all kinds located in the unit. Data on television sets and radios are not given in this report; statistics on these appliances, however, are presented in the 1970 Housing Census, HC(1)-B reports.

There have also been changes in the scope of some of the tabulations. The tabulations on value and contract rent refer to slightly different sets of housing units in 1970 than in 1960. Summarized generally, the difference is that the 1970 data exclude units on places of 10 acres or more whereas the 1960 data exclude units on farms; more specific information can be obtained by comparing the value and rent definitions in the present report with those in 1960 Housing Census Volume I.

Data on elevator in structure were collected for all geographic areas in 1970. In 1960, statistics on elevator in structure were collected only for large places; that is, places which had a population of 50,000 or more in 1950 or in an interim census.

Separate data on a number of subjects are presented for occupied units with Negro head of household. In 1960, this type of tabulation related to the total of all household heads other than white; Negro household heads constituted 95 percent of this total in 1960 for the Nation as a whole, but this proportion varied widely among areas.

Separate data are also shown in this report for housing units occupied by heads of Spanish heritage, that is, household heads of Spanish language or Spanish surname in five Southwestern States (Arizona, California, Colorado, New Mexico, and Texas), heads of Puerto Rican birth or parentage in New York, New Jersey, and Pennsylvania, and heads of Spanish language in all other States. In 1960, household heads of Spanish surname were identified in the five Southwestern States and Puerto Rican heads of households were identified in all other States. More information on the 1970 definition is given in this report and in the 1970 Population Census Series PC(1)-C reports; the 1960 definition is more fully explained in the 1960 Census of Housing Volume I reports.

LIVING QUARTERS

Living quarters are classified in the census as either housing units or group quarters. Usually, living quarters are in structures intended for residential use (e.g., a one-family home, apartment house, hotel or motel, boarding house,

mobile home or trailer, etc.). Living quarters may also be in structures intended for nonresidential use (e.g., the rooms in a warehouse where a watchman lives), as well as in tents, caves, old railroad cars, etc.

Housing units.—A housing unit is a house, an apartment, a group of rooms, or a single room occupied or intended for occupancy as separate living quarters. Separate living quarters are those in which the occupants do not live and eat with any other persons in the structure and which have either (1) direct access from the outside of the building or through a common hall or (2) complete kitchen facilities for the exclusive use of the occupants. The occupants may be a single family, one person living alone, two or more families living together, or any other group of related or unrelated persons who share living arrangements (except as described in the section on group quarters). For vacant units, the criteria of separateness, direct access, and complete kitchen facilities for exclusive use are applied to the intended occupants, whenever possible. If the information cannot be obtained, the criteria are applied to the previous occupants. Both occupied and vacant housing units are included in the housing inventory, except that mobile homes, trailers, tents, caves, boats, railroad cars, and the like, are included only if they are occupied.

Group quarters.—Group quarters are living arrangements for institutional inmates or for other groups containing five or more persons not related to the person in charge. Group quarters are located most frequently in institutions, boarding houses, military barracks, college dormitories, fraternity and sorority houses, hospitals, mona-

steries, convents, and ships. A house or apartment is considered group quarters if it is shared by the person in charge and five or more persons unrelated to him, or if there is no person in charge, by six or more unrelated persons. Information on the housing characteristics of group quarters was not collected in the census.

Rules for mobile homes, hotels, rooming houses, etc.—Mobile homes or trailers, tents, boats, or railroad cars are not enumerated if vacant, used only for business, or used only for vacations.

Occupied rooms or suites of rooms in hotels, motels, and similar places are classified as housing units only when occupied by permanent residents; i.e., persons who consider the hotel as their usual place of residence or have no usual place of residence elsewhere. Vacant rooms or suites of rooms are classified as housing units only in those hotels, motels, and similar places in which 75 percent or more of the accommodations are occupied by permanent residents.

If any of the occupants in a rooming or boarding house live and eat separately from everyone else in the building and have either direct access or complete kitchen facilities for exclusive use, their quarters are classified as separate housing units. The remaining quarters are combined. If the combined quarters contain four or fewer roomers unrelated to the head, they are classified as one housing unit; if the combined quarters contain five or more roomers unrelated to the head or person in charge, they are classified as group quarters. In a dormitory, residence hall, or similar place, living quarters of the supervisory staff and other employees are separate housing units if they satisfy the housing unit

criteria; other living quarters are considered group quarters.

Institutions.—Living quarters of staff personnel are separate housing units if they satisfy the housing unit criteria. Other living quarters are considered group quarters.

OCCUPANCY AND VACANCY CHARACTERISTICS

Occupied housing units.—A housing unit is classified as occupied if a person or group of persons is living in it at the time of enumeration or if the occupants are only temporarily absent—for example, on vacation. However, if the persons staying in the unit have their usual place of residence elsewhere, the unit is classified as vacant.

A household consists of all the persons who occupy a housing unit. By definition, therefore, the count of occupied housing units is the same as the count of households in the 1970 Census of Population reports. In some cases, however, there may be small differences in the counts resulting from processing procedures.

Race.—The classification by race shown here refers to the race of the head of the household occupying the housing unit. Detailed characteristics of units with Negro head of household are presented in separate tables for SMSA's, cities or places having a Negro population of 25,000 or more. The concept of race as used by the Census Bureau does not denote clear-cut scientific definitions of biological stock. The data represent essentially self-classification by people according to the race with which they identify themselves.

Spanish heritage.—The inquiries in the 1970 census permit the identification of housing units occupied by heads of Spanish heritage by various means: birthplace, birthplace of parents, language, and surname. The specific types of identification are given below. A more detailed explanation is given in the 1970 Population Census PC(1)-C reports.

Puerto Rican birth or parentage.—Household heads of Puerto Rican birth or parentage are identified in the three Middle Atlantic States: New York, New Jersey, and Pennsylvania.

Spanish language or Spanish surname.—In five Southwestern States—Arizona, California, Colorado, New Mexico, and Texas—household heads of Spanish language or Spanish surname are identified. (A household head is classified as of Spanish language if the head or his wife reported Spanish as his or her mother tongue, i.e., the language spoken at home when the person was a child.)

Spanish language.—In all other States and the District of Columbia, household heads of Spanish language (as defined above) are identified.

Detailed characteristics of units with heads of Spanish heritage are presented in separate tables for SMSA's, cities or places having a population of 25,000 or more for the particular Spanish-heritage group.

Tenure.—(See facsimiles of questionnaire item H9 and instructions on pages App-10 and App-13.) A housing unit is "owner occupied" if the owner or co-owner lives in the unit, even if it is mortgaged or not fully paid for. A

cooperative or condominium unit is "owner occupied" only if the owner or co-owner lives in it. All other occupied units are classified as "renter occupied," including units rented for cash rent and those occupied without payment of cash rent.

Year moved into unit.—Data on year moved into unit are based on the information reported for the head of the household. The question refers to the year of latest move. Thus, if the head moved back into a unit he had previously occupied, the year of his latest move was to be reported; if he moved from one apartment to another in the same building, the year he moved into his present unit was to be reported. The intent is to establish the year the present occupancy by the head began. The year the head moves is not necessarily the same year other members of the household move, although in the great majority of cases the entire household moves at the same time.

Vacant housing units.—A housing unit is vacant if no one is living in it at the time of enumeration, unless its occupants are only temporarily absent. In addition, a vacant unit may be one which is occupied entirely by persons who have a usual residence elsewhere.

New units not yet occupied are classified as vacant housing units if construction has reached a point where all exterior windows and doors are installed and final usable floors are in place. Vacant units are excluded if unfit for human habitation; that is, if the roof, walls, windows, or doors no longer protect the interior from the elements, or if there is positive evidence (such as a sign on the house or in the block) that the unit is to be demolished or is condemned. Also

excluded are quarters being used entirely for nonresidential purposes, such as a store or an office, or quarters used for the storage of business supplies or inventory, machinery, or agricultural products.

Vacancy status.—(See facsimile of questionnaire item C on page App-10.) Vacant housing units are classified as either "seasonal and migratory" or "year-round." "Seasonal" units are intended for occupancy during only certain seasons of the year. Included are units intended for recreational use, such as beach cottages and hunting cabins, and vacant units held for herders and loggers. "Migratory" units are vacant units held for occupancy by migratory labor employed in farm work during the crop season. "Year-round" vacant housing units are available or intended for occupancy at any time of the year. A unit in a resort area which is usually occupied on a year-round basis is considered year-round. A unit used only occasionally throughout the year is also considered year-round.

This report presents statistics for "year-round" vacant units on the market for sale or for rent. Excluded are "seasonal and migratory" vacant units, as well as "year-round" vacant units sold or rented but not yet occupied by the new owner or renter, units held for the occasional use of the owner, and units held off the market for other reasons.

Vacant for sale.—Vacant year-round units "for sale" also include vacant units in a cooperative or condominium building if the individual units are offered for sale only.

Vacant for rent.—Vacant year-round units "for rent" also include vacant units offered either for rent or for sale.

Duration of vacancy.—(See facsimile of questionnaire item D on page App-10.) The statistics on duration of vacancy refer to the length of time (in months) from the date the last occupants moved from the unit to the date of enumeration. The data, therefore, do not provide a direct measure of the total length of time units remain vacant. For newly constructed units which have never been occupied, the duration of vacancy is counted from the date construction was completed. For recently converted or merged units, the time is reported from the date conversion or merger was completed.

UTILIZATION CHARACTERISTICS

Persons.—All persons occupying the housing unit are counted. These persons include not only occupants related to the head of the household but also any lodgers, roomers, boarders, partners, wards, foster children, and resident employees who share the living quarters of the household head. The data on "persons" show the number of housing units occupied by the specified number of persons.

Units with one or more roomers, boarders, or lodgers are shown as a separate category. Not included as "roomers, boarders, or lodgers" are servants who live in, companions, partners, etc.

Rooms.—(See facsimiles of questionnaire item H4 and instructions on pages App-10 and App-13.) The statistics on "rooms" are in terms of the number of housing units with specified number of rooms. The intent of this question was to count the number of whole rooms used for living purposes. As stated on the questionnaire and instruction sheet, bathrooms, foyers,

utility rooms, unfinished attics or basements, etc., are not included in the count of rooms.

Persons per room.—"Persons per room" is computed for each occupied unit by dividing the number of persons in the unit by the number of rooms in the unit. The figures shown refer, therefore, to the number of housing units having the specified ratio of persons per room.

Bedrooms.—(See facsimile of questionnaire item H26 on page App-12.) The number of bedrooms in the unit is the count of rooms used mainly for sleeping, even if also used for other purposes. Rooms reserved for sleeping such as guest rooms, even though used infrequently, are counted as bedrooms. On the other hand, rooms used mainly for other purposes, even though used also for sleeping, such as a living room with a hideaway bed, are not considered bedrooms. A housing unit consisting of only one room, such as one-room efficiency apartment, is classified, by definition, as having no bedroom.

STRUCTURAL AND PLUMBING CHARACTERISTICS

Direct access.—(See facsimiles of questionnaire item H2 and instructions on pages App-10 and App-13.) A housing unit is regarded as having direct access if there is (1) a direct entrance from the outdoors, or (2) an entrance from a hall, lobby, or vestibule which is usually used by the occupants of more than one unit or by the general public.

Complete kitchen facilities.—(See facsimiles of questionnaire item H3 and instructions on pages App-10 and App-13.) A unit has complete kitchen facilities when it has all three of the

following: (1) an installed sink with piped water, (2) a range or cookstove, and (3) a mechanical refrigerator.

All kitchen facilities must be located in the structure. They need not be in the same room. Quarters with only portable cooking equipment are not considered as having a range or cookstove. An icebox is not included as a mechanical refrigerator.

The kitchen facilities are for the exclusive use of the occupants (shown on the questionnaire as "for this household only") when they are used only by the occupants of one housing unit, including lodgers or other unrelated persons living in the unit. When a structure consists of only one housing unit, all equipment located inside the structure is classified, by definition, for exclusive use.

Year structure built.—(See facsimile of questionnaire item H15 on page App-11.) Year structure built refers to when the building was first constructed, not when it was remodeled, added to, or converted. The figures relate to the number of units in structures built during the specified periods and in existence at the time of enumeration.

Units in structure.—(See facsimiles of questionnaire item H16 and instructions on pages App-11 and App-13.) In the determination of the number of units in a structure, all housing units, both occupied and vacant, were counted. The statistics are presented in terms of the number of housing units in structures of specified type and size, not in terms of the number of residential structures.

A structure is a separate building that either has open space on all sides or is separated from other structures by dividing walls that extend from ground to roof. Structures containing

only one housing unit are further classified as detached or attached (as explained on the questionnaire and instruction sheet).

Mobile homes and trailers are shown as a separate category. When one or more rooms have been added to a mobile home or trailer it is classified as a one-family house. If, however, only a porch or shed has been added, it is still counted as a mobile home or trailer.

The data on units in structure shown in this report may differ from the comparable figures in the HC(1)-A report. The answers to item H16 on the sample questionnaire made it possible in the HC(2) tabulations to correctly classify as mobile homes or trailers those which were incorrectly classified as one-family houses or as housing units in multiunit structures in the HC(1)-A tabulations.

Elevator in structure.—(See facsimiles of questionnaire item H24 and instructions on pages App-12 and App-13.) Statistics on elevator in structure are presented in terms of the number of housing units in structures with four stories or more which have a passenger elevator. Units are in a "walk-up" structure of four stories or more if the structure has no passenger elevator or if the only elevator service is for freight.

Plumbing facilities.—(See facsimiles of questionnaire items H5, H6, and H7 and instructions on pages App-10 and App-13.) The category "with all plumbing facilities" consists of units which have hot and cold piped water inside the structure as well as a flush toilet and a bathtub or shower inside the structure for the exclusive use of the occupants of the unit. "Lacking some or all plumbing facilities" means that the unit does not have all three

specified plumbing facilities (hot and cold piped water, as well as flush toilet and bathtub or shower inside the structure), or that the toilet or bathing facilities are also for the use of the occupants of other housing units.

Complete bathrooms.—(See facsimile of questionnaire item H21 on page App-11.) A housing unit is classified as having a complete bathroom if it has a room with a flush toilet and bathtub or shower for the exclusive use of the occupants of the unit and a wash basin, as well as piped hot water in the structure. (Although the instructions on the questionnaire do not specify that a complete bathroom must have hot water, this requirement was applied during the processing of the data in an edit combining the items on complete bathrooms and piped water in structure.) A half bathroom has either a flush toilet or a bathtub or shower for exclusive use, but does not have all the facilities for a complete bathroom.

The category "none or also used by another household" consists of units with no bathroom facilities, units with only a half bathroom, and units with bathroom facilities which are also for the use of the occupants of other housing units.

EQUIPMENT, FUELS, AND APPLIANCES

Heating equipment.—(See facsimiles of questionnaire item H14 and instructions on pages App-11 and App-13.) "Steam or hot water" refers to a central heating system in which heat from steam or hot water is delivered through radiators or other outlets. "Warm-air furnace" refers to a central system which provides warm air through ducts leading to various rooms; central heat pumps are

included in this category. "Built-in electric units" are permanently installed in floors, walls, or ceilings. A "floor, wall, or pipeless furnace" delivers warm air to the room right above the furnace or to the room(s) on one or both sides of the wall in which the furnace is installed. "Other means" includes room heaters with or without flue, fireplaces, stoves, and portable heaters of all types.

For vacant units from which the heating equipment had been removed, the equipment used by the last occupants was to be reported.

Air conditioning.—(See facsimiles of questionnaire item H22 and instructions on pages App-11 and App-13.) Air conditioning is defined as the cooling of air by a refrigeration unit; excluded are evaporative coolers, fans, or blowers which are not connected to a refrigeration unit. A central system is a central installation which air-conditions the entire housing unit. In an apartment building, a central system may cool all apartments in the building, each apartment may have its own central system, or there may be several systems, each providing central air conditioning for a group of apartments. A central installation with individual room controls is a central air-conditioning system. A room unit is an individual air conditioner which is installed in a window or an outside wall and is generally intended to cool one room, although it may sometimes be used to cool more than one room.

Automobiles available.—(See facsimiles of questionnaire item H23 and instructions on pages App-11 and App-13.) Statistics on automobiles available represent the number of passenger automobiles, including station wagons, which are owned or regularly used by any member of the household and

which are ordinarily kept at home. Taxicabs, pickups, or larger trucks were not to be counted. The figures include leased automobiles and company-owned automobiles kept at home. The statistics, therefore, do not reflect the number of automobiles privately owned or the number of households owning automobiles.

Appliances.—(See facsimiles of questionnaire items H27 and instructions on pages App-12 and App-13.)

Automatic clothes washing machine.—This category describes a machine that washes, rinses, and damp dries in the same tub; washer-dryer combinations are included in this group.

Clothes dryer.—A clothes dryer is a mechanical appliance in which clothes are dried by heated air. A unit with a washer-dryer combination is classified as having a clothes dryer (as well as an automatic clothes washing machine.)

Dishwasher.—This category includes both built-in and portable dishwashers.

Home food freezer.—A home food freezer is an appliance, separate from the refrigerator, designed for freezing food and for storing frozen food.

Owned second home.—(See facsimiles of questionnaire item H30 and instructions on pages App-12 and App-13.) A second home may be a single-family house, vacation cottage, hunting cabin, ski lodge, etc., which is owned and held for use sometime during the year by the owner or members of his household. Second homes may also be owned in partnership with members of a different household. The figures include second homes which are some-

times rented or leased on a short-term basis to other persons but are principally held for the owner's occasional use during the year.

The statistics refer to the number of households that own (one or more) second homes. The data, therefore, do not reflect the number of owned second homes.

FINANCIAL CHARACTERISTICS

Value.—(See facsimiles of questionnaire item H11 and instructions on pages App-10 and App-13.) Value is the respondent's estimate of how much the property (house and lot) would sell for if it were for sale. The statistics on value are shown only for one-family houses on less than 10 acres without a commercial establishment or medical office on the property. The value tabulations also exclude mobile homes and trailers and units in cooperatives and condominiums.

As stated in the section on "units in structure," certain mobile homes and trailers were incorrectly classified as one-family houses in the HC(1)-A tabulations. In the HC(2) reports, the number of specified owner-occupied (one-family) units and the value tabulations correctly exclude the misclassified mobile homes and trailers; these tend to be at the lower end of the value distribution. As a result, the data on value shown in this report may differ from the comparable statistics in the HC(1)-A report.

Sales price asked.—For vacant units, the sales price is the amount asked for the property at the time of enumeration. The statistics on sales price are shown only for vacant for sale one-family houses on less than 10 acres without a commercial establishment or medical office on the property.

Gross rent.—(See facsimiles of questionnaire items H12 and H13 and instructions on pages App-10, 11, and 13.) The computed rent termed "gross rent" is the contract rent plus the estimated average monthly cost of utilities (electricity, gas, water) and fuels (oil, coal, kerosene, wood, etc.), if these items are paid for by the renter (or paid for him by someone else, such as a relative, welfare agency, or friend) in addition to rent. Contract rent is the monthly rent agreed to, or contracted for, regardless of any furnishings, utilities, or services that may be included. Thus, gross rent is intended to eliminate differentials which result from varying practices with respect to the inclusion of utilities and fuel as part of the rental payment. The estimated costs of water and fuels are reported on a yearly basis but they are converted to monthly figures in the computation process.

The statistics on rent exclude one-family houses on ten acres or more. Renter units occupied without payment of cash rent are shown separately as "no cash rent" in the rent tabulations.

Rent asked.—For vacant units, the rent is the amount asked for the unit at the time of enumeration. The data are for vacant year-round units for rent, excluding one-family houses on ten acres or more. In table 10, data are provided for two kinds of vacant-for-rent units—those for which the rent includes payment for all utilities and fuel, and those for which the rent includes only some or none of the utilities and fuel. See section on "Gross rent" above for discussion of utilities and fuel.

Value-income ratio.—The value-income ratio is computed by dividing the value

of the housing unit by the total income in 1969 of the family or primary individual. The ratio is presented for the same owner-occupied units for which value was tabulated; thus, the statistics on value-income ratio reflect the exclusion of certain owner-occupied units. The ratio was computed separately for each unit and was rounded to the nearest tenth. In reporting value, respondents were asked to select an appropriate class interval. The midpoints of the value intervals were used in the computation of the value-income ratio, except that a mean of \$3,500 was assigned for values less than \$5,000 and a mean of \$60,000 was assigned for values of \$50,000 or more. For income, the dollar amounts were used. Units occupied by families or primary individuals who reported no income or a net loss comprise the category "not computed."

Gross rent as percentage of income.—The yearly gross rent (monthly gross rent multiplied by 12) is expressed as a percentage of the total income in 1969 of the family or primary individual. The percentage is presented for the same renter-occupied units for which gross rent was tabulated; thus, the statistics on gross rent as percentage of income reflect the exclusion of certain renter-occupied units. The percentage was computed separately for each unit and was rounded to the nearest whole number. For gross rent, the dollar amounts were used in the computation except that \$999 was assigned for monthly rentals of \$1,000 or more. For income, the dollar amounts were used. Units for which no cash rent is paid and units occupied by families or primary individuals who reported no income or a net loss comprise the category "not computed."

HOUSEHOLD CHARACTERISTICS

Head of household.—One person in each household is designated as the "head," that is, the person who is regarded as the head by the members of the household. However, if a married woman living with her husband is reported as the head, her husband was considered the head for the purpose of simplifying the tabulations.

Household composition.—Statistics by age of head are presented separately for two-or-more person households and for one-person households. Households having two or more persons are further subdivided as follows:

Male head, wife present, no non-relatives.—Each household in this group consists of the head and his wife, and other persons, if any, all of whom are related to him.

Other male head.—This category includes households with male head, wife present, with non-relatives living with them; male heads who are married, but with wife absent because of separation or other reason where husband and wife maintain separate residences; and male heads who are widowed, divorced, or single.

Female head.—This group comprises households with female heads regardless of their marital status. Included are female heads with no spouse and female heads whose husbands are living away from their families, as for example, husbands in the Armed Forces living on military installations.

Households consisting of only one person are shown separately as "one-person households" and are not included in the subcategories "other male head" and "female head."

Nonrelative.—A nonrelative of the head is any person in the household who is not related to the head by blood, marriage, or adoption. Roomers, boarders, lodgers, partners, resident employees, wards, and foster children are included in this category.

Family or primary individual.—Housing units are occupied by either "families" or "primary individuals." The term "family" refers to the head of a household and all (one or more) other persons living in the same household who are related to the head by blood, marriage, or adoption. If the head lives alone or with nonrelatives only, then the head is considered a "primary individual."

Married couples related to the head of a family are included in the family and are not considered as separate families. A lodger, servant, or other person unrelated to the head is considered a member of the household but not of the family.

In the statistics on household composition, families are always included in one of the three major groups of two-or-more person households. Primary individuals with nonrelatives living with them are tabulated as "other male head" or "female head." Primary individuals living alone are always tabulated as "one-person households."

Income in 1969.—Income is the sum of the amounts reported for wage and salary income, net self-employment income, Social Security or railroad retirement income, public assistance or welfare income, and all other income. The figures represent the amount of income received before deductions for personal income taxes, Social Security, bond purchases, union dues, health insurance premiums, Medicare deductions, etc.

In this report, the statistics relate to the income of the family or primary individual occupying the housing unit; that is, the sum of the income of the head of the family and all other members of the family 14 years old and over or the income of the primary individual. Incomes of persons living in the unit but not related to the head of the household are not included in this sum. Although the income statistics cover the calendar year 1969, the characteristics of the household refer to the time of enumeration (April 1970). Thus, the income of the family does not include amounts received by persons who were members of the family during all or part of the calendar year 1969 if these persons no longer resided with the family at the time of the census. On the other hand, family income includes amounts reported by related persons who did not reside with the family during 1969 but who were members of the family at the time of enumeration. For most families, however, the income reported was received by persons who were members of the family throughout 1969.

Wage or salary income is defined as the total money earnings received for work performed as an employee at any time during the calendar year 1969. It includes wages, salary, pay from Armed Forces, commissions, tips, piece rate payments, and cash bonuses earned. Net self-employment income is defined as net money income (gross receipts minus operating expenses) received from a business, farm, professional enterprise, or partnership in which the person was engaged on his own account.

Social Security or railroad retirement income includes cash receipts of Social Security pensions, survivors' benefits, permanent disability insurance payments, and special benefit payments made by the Social Security Administration. Cash receipt of retire-

ment, disability, and survivors' benefit payments made by the U.S. Government under the Railroad Retirement Act are also included. Public assistance income includes cash receipts of payments made under the following public assistance programs: Aid to families with dependent children, old age assistance, general assistance, aid to the blind, and aid to the permanently and totally disabled. Separate payments received for hospital or other medical care are not included.

Income from all other sources includes money income received from sources such as interest; dividends; net income (or loss) from property rentals; net receipts from roomers or boarders; veteran's payments; public or private pensions; periodic receipts from insurance policies or annuities; unemployment insurance benefits; workmen's compensation cash benefits; net royalties; periodic payments from estates and trust funds; alimony or child support from persons who are not members of the household; net gambling gains; nonservice scholarships and fellowships; and money received for transportation and/or subsistence by persons participating in special governmental training programs, e.g., under the Manpower Development and Training Act.

Receipts from the following sources were not included as income: Money received from the sale of property (unless the recipient was engaged in the business of selling such property); the value of income "in kind" such as food produced and consumed in the home or free living quarters; withdrawal of bank deposits; money borrowed; tax refunds; exchange of money between relatives living in the same household; gifts and lump-sum inheritances, insurance payments, and other types of lump-sum receipts. (A more detailed discussion of income is given in the 1970 Population Census, PC(1)-C reports.)

APPENDIX B—Continued

FACSIMILES OF THE HOUSING PAGES IN THE 1970 CENSUS QUESTIONNAIRES
(Questions on this page appeared on both the 15-percent and 5-percent questionnaires)

<p>A. How many living quarters, occupied and vacant, are at this address?</p> <p><input type="radio"/> One</p> <p><input type="radio"/> 2 apartments or living quarters</p> <p><input type="radio"/> 3 apartments or living quarters</p> <p><input type="radio"/> 4 apartments or living quarters</p> <p><input type="radio"/> 5 apartments or living quarters</p> <p><input type="radio"/> 6 apartments or living quarters</p> <p><input type="radio"/> 7 apartments or living quarters</p> <p><input type="radio"/> 8 apartments or living quarters</p> <p><input type="radio"/> 9 apartments or living quarters</p> <p><input type="radio"/> 10 or more apartments or living quarters</p> <p><input type="radio"/> This is a mobile home or trailer</p>	<p>H9. Are your living quarters—</p> <p><input type="radio"/> Owned or being bought by you or by someone else in this household? <i>Do not include cooperatives and condominiums here.</i></p> <p><input type="radio"/> A cooperative or condominium which is owned or being bought by you or by someone else in this household?</p> <p><input type="radio"/> Rented for cash rent?</p> <p><input type="radio"/> Occupied without payment of cash rent?</p>	<p>FOR CENSUS ENUMERATOR'S USE ONLY</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:50%;">a4. Block number</th> <th style="width:50%;">a5. Serial number</th> </tr> </thead> <tbody> <tr><td>0 0 0 0</td><td>0 0 0 0</td></tr> <tr><td>1 0 0 0</td><td>1 0 0 0</td></tr> <tr><td>2 0 0 0</td><td>2 0 0 0</td></tr> <tr><td>3 0 0 0</td><td>3 0 0 0</td></tr> <tr><td>4 0 0 0</td><td>4 0 0 0</td></tr> <tr><td>5 0 0 0</td><td>5 0 0 0</td></tr> <tr><td>6 0 0 0</td><td>6 0 0 0</td></tr> <tr><td>7 0 0 0</td><td>7 0 0 0</td></tr> <tr><td>8 0 0 0</td><td>8 0 0 0</td></tr> <tr><td>9 0 0 0</td><td>9 0 0 0</td></tr> </tbody> </table>	a4. Block number	a5. Serial number	0 0 0 0	0 0 0 0	1 0 0 0	1 0 0 0	2 0 0 0	2 0 0 0	3 0 0 0	3 0 0 0	4 0 0 0	4 0 0 0	5 0 0 0	5 0 0 0	6 0 0 0	6 0 0 0	7 0 0 0	7 0 0 0	8 0 0 0	8 0 0 0	9 0 0 0	9 0 0 0
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<p><i>Answer these questions for your living quarters</i></p>	<p>H10a. Is this building a one-family house?</p> <p><input type="radio"/> Yes, a one-family house</p> <p><input type="radio"/> No, a building for 2 or more families or a mobile home or trailer</p>	<p>B. Type of unit or quarters</p> <p><u>Occupied</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><u>Vacant</u></p> <p><input type="radio"/> Regular</p> <p><input type="radio"/> Usual residence elsewhere</p> <p><u>Group quarters</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><i>For a vacant unit, also fill C, D, A, H2 to H8, and H10 to H12</i></p>																						
<p>H11. Is there a telephone on which people in your living quarters can be called?</p> <p><input type="radio"/> Yes — What is the number? _____</p> <p><input type="radio"/> No _____</p> <p style="text-align: right; margin-right: 50px;"><i>Phone number</i></p>	<p>H10b. If "Yes"—Is this house on a place of 10 acres or more, or is any part of this property used as a commercial establishment or medical office?</p> <p><input type="radio"/> Yes, 10 acres or more</p> <p><input type="radio"/> Yes, commercial establishment or medical office</p> <p><input type="radio"/> No, none of the above</p>	<p>B. Type of unit or quarters</p> <p><u>Occupied</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><u>Vacant</u></p> <p><input type="radio"/> Regular</p> <p><input type="radio"/> Usual residence elsewhere</p> <p><u>Group quarters</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><i>For a vacant unit, also fill C, D, A, H2 to H8, and H10 to H12</i></p>																						
<p>H2. Do you enter your living quarters—</p> <p><input type="radio"/> Directly from the outside or through a common or public hall?</p> <p><input type="radio"/> Through someone else's living quarters?</p>	<p>H11. If you live in a one-family house which you own or are buying—</p> <p>What is the value of this property; that is, how much do you think this property (house and lot) would sell for if it were for sale?</p> <p><input type="radio"/> Less than \$5,000</p> <p><input type="radio"/> \$5,000 to \$7,499</p> <p><input type="radio"/> \$7,500 to \$9,999</p> <p><input type="radio"/> \$10,000 to \$12,499</p> <p><input type="radio"/> \$12,500 to \$14,999</p> <p><input type="radio"/> \$15,000 to \$17,499</p> <p><input type="radio"/> \$17,500 to \$19,999</p> <p><input type="radio"/> \$20,000 to \$24,999</p> <p><input type="radio"/> \$25,000 to \$34,999</p> <p><input type="radio"/> \$35,000 to \$49,999</p> <p><input type="radio"/> \$50,000 or more</p>	<p>B. Type of unit or quarters</p> <p><u>Occupied</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><u>Vacant</u></p> <p><input type="radio"/> Regular</p> <p><input type="radio"/> Usual residence elsewhere</p> <p><u>Group quarters</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><i>For a vacant unit, also fill C, D, A, H2 to H8, and H10 to H12</i></p>																						
<p>H3. Do you have complete kitchen facilities?</p> <p><i>Complete kitchen facilities are a sink with piped water, a range or cook stove, and a refrigerator.</i></p> <p><input type="radio"/> Yes, for this household only</p> <p><input type="radio"/> Yes, but also used by another household</p> <p><input type="radio"/> No complete kitchen facilities for this household</p>	<p>H11. If you live in a one-family house which you own or are buying—</p> <p>What is the value of this property; that is, how much do you think this property (house and lot) would sell for if it were for sale?</p> <p><input type="radio"/> Less than \$5,000</p> <p><input type="radio"/> \$5,000 to \$7,499</p> <p><input type="radio"/> \$7,500 to \$9,999</p> <p><input type="radio"/> \$10,000 to \$12,499</p> <p><input type="radio"/> \$12,500 to \$14,999</p> <p><input type="radio"/> \$15,000 to \$17,499</p> <p><input type="radio"/> \$17,500 to \$19,999</p> <p><input type="radio"/> \$20,000 to \$24,999</p> <p><input type="radio"/> \$25,000 to \$34,999</p> <p><input type="radio"/> \$35,000 to \$49,999</p> <p><input type="radio"/> \$50,000 or more</p> <p style="font-size: small; border: 1px solid black; padding: 2px; width: fit-content; margin-left: 20px;"><i>If this house is on a place of 10 acres or more, or if any part of this property is used as a commercial establishment or medical office, do not answer this question.</i></p>	<p>B. Type of unit or quarters</p> <p><u>Occupied</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><u>Vacant</u></p> <p><input type="radio"/> Regular</p> <p><input type="radio"/> Usual residence elsewhere</p> <p><u>Group quarters</u></p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><i>For a vacant unit, also fill C, D, A, H2 to H8, and H10 to H12</i></p>																						
<p>H4. How many rooms do you have in your living quarters?</p> <p><i>Do not count bathrooms, porches, balconies, foyers, halls, or half-rooms.</i></p> <p><input type="radio"/> 1 room</p> <p><input type="radio"/> 2 rooms</p> <p><input type="radio"/> 3 rooms</p> <p><input type="radio"/> 4 rooms</p> <p><input type="radio"/> 5 rooms</p> <p><input type="radio"/> 6 rooms</p> <p><input type="radio"/> 7 rooms</p> <p><input type="radio"/> 8 rooms</p> <p><input type="radio"/> 9 rooms or more</p>	<p>H12. Answer this question if you pay rent for your living quarters.</p> <p>a. If rent is paid by the month—</p> <p>What is the monthly rent?</p> <p>Write amount here → \$ _____ .00 (Nearest dollar)</p> <p>and</p> <p>Fill one circle</p> <p><input type="radio"/> Less than \$30</p> <p><input type="radio"/> \$30 to \$39</p> <p><input type="radio"/> \$40 to \$49</p> <p><input type="radio"/> \$50 to \$59</p> <p><input type="radio"/> \$60 to \$69</p> <p><input type="radio"/> \$70 to \$79</p> <p><input type="radio"/> \$80 to \$89</p> <p><input type="radio"/> \$90 to \$99</p> <p><input type="radio"/> \$100 to \$119</p> <p><input type="radio"/> \$120 to \$149</p> <p><input type="radio"/> \$150 to \$199</p> <p><input type="radio"/> \$200 to \$249</p> <p><input type="radio"/> \$250 to \$299</p> <p><input type="radio"/> \$300 or more</p>	<p>C. Vacancy status</p> <p><u>Year round—</u></p> <p><input type="radio"/> For rent</p> <p><input type="radio"/> For sale only</p> <p><input type="radio"/> Rented or sold, not occupied</p> <p><input type="radio"/> Held for occasional use</p> <p><input type="radio"/> Other vacant</p> <p><u>Seasonal</u></p> <p><input type="radio"/> Migratory</p>																						
<p>H5. Is there hot and cold piped water in this building?</p> <p><input type="radio"/> Yes, hot and cold piped water in this building</p> <p><input type="radio"/> No, only cold piped water in this building</p> <p><input type="radio"/> No piped water in this building</p>	<p>b. If rent is not paid by the month—</p> <p>What is the rent, and what period of time does it cover?</p> <p>\$ _____ .00 per _____</p> <p style="text-align: center; font-size: small;"><i>(Nearest dollar) (Week, half-month, year, etc.)</i></p>	<p>D. Months vacant</p> <p><input type="radio"/> Less than 1 month</p> <p><input type="radio"/> 1 up to 2 months</p> <p><input type="radio"/> 2 up to 6 months</p> <p><input type="radio"/> 6 up to 12 months</p> <p><input type="radio"/> 1 year up to 2 years</p> <p><input type="radio"/> 2 years or more</p>																						
<p>H6. Do you have a flush toilet?</p> <p><input type="radio"/> Yes, for this household only</p> <p><input type="radio"/> Yes, but also used by another household</p> <p><input type="radio"/> No flush toilet</p>	<p>H12. Answer this question if you pay rent for your living quarters.</p> <p>a. If rent is paid by the month—</p> <p>What is the monthly rent?</p> <p>Write amount here → \$ _____ .00 (Nearest dollar)</p> <p>and</p> <p>Fill one circle</p> <p><input type="radio"/> Less than \$30</p> <p><input type="radio"/> \$30 to \$39</p> <p><input type="radio"/> \$40 to \$49</p> <p><input type="radio"/> \$50 to \$59</p> <p><input type="radio"/> \$60 to \$69</p> <p><input type="radio"/> \$70 to \$79</p> <p><input type="radio"/> \$80 to \$89</p> <p><input type="radio"/> \$90 to \$99</p> <p><input type="radio"/> \$100 to \$119</p> <p><input type="radio"/> \$120 to \$149</p> <p><input type="radio"/> \$150 to \$199</p> <p><input type="radio"/> \$200 to \$249</p> <p><input type="radio"/> \$250 to \$299</p> <p><input type="radio"/> \$300 or more</p>	<p>C. Vacancy status</p> <p><u>Year round—</u></p> <p><input type="radio"/> For rent</p> <p><input type="radio"/> For sale only</p> <p><input type="radio"/> Rented or sold, not occupied</p> <p><input type="radio"/> Held for occasional use</p> <p><input type="radio"/> Other vacant</p> <p><u>Seasonal</u></p> <p><input type="radio"/> Migratory</p>																						
<p>H7. Do you have a bathtub or shower?</p> <p><input type="radio"/> Yes, for this household only</p> <p><input type="radio"/> Yes, but also used by another household</p> <p><input type="radio"/> No bathtub or shower</p>	<p>b. If rent is not paid by the month—</p> <p>What is the rent, and what period of time does it cover?</p> <p>\$ _____ .00 per _____</p> <p style="text-align: center; font-size: small;"><i>(Nearest dollar) (Week, half-month, year, etc.)</i></p>	<p>D. Months vacant</p> <p><input type="radio"/> Less than 1 month</p> <p><input type="radio"/> 1 up to 2 months</p> <p><input type="radio"/> 2 up to 6 months</p> <p><input type="radio"/> 6 up to 12 months</p> <p><input type="radio"/> 1 year up to 2 years</p> <p><input type="radio"/> 2 years or more</p>																						
<p>H8. Is there a basement in this building?</p> <p><input type="radio"/> Yes</p> <p><input type="radio"/> No, built on a concrete slab</p> <p><input type="radio"/> No, built in another way (include mobile homes and trailers)</p>	<p>b. If rent is not paid by the month—</p> <p>What is the rent, and what period of time does it cover?</p> <p>\$ _____ .00 per _____</p> <p style="text-align: center; font-size: small;"><i>(Nearest dollar) (Week, half-month, year, etc.)</i></p>	<p>C/O <input type="radio"/> <input type="radio"/></p>																						

FACSIMILES OF THE HOUSING PAGES IN THE 1970 CENSUS QUESTIONNAIRES
(Percent indicates sample size)

<p>H13. Answer question H13 if you <u>pay rent</u> for your living quarters.</p> <p>In addition to the rent entered in H12, do you also pay for—</p> <p>a. Electricity?</p> <p><input type="radio"/> Yes, <u>average monthly</u> cost is → \$ _____ .00 Average monthly cost</p> <p><input type="radio"/> No, included in rent</p> <p><input type="radio"/> No, electricity not used</p> <p>b. Gas?</p> <p><input type="radio"/> Yes, <u>average monthly</u> cost is → \$ _____ .00 Average monthly cost</p> <p><input type="radio"/> No, included in rent</p> <p><input type="radio"/> No, gas not used</p> <p>c. Water?</p> <p><input type="radio"/> Yes, <u>yearly</u> cost is → \$ _____ .00 Yearly cost</p> <p><input type="radio"/> No, included in rent or no charge</p> <p>d. Oil, coal, kerosene, wood, etc.?</p> <p><input type="radio"/> Yes, <u>yearly</u> cost is → \$ _____ .00 Yearly cost</p> <p><input type="radio"/> No, included in rent</p> <p><input type="radio"/> No, these fuels not used</p>	<p>H19. Do you get water from—</p> <p><input type="radio"/> A public system (city water department, etc.) or private company?</p> <p><input type="radio"/> An individual well?</p> <p><input type="radio"/> Some other source (a spring, creek, river, cistern, etc.)?</p>
<p>H14. How are your living quarters heated?</p> <p>Fill <u>one</u> circle for the kind of heat you use most.</p> <p><input type="radio"/> Steam or hot water system</p> <p><input type="radio"/> Central warm air furnace with ducts to the individual rooms, or central heat pump</p> <p><input type="radio"/> Built-in electric units (permanently installed in wall, ceiling, or baseboard)</p> <p><input type="radio"/> Floor, wall, or pipeless furnace</p> <p><input type="radio"/> Room heaters <u>with</u> flue or vent, burning gas, oil, or kerosene</p> <p><input type="radio"/> Room heaters <u>without</u> flue or vent, burning gas, oil, or kerosene (not portable)</p> <p><input type="radio"/> Fireplaces, stoves, or portable room heaters of any kind</p> <p>In some other way—Describe → _____</p> <p><input type="radio"/> None, unit has no heating equipment</p>	<p>H20. Is this building connected to a public sewer?</p> <p><input type="radio"/> Yes, connected to public sewer</p> <p><input type="radio"/> No, connected to septic tank or cesspool</p> <p><input type="radio"/> No, use other means</p>
<p>H15. About when was this building originally built? Mark when the building was first constructed, not when it was remodeled, added to, or converted.</p> <p><input type="radio"/> 1969 or 1970 <input type="radio"/> 1950 to 1959</p> <p><input type="radio"/> 1965 to 1968 <input type="radio"/> 1940 to 1949</p> <p><input type="radio"/> 1960 to 1964 <input type="radio"/> 1939 or earlier</p>	<p>H21. How many bathrooms do you have?</p> <p>A complete bathroom is a room with flush toilet, bathtub or shower, and wash basin with piped water.</p> <p>A half bathroom has at least a flush toilet <u>or</u> bathtub or shower, but does <u>not</u> have all the facilities for a complete bathroom.</p> <p><input type="radio"/> No bathroom, or only a half bathroom</p> <p><input type="radio"/> 1 complete bathroom</p> <p><input type="radio"/> 1 complete bathroom, plus half bath(s)</p> <p><input type="radio"/> 2 complete bathrooms</p> <p><input type="radio"/> 2 complete bathrooms, plus half bath(s)</p> <p><input type="radio"/> 3 or more complete bathrooms</p>
<p>H16. Which best describes this building?</p> <p>Include all apartments, flats, etc., even if vacant.</p> <p><input type="radio"/> A one-family house detached from any other house</p> <p><input type="radio"/> A one-family house attached to one or more houses</p> <p><input type="radio"/> A building for 2 families</p> <p><input type="radio"/> A building for 3 or 4 families</p> <p><input type="radio"/> A building for 5 to 9 families</p> <p><input type="radio"/> A building for 10 to 19 families</p> <p><input type="radio"/> A building for 20 to 49 families</p> <p><input type="radio"/> A building for 50 or more families</p> <p><input type="radio"/> A mobile home or trailer</p> <p>Other— Describe → _____</p>	<p>H22. Do you have air-conditioning?</p> <p><input type="radio"/> Yes, 1 individual room unit</p> <p><input type="radio"/> Yes, 2 or more individual room units</p> <p><input type="radio"/> Yes, a central air-conditioning system</p> <p><input type="radio"/> No</p>
<p>H17. Is this building—</p> <p><input type="radio"/> On a city or suburban lot?—Skip to H19</p> <p><input type="radio"/> On a place of less than 10 acres?</p> <p><input type="radio"/> On a place of 10 acres or more?</p>	<p>H23. How many passenger automobiles are owned or regularly used by members of your household? Count company cars kept at home.</p> <p><input type="radio"/> None</p> <p><input type="radio"/> 1 automobile</p> <p><input type="radio"/> 2 automobiles</p> <p><input type="radio"/> 3 automobiles or more</p>
<p>H18. Last year, 1969, did sales of crops, livestock, and other farm products from this place amount to—</p> <p><input type="radio"/> Less than \$50 (or None)</p> <p><input type="radio"/> \$50 to \$249</p> <p><input type="radio"/> \$250 to \$2,499</p> <p><input type="radio"/> \$2,500 to \$4,999</p> <p><input type="radio"/> \$5,000 to \$9,999</p> <p><input type="radio"/> \$10,000 or more</p>	

15 and 5 percent

15 percent

APPENDIX B—Continued

FACSIMILE OF THE RESPONDENT INSTRUCTIONS FOR THE HOUSING QUESTIONS IN THE 1970 CENSUS

If you live in an apartment building and you do not know the answers to questions H14, H15, H16, and H25, ask the person who runs your building (for example, the manager, rental agent, superintendent, janitor, etc.).

- A.** Mark only one circle. This address means the house or building number where your living quarters are located.
- H1.** Mark **Yes** and enter telephone number, even if the telephone is in another apartment or building.
- H2.** Mark the second circle only if you must go through someone else's living quarters to get to your own.
- H3.** The kitchen sink, stove, and refrigerator do not have to be in the same room.
Also used by another household means that someone else who lives in the same building, but is not a member of your household, also uses the equipment. Mark this circle also if the occupants of living quarters now vacant would also use the equipment.
- H4.** Count only whole rooms used for living purposes, such as living rooms, dining rooms, kitchens, bedrooms, finished recreation rooms, family rooms, etc. Do not count kitchenettes, strip or pullman kitchens, utility rooms, or unfinished attics, basements, or other space used for storage.
- H5.** Mark **hot water** even if you have it only part of the time.
- H6, H7.** See instructions for H3 for meaning of **Also used by another household**.
- H8.** A house has a **basement** if there is enclosed space in which persons can walk upright under all or part of the building. A house on a **concrete slab** has no basement and no air or crawl space below it. A house built in another way is one directly on the ground or resting on a foundation or posts to provide crawl space.
- H9.** **Owned or being bought** means that the living quarters are owned outright or are mortgaged. Also mark **Owned or being bought** if the living quarters are owned but the land is rented.
 Mark **Rented for cash rent** if any money rent is paid. Rent may be paid by persons who are not members of your household.
Occupied without payment of cash rent includes, for example, a parsonage, a house or apartment provided free of rent by the owner, or a house or apartment occupied by a janitor or caretaker in exchange for services.
- H10.** A **commercial establishment** is easily recognized from the outside, for example, a grocery store or barber shop. A **medical office** is a doctor's or dentist's office regularly visited by patients. If your house is on a place of 10 acres or more and also contains a commercial establishment or medical office, mark **Yes, 10 acres or more**.
- H11.** Include the value of the house, the land it is on, and any other structures on the same property. If the house is owned but the land is rented, estimate the combined value of the house and the land.
- H12.** Report the rent agreed to or contracted for, even if the furnishings, utilities, or services are included.
 a. If you pay rent by the month, write in the amount of rent and fill one circle.
 b. If rent is not paid by the month, answer both parts of b. For example, \$20 per week, \$1,500 per year, etc.
- H13.** If exact costs are not known, estimate as closely as possible. Report amounts even if bills are unpaid or are paid by someone else. If the bills include utilities or fuel used also by another apartment or a business establishment, estimate the amounts for your own living quarters. If gas and electricity are billed together, enter the combined amount on the electricity line and bracket () the two utilities.
- H14.** This question refers to the type of heating equipment and not to the fuel used.
 A **heat pump** is sometimes known as a **reverse cycle system**.
 A **floor, wall, or pipeless furnace** delivers warm air to the room right above the furnace or to the room(s) on one or both sides of the wall in which the furnace is installed. These furnaces do not have ducts leading to other rooms.
 Any heater that you plug into an electric outlet should be counted as a **portable room heater**--not a built-in electric unit.
- H16.** Count all occupied and vacant living quarters in the house or building, but not stores or office space.
Detached means there is open space on all sides, or the house is joined only to a shed or garage. **Attached** means that the house is joined to another house or building by at least one wall which goes from ground to roof.
- H17.** A **city or suburban lot** is usually located in a city, a community, or any built-up area outside a city or community, and is not larger than the house and yard. All living quarters in apartment buildings, including garden-type apartments in the city or suburbs, are considered on a **city or suburban lot**.
 A **place** is a farm, ranch, or any other property, other than a city or suburban lot, on which this residence is located.
- H18.** Fill the circle for the total (gross) amount of money received from the sales of crops, livestock, and other farm products produced on this place during the calendar year 1969.
- H19.** If a well provides water for six or more houses or apartments, mark a **public system**. If a well provides water for five or fewer houses or apartments, mark an **individual well**.
- H20.** A **public sewer** is operated by a government body or a private organization. A **septic tank or cesspool** is an underground tank or pit used for disposal of sewage.
- H22.** Count only equipment with a refrigeration unit to cool the air. Mark an **individual room unit** for air conditioners which are installed in a window or in an outside wall and are used to cool one or more rooms. Mark a **central system** for a central installation which cools the entire house or apartment.
- H23.** Do not count cars permanently out of working order. Also do not count taxicabs, pickups, or larger trucks.
- H24a.** Do not count a basement as a story.
 b. Do not count elevators used only for freight.
- H25.** **Gas from underground pipes** is piped in from a central system such as a public utility company or a municipal government. **Bottled, tank, or LP gas** is stored in tanks which are refilled or exchanged when empty. **Other fuel** includes any fuel not separately listed, for example, purchased steam, fuel briquettes, waste material, etc.
- H27.** Mark the **Yes** circle whether you own the appliance or it is provided as part of the equipment in your living quarters. Do not count coin-operated equipment or appliances in storage.
- H28.** Count any set equipped to receive UHF (ultra high frequency) broadcasts, even if there are no such broadcasts in your area. Include sets that can be tuned directly to channels 14 to 83 and sets that receive UHF broadcasts by means of a converter. Also include sets that receive UHF broadcasts through a community antenna (CATV) or master antenna.
- H29.** A **battery-operated radio** is one that can be run on batteries and does not need to be plugged into an electric socket. Include battery-operated sets owned by any member of the household.
- H30.** Do not count vacation trailers, tents, or boats. Also do not count second homes used only for investment purposes.

Appendix C.—ACCURACY OF THE DATA

SOURCES OF ERROR.....	App-14
EDITING OF UNACCEPTABLE DATA	App-14
SAMPLE DESIGN	App-14
RATIO ESTIMATION	App-15
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SOURCES OF ERROR

Human and mechanical errors occur in any mass statistical operation such as a decennial census. Errors during the data collection phase can include failure to obtain required information from respondents, obtaining incorrect or inconsistent information, and recording information in the wrong place or incorrectly. Errors can also occur during the field review of the enumerator's work, the clerical handling of the questionnaires, the manual editing and coding operations, and the various stages of the electronic processing of the material. Careful efforts are made in every census to keep the errors in each step at an acceptably low level. Quality control and check measures are utilized throughout the census operation. As was done for the 1950 and 1960 censuses, evaluative material on many aspects of the 1970 census will be published as soon as the appropriate data are accumulated and analyzed. A major concern in the evaluation work is to ascertain, insofar as possible, the degree of completeness of the count of both population and housing units.

EDITING OF UNACCEPTABLE DATA

The objective of the processing operation is to produce a set of statistics that describes the Nation's housing as accurately and clearly as possible. To meet this objective, certain unacceptable entries were edited.

Whenever information was missing, an allocation procedure was used to assign an entry, thereby eliminating the need for a "not reported" category in the tabulations. The assignment was based on related information reported for the housing unit or on information reported for a similar unit in the immediate neighborhood. For example, if tenure for an occupied unit was omitted but a rental amount was reported, the computer automatically edited tenure to "rented for cash rent." On the other hand, if the unit was reported as rented but the amount of rent was missing, the computer automatically assigned the rent that was reported for the preceding renter-occupied unit.

A similar procedure was used when the information reported for an item was inconsistent with other information reported for the unit. For example, if a housing unit was enumerated as having no piped water but having both a bathtub (or shower) and flush toilet for the exclusive use of the occupants of the unit, the computer edited water supply to "hot and cold water," a category considered to be consistent with the reported bathing and toilet facilities.

Specific tolerances were established for the number of computer allocations that would be permitted. If the number of corrections was beyond tolerance, the questionnaires in which the errors occurred were clerically reviewed. If it was found that the errors resulted from damaged questionnaires, from improper microfilming, from faulty reading by FOSDIC of undamaged questionnaires, or from other types of machine failure, the questionnaires were reprocessed.

The extent of allocations for non-responses and inconsistencies is given

for SMSA's and places in the allocation tables in the 1970 Population Census PC(1)-B and PC(1)-C reports, and in the Housing Census HC(1)-A and HC(1)-B reports.

SAMPLE DESIGN

For sample data collected in the 1970 census, the housing unit, including all its occupants, was the sampling unit; for persons in group quarters identified in advance of the census, it was the person. In non-mail areas, the enumerator canvassed his assigned area and listed all housing units in an address register sequentially in the order in which he first visited the units, whether or not he completed the interview. Every fifth line of the address register was designated as a sample line, and the housing units listed on these lines were included in the sample. Each enumerator was given a random line on which he was to start listing and the order of canvassing was indicated in advance, although the instructions allowed some latitude in the order of visiting addresses. In mail areas, the list of housing units was prepared prior to Census Day either by employing commercial mailing lists corrected through the cooperation of the post office or by listing the units in a process similar to that used in non-mail areas. As in other areas, every fifth housing unit on these lists was designated to be in the sample. In group quarters, all persons were listed and every fifth person was selected for the sample; as indicated in Appendix B, information on the housing characteristics of group quarters was not collected in the census.

This 20-percent sample was subdivided into a 15-percent and a 5-percent sample by designating every fourth 20-percent sample unit as a

member of the 5-percent sample. The remaining sample units became the 15-percent sample. Two types of sample questionnaires were used, one for the 5-percent and one for the 15-percent sample units. Some questions were included on both the 5-percent and 15-percent sample forms and therefore appear for a sample of 20 percent of the units in the census. Other items appeared on either the 15-percent or the 5-percent questionnaires. The sample rates for the various items appearing in this report are shown in table A.

Although the sampling procedure did not automatically insure an exact 20-percent sample of persons or housing units in each locality, the sample design was unbiased if carried through according to instructions; generally for larger areas the deviation from 20 percent was found to be quite small. Biases may have arisen, however, when the enumerator failed to follow his listing and sampling instructions exactly. Quality control procedures were used throughout the census process, and where there was clear evidence that the sampling proce-

dures were not properly followed, some enumerators' assignments were returned to the field for resampling. Estimates for the United States as a whole indicate that 19.6 percent of the total population and 19.7 percent of the total housing units were enumerated on sample questionnaires. The computation of these proportions excluded several classes of the population and housing units for which no attempt at sampling was made. These were the relatively small numbers of persons and housing units (in most States, less than one percent) added to the enumeration from the post-census post office check, the various supplemental forms, and the special check of vacant units. However, the ratio estimation procedure described below adjusts the sample data to reflect these classes of population and housing units.

TABLE A. Sample Rate for Subjects Included in This Report

Subject	Sample rate (percent)	Subject	Sample rate (percent)
OCCUPANCY CHARACTERISTICS		EQUIPMENT AND APPLIANCES	
Occupied housing units	20	Heating equipment	20
Tenure	20	Air conditioning	15
Race	20	Automobiles available	15
Spanish heritage	15	Second home	5
Year moved into unit	15	Clothes washing machine	5
		Clothes dryer	5
		Dishwasher	5
		Home food freezer	5
VACANCY CHARACTERISTICS		FINANCIAL CHARACTERISTICS	
Vacant for sale	20	Value	20
Vacant for rent	20	Sales price asked	20
Duration of vacancy	20	Gross rent	20
		Rent asked	20
		Inclusion of utilities	
		in rent	20
		Value-income ratio	20
		Gross rent as percentage	
		of income	20
UTILIZATION CHARACTERISTICS		HOUSEHOLD CHARACTERISTICS	
Number of rooms	20	Household composition	20
Size of household (persons)	20	Income	20
Persons per room	20		
Bedrooms	5		
PLUMBING CHARACTERISTICS			
Plumbing facilities	20		
Complete bathrooms	15		
STRUCTURAL CHARACTERISTICS			
Complete kitchen			
facilities	20		
Access	20		
Units in structure	20		
Mobile home or trailer	20		
Year structure built	20		
Elevator in structure	5		

RATIO ESTIMATION

The statistics based on 1970 census sample data are estimates made through the use of ratio estimation procedures which were applied separately for the 5-, 15-, and 20-percent samples. The first step in carrying through the ratio estimates was to establish the areas within which separate ratios were to be prepared. These are referred to as "weighting areas." For the 15- and 20-percent samples the weighting areas contained a minimum population size of 2,500. The weighting areas used for the 5-percent ratio estimate were larger areas having a minimum population size of 25,000 and comprising combinations of the weighting areas used for the 15- and 20-percent samples. Weighting areas were established by a mechanical operation on the computer and were defined to conform, as nearly as possible, to areas for which tabulations are produced. Where these areas do

not agree (primarily for smaller areas), there may be some differences between complete counts and sample estimates.

The ratio estimation process operated in two stages for occupied housing units, and in one stage for vacant units. The first stage for occupied units employed 18 household-type groups (the first of which was empty by definition); the second stage for occupied units used four groups: owner- and renter-occupied units, by race. The single stage for vacant units employed three groups: year-round vacant for sale, year-round vacant for rent, and other vacant.

Group

Occupied housing units:

STAGE I

Male Head With Own Children Under 18

- 1 1-person household
- 2 2-person household
- 3 3-person household

.
.

- 6 6-or-more-person household

Male Head Without Own Children Under 18

- 7-12 1-person to 6-or-more-person households

Female Head

- 13-18 1-person to 6-or-more-person households

STAGE II

Owner Occupied

- 19 Negro
- 20 Not Negro

Renter Occupied

- 21 Negro
- 22 Not Negro

Vacant housing units:

- 23 Year-round vacant for sale
- 24 Year-round vacant for rent
- 25 Other vacant

At each stage, for each of the occupied housing groups, the ratio of the complete count to the weighted sample count of the housing units in the group was computed and applied to the weight of each sample unit in the group. This operation was performed for each of the 18 groups in the first stage, then for the four groups in the second stage. As a rule, the weighted sample counts within each of the 4 groups in the second stage for occupied units should agree with the complete counts for the weighting areas (close, although not exact consistency can be expected for the 18 groups in the first stage). Similarly, the weighted sample counts within each of the 3 groups in the single stage for vacant housing units should agree with the complete counts for the weighting area.

There are some exceptions to this general rule, however. As indicated above, there may be differences between the complete counts and sample estimates when the tabulation area is not made up of whole weighting areas. Furthermore, in order to increase the reliability, a separate ratio was not computed in a group whenever certain criteria pertaining to the complete count of housing units and the magnitude of the weight were not met. For example, for the 20-percent sample the complete count of units in a group had to exceed 70 units and the ratio of the complete count to the unweighted sample count could not exceed 20. Where these criteria were not met, groups were combined in a specific order until the conditions were met. Where this occurred, con-

sistency between the weighted sample and the complete counts would apply as indicated above for the combined group but not necessarily for each of the groups in the combination.

Each sample housing unit was assigned an integral weight to avoid the complications involved in rounding in the final tables. If, for example, the final weight for a group was 5.2, one-fifth of the units in the group (selected at random) were assigned a weight of 6 and the remaining four-fifths a weight of 5.

The estimates realize some of the gains in sampling efficiency that would have resulted had the population been stratified into the groups before sampling. The net effect is a reduction in both the sampling error and possible bias of most statistics below what would be obtained by weighting the results of the sample by a uniform factor (e.g., by weighting the 20-percent sample results by a uniform factor of 5). The reduction in sampling error will be trivial for some items and substantial for others. A by-product of this estimation procedure is that estimates for this sample are, in general, consistent with the complete count for the housing unit groups used in the estimation procedure. A more complete discussion of the technical aspects of these ratio estimates will be presented in a separate report.

SAMPLING VARIABILITY

The estimates from the 20-, 15-, and 5-percent sample tabulations are subject to sampling variability. The standard errors of these estimates can be approximated by using the data in tables B through D. The chances are about 2 out of 3 that the difference (due to sampling variability) between the sample estimate and the figure that would have been obtained from a

complete count is less than the standard error. The chances are about 19 out of 20 that the difference is less than twice the standard error and about 99 out of 100 that it is less than $2\frac{1}{2}$ times the standard error. The amount by which the estimated standard error must be multiplied to obtain other odds deemed more appropriate can be found in most statistical textbooks. The sampling errors may be obtained by using the factors shown in table D in conjunction with table B for absolute numbers and in conjunction with table C for percentages. These tables reflect the effect of simple response variance, but not of bias arising in the collection, processing and estimation steps nor of the correlated errors enumerators introduce; estimates of the magnitude of some of these factors in the total error are being evaluated and will be published at a later date.

Table B shows approximate standard errors of estimated numbers for most statistics based on the 20-percent sample. In determining the figures for this table, some aspects of the sample design, the estimation process, and the size of the area over which the data have been compiled are ignored. Table C shows standard errors of most percentages based on the 20-percent sample. Linear interpolation in tables B and C will provide approximate results that are satisfactory for most purposes. Table D provides a factor by which the standard errors shown in tables B or C should be multiplied to adjust for the effect of the sample size (i.e., whether a 15-percent or 5-percent sample) and the effect of the estimation procedure.

To estimate the standard error for a given characteristic, locate the factor in table D for the appropriate characteristic and the sample size used to tabulate the data, and multiply this

factor by the standard error found in table B or C. Where data are shown as cross-classifications of two characteristics, locate and use the larger factor. Similarly, if an item, although collected on one sample basis, has been tabulated for a smaller sample, use the factor appropriate for the smaller sample.

The standard errors estimated from these tables are not directly applicable to differences between two sample estimates. In order to estimate the standard error of a difference, the tables are to be used somewhat differently in the three following situations:

1. For a difference between the sample figure and one based on a complete count (e.g., arising from comparisons between sample statistics for 1970 and complete-count statistics for 1960 or 1950), the standard error is identical with the standard error of the 1970 estimate alone.
2. For a difference between two sample figures (that is, one from 1970 and the other from 1960, or both from the same census year), the standard error is approximately the square root of the sum of the squares of the standard errors of each estimate considered separately. This formula will represent the actual standard error quite accurately for the difference between estimates of the same characteristics in two different areas, or for the difference between separate and uncorrelated characteristics in the same area. If, however, there is a high positive correlation between the two characteristics, the formula will overestimate the true standard error. The approximate standard error for the 1970 sample figure is derived directly from tables B

through D. The standard error of a 1960 sample figure may be obtained from the relevant 1960 census report.

3. For a difference between two sample estimates, one of which represents a subclass of the other, the tables can be used directly with the difference considered as the sample estimate.

The sampling variability of the medians presented in certain tables (median rooms, median value, median gross rent, etc.) depends on the size of the base and on the distribution on which the median is based. An approximate method for measuring the reliability of an estimated median is to determine an interval about the estimated median such that there is a stated degree of confidence the true median lies within the interval. As the first step in estimating the upper and lower limits of the interval (that is, the confidence limits) about the median, compute one-half the number on which the median is based (designated $N/2$). From table B, following the method outlined in other parts of this section, compute the standard error of an estimated number equal to $N/2$. Subtract this standard error from $N/2$. Cumulate the frequencies (in the table on which the median is based) until the total first exceeds the difference between $N/2$ and its standard error, and by linear interpolation obtain a value corresponding to this number. In a corresponding manner, add the standard error to $N/2$, cumulate the frequencies in the table, and obtain a value in the table on which the median is based corresponding to the sum of $N/2$ and its standard error.

The chances are about 2 out of 3 that the median would lie between these two values. The range for 19 chances out of 20 and for 99 in 100

APPENDIX C—Continued

can be computed in a similar manner by multiplying the standard error by the appropriate factors before sub-

tracting from and adding to one-half the number reporting the characteristics. Interpolation to obtain the

values corresponding to these numbers gives the confidence limits for the median.

TABLE B. Approximate Standard Error of Estimated Number Based on 20-Percent Sample
(Range of 2 chances out of 3; for factors to be applied see table D and text)

Estimated number ¹	Number of housing units in area ²						
	10,000	25,000	100,000	250,000	1,000,000	2,500,000	4,000,000
50	15	15	15	15	15	15	15
100	20	20	20	20	20	20	20
250	30	30	30	30	30	30	30
500	45	45	45	45	45	45	45
1,000	60	60	65	65	65	65	65
2,500	90	95	100	100	100	100	100
5,000	100	130	140	140	140	140	140
10,000 .....	...	150	190	200	200	200	200
15,000 .....	...	150	230	240	240	240	240
25,000 .....	...	...	270	300	310	310	320
50,000 .....	...	...	320	400	440	440	440
75,000 .....	...	...	270	450	520	540	540
100,000 .....	...	...	...	490	600	620	630

¹ For estimated numbers larger than 100,000, the relative errors are somewhat smaller than for 100,000.

² An area is the smallest complete geographic area to which the estimate under consideration pertains. Thus, the area may be the standard metropolitan statistical area or the place. Housing units with Negro heads of household or Spanish heritage heads of household do not represent complete areas.

TABLE C. Approximate Standard Error of Estimated Percentage Based on 20-Percent Sample
(Range of 2 chances out of 3; for factors to be applied see table D and text)

Estimated percentage	Base of percentage						
	500	1,000	2,500	10,000	25,000	100,000	250,000
2 or 98	1.3	0.9	0.6	0.3	0.2	0.1	0.1
5 or 95	2.0	1.4	0.9	0.4	0.3	0.1	0.1
10 or 90	2.7	1.9	1.2	0.6	0.4	0.2	0.1
25 or 75	3.9	2.7	1.7	0.9	0.5	0.3	0.2
50	4.5	3.2	2.0	1.0	0.6	0.3	0.2

TABLE D. Factor to be Applied to Standard Errors

Characteristic ¹	Factor if sample rate is—			Characteristic ¹	Factor if sample rate is—		
	20 percent	15 percent	5 percent		20 percent	15 percent	5 percent
OCCUPANCY AND VACANCY CHARACTERISTICS				EQUIPMENT, FUELS, AND APPLIANCES			
Year moved into unit .....	...	1.1	...	Heating equipment	0.8	0.9	...
Duration of vacancy	0.8	...	1.7	Air conditioning .....	...	1.1	...
				Automobiles available .....	...	1.0	...
UTILIZATION CHARACTERISTICS				Appliances .....	...	...	1.9
Rooms	1.0	1.1	2.1				
Size of household (persons)	0.5	0.6	1.2	FINANCIAL CHARACTERISTICS			
Persons per room	0.4	0.5	0.9	Value	1.0	1.1	2.1
Bedrooms .....	...	...	2.1	Value-income ratio	1.0	1.2	...
				Gross rent	0.9	1.1	2.1
PLUMBING CHARACTERISTICS				Gross rent as percentage of income	1.0	1.2	...
Complete bathrooms .....	...	1.1	...	Sales price asked	1.1	...	2.5
Plumbing facilities	1.0	...	...	Rent asked	1.1	...	2.5
STRUCTURAL CHARACTERISTICS				HOUSEHOLD CHARACTERISTICS			
Units in structure	0.8	0.9	1.7	Household composition	0.6	0.7	...
Year structure built	0.9	1.0	...	Income in 1969	1.0	1.2	2.3
				ALL OTHERS	1.0	1.2	2.2

¹Tabulations of housing data for households with heads of Spanish heritage are based on the 15-percent sample. For characteristics of households with heads of Spanish heritage (tables 19 to 26), use the factors given for the 15-percent sample.

NOTE: In this report an item collected for the 20-percent sample may be cross-tabulated with other items based on the 15-percent or 5-percent samples. In such cases, locate the factor for both items in Table D for the smaller sample size. Use the larger of the two factors. For example, in Table 9, duration of vacancy (a 20-percent item) is cross-tabulated by number of bedrooms (a 5-percent item). The factor for duration of vacancy based on a 5-percent sample is 1.7 and for bedrooms it is 2.1. The factor of 2.1 should be used to adjust the standard errors since it is the larger of the two factors based on the 5-percent sample.

Appendix D.—PUBLICATION AND COMPUTER SUMMARY TAPE PROGRAM

The results of the 1970 Census of Population and Housing are being issued in the form of printed reports, microfiche copies of the printed reports, computer summary tapes, computer printouts, and microfilm. Listed below are short descriptions of the final report series and computer tapes, as currently planned. More detailed information on this program can be obtained by writing to the Publications Distribution Section, Bureau of the Census, Washington, D.C. 20233.

Housing Census Reports

Volume I.

HOUSING CHARACTERISTICS FOR STATES, CITIES, AND COUNTIES

This volume will consist of 58 "parts"—number 1 for the United States, numbers 2 through 52 for the 50 States and the District of Columbia in alphabetical order, and numbers 53 through 58 for Puerto Rico, Guam, Virgin Islands, American Samoa, Canal Zone, and Trust Territory of the Pacific Islands, respectively. Each part, which will be a separate clothbound book, will contain two chapters designated as A and B. Each chapter (for each of the 58 areas) will first be issued as an individual paperbound report in two series designated as HC(1)-A and B, respectively.

■ Series HC(1)-A.

GENERAL HOUSING CHARACTERISTICS

Statistics on tenure, kitchen facilities, plumbing facilities, number of rooms, persons per room, units in structure, mobile home, telephone, value, contract rent, and vacancy status are presented for some or all of the following areas: States (by urban and rural residence), standard metropolitan statistical areas (SMSA's), urbanized areas, places of 1,000 inhabitants or more, and counties.

■ Series HC(1)-B.

DETAILED HOUSING CHARACTERISTICS

Statistics are presented on a more detailed basis for the subjects included in the Series HC(1)-A reports, as well as on such additional subjects as year moved into unit, year structure built, basement, heating equipment, fuels, air conditioning, water and sewage, appliances, gross rent, and ownership of second home. Each subject is shown for some or all of the following areas: States (by urban, rural-nonfarm, and rural-farm residence), SMSA's, urbanized areas, places of 2,500 inhabitants or more, and counties (by rural and rural-farm residence).

Volume II.

METROPOLITAN HOUSING CHARACTERISTICS

These reports, also designated as Series HC(2), cover most of the 1970 census housing subjects in considerable detail and cross-classification. There is one report for each SMSA, presenting data for the SMSA and its central cities and places of 50,000 inhabitants or more, as well as a national summary report.

Volume III.

BLOCK STATISTICS

One report, under the designation Series HC(3), is issued for each urbanized area showing data for individual blocks on selected housing and population subjects. The series also includes reports for the communities outside urbanized areas which have contracted with the Census Bureau to provide block statistics from the 1970 census.

Volume IV.

COMPONENTS OF INVENTORY CHANGE

This volume will contain data on the disposition of the 1960 inventory and the source of the 1970 inventory, such as new construction, conversions, mergers, demolitions, and other additions and losses. Cross-tabulations of 1970 and 1960 characteristics for units that have not changed and characteristics of the present and previous residence of recent movers will also be provided. Statistics will be shown for 15 selected SMSA's and for the United States and regions.

Volume V.

RESIDENTIAL FINANCE

This volume will present data regarding the financing of privately owned nonfarm residential properties. Statistics will be shown on amount of outstanding mortgage debt, manner of acquisition of property, homeowner expenses, and other owner, property, and mortgage characteristics for the United States and regions.

Volume VI.

ESTIMATES OF "SUBSTANDARD" HOUSING

This volume will present counts of "substandard" housing units for counties and cities, based on the number of units lacking plumbing facilities combined with estimates of units with all plumbing facilities but in "dilapidated" condition.

Volume VII.

SUBJECT REPORTS

Each report in this volume will concentrate on a particular subject. Detailed information and cross-classifications will generally be provided on a national level; in some reports, data for States or SMSA's may also be shown. Among the subjects to be covered are housing characteristics by household composition, housing of minority groups and senior citizens, and households in mobile homes.

Population Census Reports

Volume I.

CHARACTERISTICS OF THE POPULATION

This volume will consist of 58 "parts"—number 1 for the United States, numbers 2 through 52 for the 50 States and the District of Columbia in alphabetical order, and numbers 53 through 58 for Puerto Rico, Guam, Virgin Islands, American Samoa, Canal Zone, and Trust Territory of the Pacific Islands, respectively. Each part, which will be a separate clothbound book, will contain four chapters designated as A, B, C, and D. Each chapter (for each of the 58 areas) will first be issued as an individual paperbound report in four series designated as PC(1)-A, B, C, and D, respectively. The 58 PC(1)-A reports will be specially assembled and issued in a clothbound book, designated as Part A.

■ Series PC(1)-A.

NUMBER OF INHABITANTS.

Final official population counts are presented for States, counties by urban and rural residence, SMSA's, urbanized areas, county subdivisions, all incorporated places, and unincorporated places of 1,000 inhabitants or more.

■ Series PC(1)-B.

GENERAL POPULATION CHARACTERISTICS

Statistics on age, sex, race, marital status, and relationship to head of household are presented for States, counties by urban and rural residence, SMSA's, urbanized areas, county subdivisions, and places of 1,000 inhabitants or more.

■ Series PC(1)-C.

GENERAL SOCIAL AND ECONOMIC CHARACTERISTICS

Statistics are presented on nativity and parentage, State or country of birth, Spanish origin, mother tongue, residence 5 years ago, year moved into present house, school enrollment (public or private), years of school completed, vocational training, number of children ever born, family composition, disability, veteran status, employment status, place of work, means of transportation to work, occupation group, industry group, class of worker, and income (by type) in 1969 of families and individuals. Each subject is shown for some or all of the following areas: States, counties (by urban, rural-nonfarm, and rural-farm residence), SMSA's urbanized areas, and places of 2,500 inhabitants or more.

Series PC(1)-D.

DETAILED CHARACTERISTICS

These reports cover most of the subjects shown in Series PC(1)-C, above, presenting the data in considerable detail and cross-classified by age, race, and other characteristics. Each subject is shown for some or all of the following areas: States (by urban, rural-nonfarm, and rural-farm residence), SMSA's, and large cities.

Volume II.

SUBJECT REPORTS

Each report in this volume, also designated as Series PC(2), will concentrate on a particular subject. Detailed information and cross-relationships will generally be provided on a national and regional level; in some reports, data for States or SMSA's will also be shown. Among the characteristics to be covered are national origin and race, fertility, families, marital status, migration, education, unemployment, occupation, industry, and income.

Joint Population-Housing Reports

Series PHC(1).

CENSUS TRACT REPORTS

This series contains one report for each SMSA, showing data for most of the population and housing subjects included in the 1970 census.

Series PHC(2).

GENERAL DEMOGRAPHIC TRENDS FOR METROPOLITAN AREAS, 1960 TO 1970

This series consists of one report for each State and the District of Columbia, as well as a national summary report, presenting statistics for the State and for SMSA's and their central cities and constituent counties. Comparative 1960 and 1970 data are shown on population counts by age and race and on such housing subjects as tenure, plumbing facilities, value, and contract rent.

Series PHC(3).

EMPLOYMENT PROFILES OF SELECTED LOW-INCOME AREAS

This series consists of approximately 70 reports, each presenting statistics on the social and economic characteristics of the residents of a particular low-income area. The data relate to low-income neighborhoods in 51 cities and seven rural poverty areas. Each report provides statistics on employment and unemployment, education, vocational training, availability for work,

job history, and income, as well as on value or rent and number of rooms in the housing unit.

Additional Reports

Series PHC(E).

EVALUATION REPORTS

This open series will present the results of the extensive evaluation program conducted as an integral part of the 1970 census program, and relating to such matters as completeness of enumeration and quality of the data on characteristics.

Series PHC(R).

PROCEDURAL REPORTS

This open series presents information on various administrative and methodological aspects of the 1970 census, and will include a comprehensive procedural history of the 1970 census. The first report issued focuses on the forms and procedures used in the data collection phase of the census.

Computer Summary Tapes

The major portion of the results of the 1970 census is produced in a set of six tabulation counts. To help meet the needs of census users, these counts are being designed to provide data with much greater subject and geographic detail than it is feasible or desirable to publish in printed reports. The data so tabulated are generally available—subject to suppression of certain detail where necessary to protect confidentiality—on magnetic computer tape, printouts, and microfilm, at the cost of preparing the copy.

First Count—source of the PC(1)-A reports; contains about 400 cells of data on the subjects covered in the PC(1)-B and HC(1)-A reports and tabulated for each of the approximately 250,000 enumeration districts in the United States.

Second Count—source of the PC(1)-B, HC(1)-A, and part of the PHC(1) reports; contains about 3,500 cells of data covering the subjects in these reports and tabulated for the approximately 35,000 tracts and 35,000 county subdivisions in the United States.

Third Count—source of the HC(3) reports; contains about 250 cells of data on the subjects covered in the PC(1)-B and HC(1)-A reports and tabulated for approximately 1,500,000 blocks in the United States.

Fourth Count—source of the PC(1)-C, HC(1)-B, and part of the PHC(1) reports; contains about 13,000 cells of data covering the subjects in these reports and tabulated for the approximately 35,000 tracts and 35,000 county subdivisions in the United States; also contains about 30,000 cells of data for each county.

Fifth Count—contains approximately 800 cells of population and housing data for 5-digit ZIP code areas in SMSA's and 3-digit ZIP code areas outside SMSA's; the ZIP code data are available only on tape.

Sixth Count—source of the PC(1)-D and HC(2) reports; contains about 260,000 cells of data covering the subjects in these reports and tabulated for States, SMSA's, and large cities.

The tapes are generally organized on a State basis. To use the First Count and Third Count tapes, it is necessary to purchase the appropriate enumeration district and block maps.

The term "cells" used herein to indicate the scope of subject content of the several counts refers to each figure or statistic in the tabulation for a specific geographic area. For example, in the Third Count, there are six cells for a cross-classification of race by sex: three categories of race (white, Negro, other race) by two categories of sex (male, female).

In addition to the above-mentioned summary tapes, the Census Bureau makes available for purchase certain sample tape files containing population and housing characteristics as shown on individual census records. These files contain no names or addresses, and the geographic identification is sufficiently broad to protect confidentiality. There are six files, each containing a 1-percent national sample of persons and housing units. Three of the files are drawn from the population covered by the census 15-percent sample and three from the population in the census 5-percent sample. Each of these three files provides a different type of geographic information: One identifies individual large SMSA's and, for the rest of the country, groups of counties; the second individual States and, where they are sufficiently large, provides urban-rural and metropolitan-nonmetropolitan detail; and the third State groups and size of place, with each individual record showing selected characteristics of the persons's neighborhood.



OFFICIAL BUSINESS

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10 SALES PRICE ASKED
AND RENT ASKED

A UNITED STATES
DEPARTMENT OF
COMMERCE
PUBLICATION



Metropolitan Housing Characteristics

WATERLOO, IOWA
STANDARD METROPOLITAN STATISTICAL AREA

HC(2)-234

1970
CENSUS OF
HOUSING



U.S. DEPARTMENT
OF COMMERCE
Social and Economic
Statistics Administration

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THE CENSUS

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HOUSING DIVISION

Arthur F. Young, Chief

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**1970
CENSUS OF
HOUSING**

Metropolitan
Housing
Characteristics

WATERLOO, IOWA

**STANDARD METROPOLITAN
STATISTICAL AREA**

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LIST OF HC(2) REPORTS

Report number	Area	Report number	Area	Report number	Area
1	United States and Regions	43	Chattanooga, Tenn.-Ga. SMSA	85	Greensboro-Winston-Salem-High Point, N.C. SMSA
2	Abilene, Tex. SMSA	44	Chicago, Ill. SMSA	86	Greenville, S.C. SMSA
3	Akron, Ohio SMSA	45	Cincinnati, Ohio-Ky.-Ind. SMSA	87	Hamilton-Middletown, Ohio SMSA
4	Albany, Ga. SMSA	46	Cleveland, Ohio SMSA	88	Harrisburg, Pa. SMSA
5	Albany-Schenectady-Troy, N.Y. SMSA	47	Colorado Springs, Colo. SMSA	89	Hartford, Conn. SMSA
6	Albuquerque, N. Mex. SMSA	48	Columbia, Mo. SMSA	90	Honolulu, Hawaii SMSA
7	Allentown-Bethlehem-Easton, Pa.-N.J. SMSA	49	Columbia, S.C. SMSA	91	Houston, Tex. SMSA
8	Altoona, Pa. SMSA	50	Columbus, Ga.-Ala. SMSA	92	Huntington-Ashland, W. Va.-Ky.-Ohio SMSA
9	Amarillo, Tex. SMSA	51	Columbus, Ohio SMSA	93	Huntsville, Ala. SMSA
10	Anaheim-Santa Ana-Garden Grove, Calif. SMSA	52	Corpus Christi, Tex. SMSA	94	Indianapolis, Ind. SMSA
11	Anderson, Ind. SMSA	53	Dallas, Tex. SMSA	95	Jackson, Mich. SMSA
12	Ann Arbor, Mich. SMSA	54	Danbury, Conn. SMSA	96	Jackson, Miss. SMSA
13	Appleton-Oshkosh, Wis. SMSA	55	Davenport-Rock Island-Moline, Iowa-Ill. SMSA	97	Jacksonville, Fla. SMSA
14	Asheville, N.C. SMSA	56	Dayton, Ohio SMSA	98	Jersey City, N.J. SMSA
15	Atlanta, Ga. SMSA	57	Decatur, Ill. SMSA	99	Johnstown, Pa. SMSA
16	Atlantic City, N.J. SMSA	58	Denver, Colo. SMSA	100	Kalamazoo, Mich. SMSA
17	Augusta, Ga.-S.C. SMSA	59	Des Moines, Iowa SMSA	101	Kansas City, Mo.-Kans. SMSA
18	Austin, Tex. SMSA	60	Detroit, Mich. SMSA	102	Kenosha, Wis. SMSA
19	Bakersfield, Calif. SMSA	61	Dubuque, Iowa SMSA	103	Knoxville, Tenn. SMSA
20	Baltimore, Md. SMSA	62	Duluth-Superior, Minn.-Wis. SMSA	104	La Crosse, Wis. SMSA
21	Baton Rouge, La. SMSA	63	Durham, N.C. SMSA	105	Lafayette, La. SMSA
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24	Billings, Mont. SMSA	66	Eugene, Oreg. SMSA	108	Lancaster, Pa. SMSA
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33	Brockton, Mass. SMSA	75	Fort Wayne, Ind. SMSA	117	Lincoln, Nebr. SMSA
34	Brownsville-Harlingen-San Benito, Tex. SMSA	76	Fort Worth, Tex. SMSA	118	Little Rock-North Little Rock, Ark. SMSA
35	Bryan-College Station, Tex. SMSA	77	Fresno, Calif. SMSA	119	Lorain-Elyria, Ohio SMSA
36	Buffalo, N.Y. SMSA	78	Gadsden, Ala. SMSA	120	Los Angeles-Long Beach, Calif. SMSA
37	Canton, Ohio SMSA	79	Gainesville, Fla. SMSA	121	Louisville, Ky.-Ind. SMSA
38	Cedar Rapids, Iowa SMSA	80	Galveston-Texas City, Tex. SMSA	122	Lowell, Mass. SMSA
39	Champaign-Urbana, Ill. SMSA	81	Gary-Hammond-East Chicago, Ind. SMSA	123	Lubbock, Tex. SMSA
40	Charleston, S.C. SMSA	82	Grand Rapids, Mich. SMSA	124	Lynchburg, Va. SMSA
41	Charleston, W. Va. SMSA	83	Great Falls, Mont. SMSA	125	Macon, Ga. SMSA
42	Charlotte, N.C. SMSA	84	Green Bay, Wis. SMSA	126	Madison, Wis. SMSA

Report number	Area	Report number	Area	Report number	Area
127	Manchester, N.H. SMSA	169	Pittsfield, Mass. SMSA	211	Springfield-Chicopee-Holyoke, Mass.-Conn. SMSA
128	Mansfield, Ohio SMSA	170	Portland, Maine SMSA	212	Stamford, Conn. SMSA
129	McAllen-Pharr-Edinburg, Tex. SMSA	171	Portland, Oreg.-Wash. SMSA	213	Steubenville-Weirton, Ohio-W. Va. SMSA
130	Memphis, Tenn.-Ark. SMSA	172	Providence-Pawtucket-Warwick, R.I.-Mass. SMSA	214	Stockton, Calif. SMSA
131	Meriden, Conn. SMSA	173	Provo-Orem, Utah SMSA	215	Syracuse, N.Y. SMSA
132	Miami, Fla. SMSA	174	Pueblo, Colo. SMSA	216	Tacoma, Wash. SMSA
133	Midland, Tex. SMSA	175	Racine, Wis. SMSA	217	Tallahassee, Fla. SMSA
134	Milwaukee, Wis. SMSA	176	Raleigh, N.C. SMSA	218	Tampa-St. Petersburg, Fla. SMSA
135	Minneapolis-St. Paul, Minn. SMSA	177	Reading, Pa. SMSA	219	Terre Haute, Ind. SMSA
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140	Muncie, Ind. SMSA	182	Rochester, N.Y. SMSA	224	Tucson, Ariz. SMSA
141	Muskegon-Muskegon Heights, Mich. SMSA	183	Rockford, Ill. SMSA	225	Tulsa, Okla. SMSA
142	Nashua, N.H. SMSA	184	Sacramento, Calif. SMSA	226	Tuscaloosa, Ala. SMSA
143	Nashville-Davidson, Tenn. SMSA	185	Saginaw, Mich. SMSA	227	Tyler, Tex. SMSA
144	New Bedford, Mass. SMSA	186	St. Joseph, Mo. SMSA	228	Utica-Rome, N.Y. SMSA
145	New Britain, Conn. SMSA	187	St. Louis, Mo.-Ill. SMSA	229	Vallajo-Napa, Calif. SMSA
146	New Haven, Conn. SMSA	188	Salem, Oreg. SMSA	230	Vineland-Millville-Bridgeton, N.J. SMSA
147	New London-Groton-Norwich, Conn. SMSA	189	Salinas-Monterey, Calif. SMSA	231	Waco, Tex. SMSA
148	New Orleans, La. SMSA	190	Salt Lake City, Utah SMSA	232	Washington, D.C.-Md.-Va. SMSA
149	New York, N.Y. SMSA	191	San Angelo, Tex. SMSA	233	Waterbury, Conn. SMSA
150	Newark, N.J. SMSA	192	San Antonio, Tex. SMSA	234	Waterloo, Iowa SMSA
151	Newport News-Hampton, Va. SMSA	193	San Bernardino-Riverside-Ontario, Calif. SMSA	235	West Palm Beach, Fla. SMSA
152	Norfolk-Portsmouth, Va. SMSA	194	San Diego, Calif. SMSA	236	Wheeling, W. Va.-Ohio SMSA
153	Norwalk, Conn. SMSA	195	San Francisco-Oakland, Calif. SMSA	237	Wichita, Kans. SMSA
154	Odessa, Tex. SMSA	196	San Jose, Calif. SMSA	238	Wichita Falls, Tex. SMSA
155	Ogden, Utah SMSA	197	Santa Barbara, Calif. SMSA	239	Wilkes-Barre-Hazleton, Pa. SMSA
156	Oklahoma City, Okla. SMSA	198	Santa Rosa, Calif. SMSA	240	Wilmington, Del.-N.J.-Md. SMSA
157	Omaha, Nebr.-Iowa SMSA	199	Savannah, Ga. SMSA	241	Wilmington, N.C. SMSA
158	Orlando, Fla. SMSA	200	Scranton, Pa. SMSA	242	Worcester, Mass. SMSA
159	Owensboro, Ky. SMSA	201	Seattle-Everett, Wash. SMSA	243	York, Pa. SMSA
160	Oxnard-Ventura, Calif. SMSA	202	Sherman-Denison, Tex. SMSA	244	Youngstown-Warren, Ohio SMSA
161	Paterson-Clifton-Passaic, N.J. SMSA	203	Shreveport, La. SMSA	245	Caguas, Puerto Rico SMSA
162	Pensacola, Fla. SMSA	204	Sioux City, Iowa-Nebr. SMSA	246	Mayagüez, Puerto Rico SMSA
163	Peoria, Ill. SMSA	205	Sioux Falls, S. Dak. SMSA	247	Ponce, Puerto Rico SMSA
164	Petersburg-Colonial Heights, Va. SMSA	206	South Bend, Ind. SMSA	248	San Juan, Puerto Rico SMSA
165	Philadelphia, Pa.-N.J. SMSA	207	Spokane, Wash. SMSA		
166	Phoenix, Ariz. SMSA	208	Springfield, Ill. SMSA		
167	Pine Bluff, Ark. SMSA	209	Springfield, Mo. SMSA		
168	Pittsburgh, Pa. SMSA	210	Springfield, Ohio SMSA		

TABLE FINDING GUIDE—Cross-Classification of Subjects by Table Number

This guide lists all subjects covered in this report. An asterisk (*) indicates that data are shown for housing units with Negro head of household, and the dagger symbol (†) means that the data are shown for housing units with household head of Spanish heritage; these data are shown when an area has 25,000 or more Negro or Spanish heritage population, respectively.

Subject	Value	Gross rent	Income in 1969	Plumbing facilities by persons per room	Number of rooms	Units in structure	Household composition by age of head	Size of household (persons)	Duration of vacancy	Sales price asked and rent asked
OCCUPANCY AND VACANCY CHARACTERISTICS										
Year moved into unit	1, 11*, 19†	2, 12*, 20†	3, 13*, 21†	—	—	6, 16*, 24†	—	—	—	—
Duration of vacancy	—	—	—	9 ¹	9	9	—	—	—	9
UTILIZATION CHARACTERISTICS										
Number of rooms	1, 11*, 19†	2, 12*, 20†	3, 13*, 21†	5, 15*, 23†	—	6, 16*, 24†	—	5, 15*, 23†	9	—
Size of household (persons)	1, 11*, 19†	2, 12*, 20†	3, 13*, 21†	4, 14*, 22†	5, 15*, 23†	8, 18*, 26†	8, 18*, 26†	—	—	—
Number of bedrooms	1, 11*	2, 12*	3, 13*	—	5, 15*	6, 16*	—	8, 18*	9	10
Persons per room	1, 11*, 19†	2, 12*, 20†	4, 14*, 22†	—	5, 15*, 23†	6, 16*, 24†	7, 17*, 25†	4, 14*, 22†	—	—
PLUMBING CHARACTERISTICS										
Plumbing facilities	—	—	—	—	—	—	—	—	9	10
Plumbing facilities by persons per room	1, 11*, 19†	2, 12*, 20†	4, 14*, 22†	—	5, 15*, 23†	6, 16*, 24†	7, 17*, 25†	4, 14*, 22†	—	—
Complete bathrooms	1, 11*, 19†	2, 12*, 20†	—	—	5, 15*, 23†	—	—	8, 18*, 26†	—	—
STRUCTURAL CHARACTERISTICS										
Units in structure	—	6, 16*, 24†	6, 16*, 24†	6, 16*, 24†	6, 16*, 24†	—	7, 17*, 25†	8, 18*, 26†	9	10
Year structure built	1, 11*, 19†	2, 12*, 20†	3, 13*, 21†	4, 14*, 22†	5, 15*, 23†	6, 16*, 24†	—	8, 18*, 26†	9	10
Elevator in structure	—	2, 12*	—	—	—	—	—	—	—	—
EQUIPMENT AND APPLIANCES										
Heating equipment	1, 11*, 19†	—	—	4, 14*, 22†	—	6, 16*, 24†	—	—	9	—
Air conditioning	1, 11*, 19†	2, 12*, 20†	3, 13*, 21†	—	—	6, 16*, 24†	—	—	—	—
Automobiles available	—	—	3, 13*, 21†	—	—	6, 16*, 24†	—	—	—	—
Second home	—	—	3, 13*	—	—	—	—	—	—	—
Automatic clothes washing machine	—	—	3, 13*	—	—	—	—	—	—	—
Clothes dryer	—	—	3, 13*	—	—	—	—	—	—	—
Dishwasher	—	—	3, 13*	—	—	—	—	—	—	—
Home food freezer	—	—	3, 13*	—	—	—	—	—	—	—
FINANCIAL CHARACTERISTICS										
Value	—	—	1, 11*, 19†	1, 11*, 19†	1, 11*, 19†	—	1, 11*, 19†	1, 11*, 19†	—	—
Value-income ratio	—	—	—	4, 14*, 22†	5, 15*, 23†	—	7, 17*, 25†	8, 18*, 26†	—	—
Gross rent	—	—	2, 12*, 20†	2, 12*, 20†	2, 12*, 20†	6, 16*, 24†	7, 17*, 25†	2, 12*, 20†	—	—
Gross rent as percentage of income	—	2, 12*, 20†	3, 13*, 21†	4, 14*, 22†	5, 15*, 23†	—	—	8, 18*, 26†	—	—
Gross rent as percentage of income by income	—	—	—	—	—	—	7, 17*, 25†	—	—	—
Sales price asked	—	—	—	10 ¹	—	—	—	—	9	—
Rent asked	—	—	—	10 ¹	—	10	—	—	9	—
Inclusion of utilities in rent	—	—	—	—	—	—	—	—	—	10
HOUSEHOLD CHARACTERISTICS										
Household composition by age of head	1, 11*, 19†	7, 17*, 25†	7, 17*, 25†	7, 17*, 25†	—	7, 17*, 25†	—	8, 18*, 26†	—	—
Income in 1969	1, 11*, 19†	2, 12*, 20†	—	4, 14*, 22†	3, 13*, 21†	6, 16*, 24†	7, 17*, 25†	3, 13*, 21†	—	—

¹Vacant units tabulated by plumbing facilities only.

INTRODUCTION

APPENDIXES

A. Area Classifications	App-1
B. Definitions and Explanations of Subject Characteristics ...	App-2
C. Accuracy of the Data	App-14
D. Publication and Computer Summary Tape Program	App-20

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GENERAL

This report presents cross-tabulations of housing and household characteristics from the 1970 Census of Population and Housing for the standard metropolitan statistical area, its central city or cities, and its places of 50,000 inhabitants or more. Legal provision for this census, which was conducted as of April 1, 1970, was made in the Act of Congress of August 31, 1954 (amended August 1957), which codified Title 13, United States Code.

This report series contains 248 reports as listed on page II. There is one report for each standard metropolitan statistical area (recognized as of February 1971) in the United States and Puerto Rico, as well as a summary report for the United States.

This series of reports is one of the several series which present the information compiled from the census. For a description of the full data dissemination program of the 1970 Population and Housing Census, see Appendix D, "Publication and Computer Summary Tape Program."

The content and procedures of the 1970 census were determined after evaluation of the results of the 1960 census, consultation with a wide variety of users of census data, and extensive field pretesting. A number of

changes were introduced in 1970 to improve the usefulness of the census results. For most of the characteristics shown in this report, the changes do not, however, affect to any appreciable extent the comparability of the 1970 data with those for 1960; further information on comparability appears in Appendix B, "Definitions and Explanations of Subject Characteristics."

More detailed information on the technical and procedural matters covered in the text of this report can be obtained by writing to the Director, Bureau of the Census, Washington, D.C. 20233. Such information will also appear in later reports of the 1970 census.

Organization of the text.—The text consists of this introduction and four appendixes which appear after the tables. Appendix A describes the various area classifications (e.g., places, standard metropolitan statistical areas, etc.) and briefly explains the residence rules used in counting the population. Appendix B provides definitions and explanations for the subjects covered in this report, including facsimiles of the 1970 census questionnaire pages and a facsimile of the instruction sheet. Appendix C presents information on sources of error in the data, editing procedures, the sample design, ratio estimation, and sampling variability. Appendix D summarizes the data dissemination program of the 1970 census.

Content of the tables.—A series of standard tables is presented for each area shown in this report. Tables 1 to 8 present statistics for owner-occupied and renter-occupied units. Tables 9 and 10 present statistics for vacant units, separately for units for

sale and for units for rent. Data for housing units with Negro head of household are presented in tables 11 to 18, and data for housing units with heads of Spanish heritage (i.e., heads of Spanish language or surname or of Puerto Rican birth or parentage) are presented in tables 19 to 26; these tables, which have the same subject content as tables 1 to 8, are published for those standard metropolitan statistical areas, cities or places that have a population of 25,000 or more for the particular group. The finding guide on page IV lists the characteristics covered in this report and shows the tables in which the various types of statistics appear.

The prefix letter "A" has been assigned to the tables for the total standard metropolitan statistical area; tables for the central cities and places of 50,000 inhabitants or more, which follow in alphabetical order, have the prefix letter "B," "C," etc.

Sample size.—The statistics presented in this report are based on a sample of housing units. More specifically, the data are derived from the 15-percent and 5-percent sample questionnaires (see "Data Collection Procedures," below). Some items appeared on both sample questionnaires and, therefore, are based on a 20-percent sample of housing units. The sampling rate for each subject is shown in table A of Appendix C, "Accuracy of the Data." Appendix C also presents information on the sampling variability associated with these data.

Statistics for some subgroups (e.g., households in owner-occupied units with incomes of less than \$2,000 or renter-occupied 1-room units) may differ from table to table or within the same table when the figures are tabulated from different samples.

Derived figures (medians, etc.).—Shown in this report are medians as well as certain percentages and ratios. The median, which is a type of average, is the middle value in a distribution; i.e., the median divides the distribution into two equal parts—one-half of the cases fall below the median and one-half of the cases exceed the median. For all types of derived figures in this report, the figure is not presented (but indicated by three dots "...") if there are fewer than the prescribed number of units in the distribution or the base. For the 20-percent sample, the minimum number of housing units is 100; for the 15-percent sample, the minimum is 132; and for the 5-percent sample, the minimum is 400.

Medians for rooms and persons are rounded to the nearest tenth, for value to the nearest hundred dollars, and for rent to the nearest dollar. In computing medians for rooms and persons per housing unit, the whole number is used as the midpoint of the interval so that, for example, the category "3 rooms" is treated as an interval ranging from 2.5 up to 3.5 rooms. In computing median rent, units reported as "no cash rent" are excluded. The median is computed on the basis of the distribution as tabulated, which is sometimes more detailed than the distribution shown in this report. When the median falls in the lower terminal category of an open-end distribution, the method of presentation is to show the initial value of the next category followed by a minus sign; thus, for example, if the median falls in the category "Less than \$5,000," it is shown as "\$5,000—." When the median falls in the upper terminal category of an open-end distribution, the method of presentation is to show the initial value of the

terminal category followed by a plus sign; thus, for example, if the median falls in the category "\$50,000 or more," it is shown as "\$50,000+."

Symbols.—A dash "—" signifies zero. Three dots "..." mean not applicable, or that the base for a derived figure is too small for it to be shown, or that the data are being withheld to avoid disclosure of information for individual housing units. The symbol "U" means that the place is unincorporated.

Boundaries.—The data shown for 1970 relate to the boundaries as they existed on January 1, 1970. Information on boundary changes between 1960 and 1970 for certain types of areas is given in the 1970 Population Census PC(1)-A reports.

DATA COLLECTION PROCEDURES

The 1970 census was conducted primarily through self-enumeration. In 1960, self-enumeration was first introduced on a nationwide scale as a substitute for the traditional census direct interview.

A census questionnaire was delivered by postal carriers to every household several days before Census Day, April 1, 1970. This questionnaire contained certain explanatory information and was accompanied by an instruction sheet; in areas with comparatively large proportions of Spanish-speaking persons, a Spanish version of the instruction sheet was also enclosed. Some of this material is reproduced in Appendix B, "Definitions and Explanations of Subject Characteristics."

In the larger metropolitan areas and some adjacent counties, altogether containing about three-fifths of the

population of the United States, the householder was requested to fill out and mail back the form on Census Day. Approximately 87 percent of the householders did so. The mailed-back forms were reviewed by the census enumerator (or, in some localities, a census clerk) and if the form was determined to be incomplete or inconsistent, a followup was made. The bulk of these followups were made by telephone, the rest by personal visit. For the households that did not mail back their forms, a followup was also made, in almost all cases by personal visit and in the remainder by telephone; vacant units were enumerated by personal visit.

For the remaining two-fifths of the population, the householder was requested to fill out the form and give it to the enumerator when he called; approximately 80 percent did so. Incomplete and unfilled forms were completed by interview during the enumerator's visit.

Three types of questionnaires were used throughout the country: 80 percent of the households answered a form containing a limited number of population and housing questions and the remainder, split into 15-percent and 5-percent samples, answered forms which contained these questions as well as a number of additional questions. Some of the additional questions were the same on the 15-percent and 5-percent versions; others were different. A random procedure was used to determine which of the three forms any particular household answered.

In the metropolitan and adjacent areas, the designated type was sent to each household. In the remaining areas, the questionnaire with a limited number of questions was distributed to all households and the enumerators

interviewed for the additional questions in those households designated for the 15-percent and 5-percent samples.

The subjects covered in this report are all drawn from the 15-percent and 5-percent sample questionnaires.

PROCESSING PROCEDURES

The 1970 census questionnaires were specially designed to be processed by FOSDIC (Film Optical

Sensing Device for Input to Computers). Respondents and enumerators (and for some few items, census clerks) marked the answers in predesignated positions which could be "read" by FOSDIC, from a microfilm copy of the questionnaire, onto computer magnetic tape.

The tape containing the information from the questionnaires was processed on the Census Bureau's computers through a number of editing

and tabulation steps (see Appendix C, "Accuracy of the Data"). One of the end results of this operation was a computer tape from which the tables in this report were prepared on a cathode-ray-tube phototypesetting machine at the Government Printing Office. Another end result was the summary tape which is available for purchase, as described in Appendix D, "Publication and Computer Summary Tape Program."

CONTENTS**METROPOLITAN HOUSING CHARACTERISTICS****Waterloo, Iowa**
STANDARD METROPOLITAN STATISTICAL AREA

[Page numbers listed here omit the SMSA prefix number which appears as part of the page number for each page. The prefix for this SMSA is 234]

page

MAP

Counties, Standard Metropolitan
Statistical Areas, and Selected Places

X

INDEX OF TABLES

[The prefix letter "A" refers to tables for the total SMSA; tables for central cities and for places of 50,000 inhabitants or more, which follow in alphabetical order, have the prefix letter "B," "C," etc.]

Area	Prefix letter	Tables 1-10	Tables 11-18	Tables 19-26
		<i>Pages</i>	<i>Pages</i>	<i>Pages</i>
Total SMSA	A	1 to 9	—	—
Waterloo	B	10 to 18	—	—

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[Tables 11 to 18 are shown if an area has 25,000 or more Negro population and tables 19 to 26 are shown if an area has 25,000 or more population of Spanish language]

TABLE

- 1 Value of Owner Occupied Housing Units: 1970

- 2 Gross Rent of Renter Occupied Housing Units: 1970

- 3 Income in 1969 of Families and Primary Individuals in Owner and Renter Occupied Housing Units: 1970

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- 15 Rooms in Owner and Renter Occupied Housing Units With Negro Head of Household: 1970

- 16 Units in Structure for Owner and Renter Occupied Housing Units With Negro Head of Household: 1970

- 17 Household Composition for Owner and Renter Occupied Housing Units With Negro Head of Household: 1970

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- 22 Plumbing Facilities by Persons per Room for Owner and Renter Occupied Housing Units With Household Head of Spanish Language: 1970

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- 24 Units in Structure for Owner and Renter Occupied Housing Units With Household Head of Spanish Language: 1970

- 25 Household Composition for Owner and Renter Occupied Housing Units With Household Head of Spanish Language: 1970

- 26 Persons in Owner and Renter Occupied Housing Units With Household Head of Spanish Language: 1970

Table A-1. Value of Owner Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA	Total	Less than \$5,000	\$5,000 to \$7,499	\$7,500 to \$9,999	\$10,000 to \$12,499	\$12,500 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 to \$49,999	\$50,000 or more	Median (dollars)
Specified owner occupied¹	25 300	515	1 494	2 447	3 380	3 104	6 854	3 708	2 589	975	234	16 200
ROOMS												
1 and 2 rooms	84	21	6	16	5	11	10	15	--	--	--	...
3 rooms	446	115	141	101	48	30	5	6	--	--	--	6 900
4 rooms	4 279	185	497	730	992	899	774	134	58	10	--	11 800
5 rooms	9 842	92	494	722	1 087	1 154	3 698	1 811	632	139	13	16 800
6 rooms	5 898	80	216	543	741	619	1 439	1 056	920	250	34	17 700
7 rooms	2 810	11	118	221	339	251	612	456	536	226	40	18 700
8 rooms or more	1 941	11	22	114	168	140	316	230	443	350	147	24 300
Median	5.3	4.2	4.7	5.0	5.1	5.0	5.2	5.4	6.2	6.9	7.5+	...
PERSONS												
1 person	2 749	199	414	420	509	367	463	167	147	55	13	11 700
2 persons	7 404	152	501	786	1 283	980	1 812	888	607	296	99	15 000
3 persons	4 007	33	185	380	493	542	1 066	674	481	127	26	16 700
4 persons	4 505	47	153	358	393	438	1 448	792	619	222	35	17 900
5 persons	3 132	27	118	195	277	324	1 075	605	360	125	26	17 700
6 persons or more	3 503	57	123	308	425	453	990	582	380	150	35	16 900
Median	3.1	1.9	2.2	2.5	2.4	2.9	3.6	3.7	3.6	3.5	2.7	...
Units with roomers, boarders, or lodgers	608	32	28	84	132	64	119	64	55	20	10	13 600
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	24 962	381	1 390	2 410	3 353	3 088	6 843	3 699	2 589	975	234	16 300
0.50 or less	11 887	239	859	1 294	1 952	1 463	2 650	1 420	1 267	564	179	15 200
0.51 to 1.00	10 934	102	386	861	1 080	1 282	3 608	1 942	1 231	387	55	17 300
1.01 to 1.50	1 882	30	97	219	292	293	542	298	87	24	--	15 100
1.51 or more	859	10	48	36	29	50	43	39	4	--	--	12 800
Lacking some or all plumbing facilities	338	134	104	37	27	16	11	9	--	--	--	5 800
0.50 or less	214	83	65	22	12	16	11	5	--	--	--	5 900
0.51 to 1.00	90	36	30	10	10	--	--	4	--	--	--	...
1.01 to 1.50	18	9	4	--	5	--	--	--	--	--	--	...
1.51 or more	16	6	5	5	--	--	--	--	--	--	--	...
BEDROOMS												
None and 1	965	146	153	238	241	100	66	21	--	--	--	9 400
2	8 159	240	658	1 447	1 671	1 190	1 925	671	202	137	18	12 600
3	12 926	43	417	816	929	1 135	4 155	2 719	1 945	685	82	18 800
4 or more	3 508	19	196	189	486	254	877	474	705	246	62	18 500
YEAR STRUCTURE BUILT												
1969 to March 1970	508	--	--	--	--	5	152	94	167	74	16	25 200
1965 to 1968	1 818	--	--	5	16	54	402	581	544	160	56	23 700
1960 to 1964	2 729	11	32	41	96	216	980	705	471	140	37	19 900
1950 to 1959	7 651	46	195	333	598	997	2 683	1 517	880	333	69	18 000
1940 to 1949	3 544	105	268	384	728	540	918	333	167	82	19	13 800
1939 or earlier	9 050	353	999	1 684	1 942	1 292	1 719	478	360	186	37	11 900
COMPLETE BATHROOMS												
1 and 1 1/2	22 036	371	1 346	2 270	3 257	3 087	6 426	3 153	1 695	410	21	15 500
2 and 2 1/2	2 512	6	26	53	63	103	341	502	772	490	156	27 100
3 or more	196	--	6	--	--	6	6	20	43	31	84	43 200
None or also used by another household	555	173	139	58	81	21	50	25	--	8	--	6 900
HOUSEHOLD COMPOSITION												
Two-or-more-person households	22 551	316	1 080	2 027	2 871	2 737	6 391	3 541	2 447	920	221	16 700
Male head, wife present, no nonrelatives	20 164	234	901	1 678	2 417	2 435	5 860	3 333	2 267	845	194	17 000
Under 25 years	560	14	38	54	79	96	179	62	38	--	--	15 000
25 to 34 years	4 096	49	106	257	285	521	1 444	857	505	72	--	18 000
35 to 44 years	4 658	15	137	336	428	515	1 431	919	590	236	51	18 100
45 to 64 years	8 320	91	332	700	1 129	1 010	2 237	1 277	983	447	114	16 900
65 years and over	2 530	65	288	331	496	293	569	218	151	90	29	13 200
Other male head	716	24	42	71	139	103	162	53	63	48	11	14 500
Under 65 years	525	10	23	56	93	78	121	48	47	38	11	15 100
65 years and over	191	14	19	15	46	25	41	5	16	10	--	12 700
Female head	1 671	58	137	278	315	199	369	155	117	27	16	13 100
Under 65 years	1 209	53	82	215	202	161	260	118	91	22	5	13 300
65 years and over	462	5	55	63	113	38	109	37	26	5	11	12 400
One-person households	2 749	199	414	420	509	367	463	167	142	55	13	11 700
Under 65 years	1 091	64	166	194	185	123	171	99	61	19	9	11 600
65 years and over	1 658	135	248	226	324	244	292	68	81	36	4	11 700
INCOME IN 1969												
Less than \$2,000	1 823	187	305	306	291	234	298	73	80	49	--	11 000
\$2,000 to \$2,999	1 140	35	156	169	292	163	218	33	54	14	6	11 800
\$3,000 to \$3,999	1 025	48	132	184	213	134	159	86	60	9	--	11 700
\$4,000 to \$4,999	1 013	48	78	193	252	154	128	83	47	20	10	11 900
\$5,000 to \$5,999	775	21	89	82	141	145	210	63	13	11	--	13 400
\$6,000 to \$6,999	1 160	18	120	156	215	173	319	101	48	5	5	13 500
\$7,000 to \$9,999	5 361	81	337	733	889	768	1 587	649	247	61	9	14 600
\$10,000 to \$14,999	8 215	50	222	526	807	1 052	2 761	1 729	895	158	15	17 600
\$15,000 to \$24,999	3 827	16	55	79	263	257	1 034	827	871	371	54	21 300
\$25,000 or more	961	11	--	19	17	24	140	64	274	277	135	32 500
Median	\$10 200	\$3 700	\$5 900	\$7 500	\$8 000	\$9 100	\$10 900	\$12 200	\$14 200	\$19 300	\$30 300	...
YEAR MOVED INTO UNIT												
1969 to March 1970	2 355	33	83	107	217	207	711	446	408	109	34	18 700
1968	1 906	21	67	122	136	243	535	387	248	107	40	18 500
1967	1 868	14	70	145	191	220	473	415	249	85	6	18 200
1965 and 1966	2 849	67	100	228	369	354	850	444	324	73	40	16 000
1960 to 1964	4 848	103	154	417	573	638	1 290	853	555	214	49	17 600
1950 to 1959	7 364	93	470	646	965	1 048	2 242	945	597	288	70	16 000
1949 or earlier	4 109	219	573	716	950	507	722	210	129	61	22	11 400
HEATING EQUIPMENT												
Steam or hot water	653	6	14	65	36	72	135	89	129	92	15	19 900
Warm-air furnace	22 850	321	1 071	2 040	3 059	2 856	6 498	3 496	2 432	867	210	16 500
Built-in electric units	109	--	--	16	9	5	22	13	19	16	9	21 000
Floor, wall, or pipeless furnace	234	4	54	30	19	48	64	10	5	--	--	13 000
Other means	1 449	179	355	296	257	123	135	100	4	--	--	9 100
None	5	5	--	--	--	--	--	--	--	--	--	...
AIR CONDITIONING												
Room unit(s)	6 647	68	231	507	923	1 033	2 150	1 040	530	137	28	16 300
Central system	4 159	--	--	52	161	217	920	1 004	1 037	562	206	23 600
None	14 493	482	1 286	1 822	2 317	1 967	3 753	1 656	943	240	27	14 200

¹Limited to one-family homes on less than 10 acres and no business on property.

Table A-2. Gross Rent of Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Total	Less than \$50	\$50 to \$59	\$60 to \$69	\$70 to \$79	\$80 to \$89	\$90 to \$99	\$100 to \$119	\$120 to \$149	\$150 to \$199	\$200 to \$299	\$300 or more	No cash rent	Median (dollars)
Specified renter occupied¹	9 871	592	420	730	600	1 993	1 725	1 794	1 427	177	8	405	105	
ROOMS														
1 room	534	261	72	36	7	81	24	43	5	—	—	—	5	50
2 rooms	735	125	133	180	69	77	40	63	16	9	—	—	23	65
3 rooms	2 530	91	92	331	336	705	382	345	156	17	—	—	75	89
4 rooms	2 793	102	94	135	120	641	535	491	575	65	3	3	32	111
5 rooms	1 856	5	15	32	59	300	444	527	326	28	5	5	115	121
6 rooms	869	3	4	11	9	158	220	202	193	14	—	—	55	120
7 rooms	358	—	10	—	—	31	64	71	115	33	—	—	34	144
8 rooms or more	196	5	—	5	—	—	16	52	41	11	—	—	66	143
Median	3.9	1.8	2.6	3.0	3.2	3.7	4.3	4.4	4.4	4.5	...	...	5.1	...
PERSONS														
1 person	2 900	448	281	406	317	552	319	291	148	16	—	—	122	78
2 persons	2 933	76	84	177	170	704	592	519	430	70	—	—	106	107
3 persons	1 727	43	26	90	56	380	334	439	267	27	—	—	62	114
4 persons	1 139	3	14	36	44	187	225	268	272	34	—	—	56	124
5 persons	614	19	11	12	—	82	150	123	158	20	—	—	39	123
6 persons or more	558	3	4	9	13	88	105	154	152	10	—	—	20	129
Median	2.2	1.2	1.2	1.4	1.4	2.1	2.4	2.7	3.0	2.6	...	...	2.3	...
Units with roomers, boarders, or lodgers	430	5	4	10	12	80	94	70	130	7	—	—	18	120
PLUMBING FACILITIES BY PERSONS PER ROOM														
With all plumbing facilities	9 042	307	326	584	552	1 840	1 686	1 774	1 422	177	8	8	366	109
0.50 or less	3 974	128	203	306	355	843	700	627	514	76	5	5	217	101
0.51 to 1.00	4 479	165	107	254	178	872	862	1 021	782	97	3	3	138	114
1.01 to 1.50	493	8	11	18	14	104	94	117	117	4	—	—	6	119
1.51 or more	96	—	5	6	5	21	30	9	9	—	—	—	5	...
Lacking some or all plumbing facilities	829	285	94	146	48	153	39	20	5	—	—	—	39	61
0.50 or less	378	104	58	101	16	31	20	9	5	—	—	—	34	61
0.51 to 1.00	401	173	32	32	25	114	14	6	—	—	—	—	5	58
1.01 to 1.50	29	—	4	10	7	3	5	—	—	—	—	—	—	...
1.51 or more	21	8	—	3	—	5	—	5	—	—	—	—	—	...
BEDROOMS														
None	822	367	120	116	20	112	26	41	—	—	—	—	20	53
1	3 497	271	309	427	402	843	566	448	210	—	—	—	21	88
2	3 877	85	72	139	99	599	996	977	724	63	25	25	98	118
3 or more	1 744	48	—	—	—	224	350	432	558	21	—	—	111	134
YEAR STRUCTURE BUILT														
1969 to March 1970	207	18	—	—	—	14	29	30	90	26	—	—	—	157
1965 to 1968	1 121	5	5	55	17	24	42	327	548	74	—	—	24	157
1960 to 1964	542	—	10	53	13	26	64	163	170	17	—	—	26	137
1950 to 1959	901	—	—	—	26	170	230	200	146	14	—	—	98	116
1940 to 1949	967	93	57	24	55	197	185	222	84	15	—	—	35	104
1939 or earlier	6 133	476	348	581	489	1 562	1 175	852	389	31	8	8	222	93
ELEVATOR IN STRUCTURE														
4 floors or more	323	66	45	60	40	19	60	19	14	—	—	—	—	...
With elevator	256	40	45	60	40	19	60	19	14	—	—	—	—	...
Walk-up	67	26	—	—	—	—	—	—	—	—	—	—	—	...
1 to 3 floors	9 617	705	456	622	481	1 759	1 878	1 879	1 478	84	25	25	250	107
COMPLETE BATHROOMS														
1 and 1/2	8 677	244	295	583	556	1 852	1 595	1 705	1 300	194	7	7	346	108
2 or more	210	—	—	8	8	31	12	17	66	17	—	—	59	156
None or also used by another household	949	295	108	167	53	203	37	31	7	—	—	—	48	63
INCOME IN 1969														
Less than \$2,000	1 764	219	146	197	155	340	242	250	123	5	—	—	87	86
\$2,000 to \$2,999	925	100	44	91	99	235	125	117	57	9	—	—	48	89
\$3,000 to \$3,999	913	82	55	82	106	239	154	92	63	6	—	—	34	90
\$4,000 to \$4,999	763	75	49	62	52	145	172	108	81	4	3	3	13	99
\$5,000 to \$5,999	682	26	41	40	41	166	125	121	65	9	—	—	28	99
\$6,000 to \$6,999	773	39	6	66	39	169	163	143	116	6	—	—	26	107
\$7,000 to \$9,999	2 050	41	60	131	82	426	368	452	381	19	—	—	90	113
\$10,000 to \$14,999	1 531	5	15	31	26	249	327	405	356	64	5	5	48	127
\$15,000 to \$24,999	402	5	—	10	—	15	9	89	164	45	—	—	31	157
\$25,000 or more	68	—	—	—	—	—	—	—	—	—	—	—	—	...
Median	\$5 800	\$2 800	\$3 400	\$3 900	\$3 400	\$5 200	\$6 300	\$7 400	\$8 600	\$12 400	...	...	\$5 700	...
YEAR MOVED INTO UNIT														
1969 to March 1970	5 009	244	161	266	230	1 020	832	1 049	968	148	7	7	84	113
1968	1 427	77	43	85	98	391	228	243	197	22	—	—	43	100
1967	588	13	31	64	60	98	107	98	46	18	—	—	53	100
1965 and 1966	807	26	43	73	72	176	183	118	69	16	—	—	31	100
1960 to 1964	899	77	63	115	83	170	156	132	39	7	—	—	57	91
1950 to 1959	669	58	38	103	61	115	111	65	40	—	—	—	78	85
1949 or earlier	437	44	24	44	13	116	27	48	14	—	—	—	107	86
GROSS RENT AS PERCENTAGE OF INCOME														
Less than 10 percent	696	134	81	104	31	159	69	75	38	5	—	—	...	79
10 to 14 percent	1 775	101	68	163	97	433	373	301	209	31	—	—	...	101
15 to 19 percent	1 565	93	61	86	72	360	310	318	235	30	—	—	...	107
20 to 24 percent	1 250	55	25	68	74	172	251	325	238	42	—	—	...	118
25 to 34 percent	1 402	77	43	79	112	258	227	247	334	20	5	5	...	112
35 percent or more	2 624	120	137	219	214	577	467	490	353	44	3	3	...	102
Not computed	558	12	5	11	—	34	28	38	20	5	—	—	405	110
AIR CONDITIONING														
Room unit(s)	1 904	30	58	114	99	429	348	405	263	44	7	7	107	110
Central system	885	12	14	—	7	12	45	—	168	481	101	—	45	167
None	7 047	497	331	636	511	1 645	1 251	1 180	629	66	—	—	301	97

¹Excludes one-family homes on 10 acres or more.

Table A-3. Income in 1969 of Families and Primary Individuals in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Total	Less than \$2,000	\$2,000 to \$2,999	\$3,000 to \$3,999	\$4,000 to \$4,999	\$5,000 to \$5,999	\$6,000 to \$6,999	\$7,000 to \$9,999	\$10,000 to \$14,999	\$15,000 to \$24,999	\$25,000 or more	Median (dollars)
Owner occupied housing units	29 085	2 272	1 404	1 290	1 225	1 020	1 412	6 047	9 015	4 274	1 126	9 900
ROOMS												
1 and 2 rooms	195	74	9	19	9	26	—	15	28	15	—	3 800
3 rooms	721	183	83	63	83	30	62	124	77	16	—	4 400
4 rooms	5 347	610	408	349	315	303	426	1 296	1 307	274	59	7 600
5 rooms	10 695	747	432	487	418	340	422	2 474	3 780	1 407	188	10 000
6 rooms	6 496	335	250	234	206	186	255	1 286	2 188	1 298	258	11 100
7 rooms or more	5 631	323	222	138	194	135	247	852	1 635	1 264	621	12 200
PERSONS												
1 person	3 469	1 344	443	345	249	199	178	430	185	73	23	2 900
2 persons	8 824	648	724	694	662	465	526	1 765	2 005	1 010	325	8 200
3 and 4 persons	9 553	162	203	151	196	258	470	2 306	3 583	1 817	407	11 400
5 persons	3 390	63	14	49	70	43	127	739	1 565	536	184	11 900
6 persons or more	3 849	55	20	51	48	55	111	807	1 677	838	187	12 300
Units with roomers, boarders, or lodgers	692	125	79	67	28	36	9	144	150	34	20	7 000
BEDROOMS												
Less than 3	11 039	1 474	721	659	854	604	759	2 271	2 721	852	124	7 600
3	13 732	492	289	370	300	305	524	3 074	4 987	2 761	630	11 500
4 or more	4 314	272	131	121	233	178	241	763	1 294	650	431	10 800
YEAR STRUCTURE BUILT												
1969 to March 1970	741	34	21	27	10	32	83	181	230	90	33	9 700
1960 to 1968	5 530	203	103	117	127	170	196	1 089	2 232	1 024	269	11 700
1950 to 1959	8 083	369	252	186	226	199	278	1 684	3 031	1 495	363	11 400
1949 or earlier	14 731	1 666	1 028	960	862	619	855	3 093	3 522	1 665	461	8 300
YEAR MOVED INTO UNIT												
1969 to March 1970	2 899	99	89	113	79	147	232	658	1 069	360	53	10 200
1968	2 209	106	23	78	72	96	98	544	816	282	94	10 500
1960 to 1967	10 806	506	363	313	335	268	407	2 477	3 983	1 779	375	10 900
1959 or earlier	13 171	1 563	1 010	812	698	480	622	2 360	3 189	1 845	592	8 800
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	20 790	976	380	517	890	599	934	4 203	7 477	3 757	1 057	11 300
Clothes dryer	19 136	718	331	327	683	462	907	4 115	6 879	3 717	997	11 500
Dishwasher	5 114	155	55	125	121	—	124	594	1 606	1 592	742	14 300
Home food freezer	12 375	443	385	354	444	337	734	2 569	4 237	2 122	750	11 100
Owned second home	1 410	—	19	—	82	43	97	223	447	265	234	12 700
With air conditioning	12 098	563	392	406	416	355	429	2 313	4 006	2 409	809	11 500
Room unit(s)	7 614	392	346	277	315	279	295	1 751	2 522	1 186	251	10 300
Central system	4 484	171	46	129	101	76	134	562	1 484	1 223	558	13 400
Automobiles available:												
1	13 217	1 011	923	868	856	662	819	3 428	3 460	973	217	8 300
2	11 390	215	195	162	139	224	445	2 228	4 692	2 476	614	12 200
3 or more	2 345	13	32	31	29	25	43	255	834	800	283	14 500
Renter occupied housing units	10 553	1 792	947	950	802	712	818	2 242	1 704	470	116	6 100
ROOMS												
1 room	534	227	83	67	34	28	43	31	11	10	—	2 500
2 rooms	735	237	112	113	68	32	24	117	22	5	5	3 200
3 rooms	2 540	586	287	298	217	179	189	419	311	44	10	4 500
4 rooms	2 846	390	248	220	254	215	206	679	446	162	26	6 500
5 rooms	1 954	200	142	150	144	115	217	458	423	90	15	7 100
6 rooms or more	1 944	152	75	102	85	143	139	538	491	159	60	8 500
PERSONS												
1 person	2 911	1 063	392	327	232	151	146	360	182	48	10	3 000
2 persons	3 015	318	314	345	236	244	293	545	554	131	35	6 200
3 and 4 persons	3 154	263	210	186	249	233	266	951	547	204	45	7 500
5 persons	727	76	14	46	43	25	46	181	252	38	6	8 900
6 persons or more	746	72	17	46	42	59	67	205	169	49	20	8 000
Units with roomers, boarders, or lodgers	443	202	52	53	25	25	16	45	20	—	5	2 400
BEDROOMS												
None	822	293	91	172	70	21	96	45	—	34	—	3 200
1	3 497	950	361	467	193	312	189	650	289	62	24	3 900
2	3 923	386	364	442	263	278	437	900	665	188	—	6 500
3 or more	2 311	161	65	53	99	148	205	792	533	214	41	8 600
YEAR STRUCTURE BUILT												
1969 to March 1970	207	19	5	17	19	9	11	59	38	30	—	8 200
1960 to 1968	1 685	231	127	101	103	96	144	357	363	122	41	7 300
1950 to 1959	950	99	72	31	74	72	55	233	223	85	6	7 900
1949 or earlier	7 711	1 443	743	801	606	535	608	1 593	1 080	233	69	5 500
YEAR MOVED INTO UNIT												
1969 to March 1970	5 227	853	414	489	446	410	394	1 112	833	241	35	6 000
1968	1 489	198	172	78	95	84	120	366	302	68	6	7 000
1960 to 1967	2 531	364	237	198	215	175	159	565	451	108	59	6 500
1959 or earlier	1 306	377	161	114	88	25	106	148	182	64	41	4 000
GROSS RENT AS PERCENTAGE OF INCOME												
Specified renter occupied	9 871	1 744	923	913	763	682	773	2 050	1 531	402	68	5 800
Less than 15 percent	2 472	—	9	35	97	96	135	695	990	347	68	10 900
15 to 19 percent	1 565	—	46	87	88	156	219	590	355	24	—	7 900
20 to 24 percent	1 250	10	50	110	147	173	184	454	122	—	—	6 700
25 to 34 percent	1 402	81	137	322	261	176	198	211	16	—	—	4 600
35 percent or more	2 624	1 433	635	325	157	53	11	10	—	—	—	2000—
Not computed	558	240	48	34	13	28	26	90	48	31	—	2 800
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	3 869	279	191	173	48	272	403	1 123	977	338	65	8 500
Clothes dryer	3 247	255	107	172	74	194	322	882	859	317	65	8 700
Dishwasher	359	—	32	—	—	21	39	97	87	64	19	—
Home food freezer	1 659	204	—	114	111	131	136	471	268	183	41	7 900
Owned second home	176	40	—	26	—	—	—	—	21	65	—	—
With air conditioning	2 929	454	160	196	206	159	209	649	615	226	55	7 400
Room unit(s)	1 996	311	115	144	146	138	154	453	387	120	28	6 900
Central system	933	143	45	52	60	21	55	196	228	106	27	8 400
Automobiles available:												
1	5 822	651	499	495	538	523	531	1 450	832	226	77	6 400
2	2 268	111	76	108	153	90	149	590	761	192	38	9 300
3 or more	427	103	22	17	25	10	6	54	123	48	19	8 700

¹Excludes one-family homes on 10 acres or more.

Table A-4. Plumbing Facilities by Persons Per Room for Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA	With all plumbing facilities					Lacking some or all plumbing facilities					
	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	
Owner occupied housing units -----	29 085	28 590	14 102	12 172	2 046	270	495	318	139	16	20
PERSONS											
1 person -----	3 449	3 318	3 291	27	--	--	151	140	11	--	--
2 persons -----	8 824	8 640	8 321	309	--	10	184	147	37	--	--
3 persons -----	4 634	4 565	1 908	2 647	--	10	69	31	38	--	--
4 persons -----	4 919	4 887	405	4 452	30	--	32	--	32	--	--
5 persons -----	3 390	3 369	177	2 957	223	--	21	--	12	4	5
6 persons or more -----	3 849	3 811	--	1 780	1 793	238	38	--	9	14	15
Median -----	3.0	3.0	2.0	4.2	6.5	7.5+	2.0	1.6	3.1	...	...
Units with roomers, boarders, or lodgers -----	692	664	338	270	50	6	28	28	--	--	--
YEAR STRUCTURE BUILT											
1969 to March 1970 -----	701	694	274	382	38	--	7	7	--	--	--
1965 to 1968 -----	2 356	2 356	679	1 482	195	--	--	--	--	--	--
1960 to 1964 -----	3 156	3 142	1 151	1 618	317	56	14	8	6	--	--
1950 to 1959 -----	8 104	8 035	3 398	3 896	645	96	69	43	6	14	6
1940 to 1949 -----	3 694	3 586	1 907	1 357	289	33	108	48	45	6	9
1939 or earlier -----	11 074	10 747	6 576	3 556	534	81	327	248	68	--	11
INCOME IN 1969											
Less than \$2,000 -----	2 272	2 122	1 821	261	40	--	150	127	17	--	6
\$2,000 to \$2,999 -----	1 404	1 365	1 155	197	8	5	39	23	16	--	--
\$3,000 to \$3,999 -----	1 290	1 258	1 009	201	42	6	32	27	5	--	--
\$4,000 to \$4,999 -----	1 225	1 177	900	244	28	5	48	24	19	--	5
\$5,000 to \$5,999 -----	1 020	1 005	684	264	43	14	15	15	--	--	--
\$6,000 to \$6,999 -----	1 412	1 392	773	537	68	14	20	20	--	--	--
\$7,000 to \$9,999 -----	6 047	5 933	2 478	2 898	495	42	114	61	45	4	4
\$10,000 to \$14,999 -----	9 015	8 958	2 900	4 983	962	113	57	21	22	9	5
\$15,000 to \$24,999 -----	4 274	4 260	1 765	2 154	298	14	14	--	9	5	--
\$25,000 or more -----	1 126	1 120	617	433	62	8	6	--	6	--	--
Median -----	\$9 900	\$10 000	\$7 900	\$11 500	\$11 600	\$11 300	\$4 600	\$3 300	\$7 800	...	...
VALUE-INCOME RATIO											
Specified owner occupied ¹ -----	25 300	24 942	11 887	10 934	1 882	259	338	214	90	18	16
Less than 1.5 -----	9 765	9 597	3 482	4 706	1 042	167	168	65	75	18	10
1.5 to 1.9 -----	5 379	5 364	2 027	2 851	429	57	15	10	5	--	--
2.0 to 2.4 -----	3 422	3 393	1 431	1 753	196	13	29	24	5	--	--
2.5 to 2.9 -----	1 870	1 824	989	732	95	8	46	41	5	--	--
3.0 to 3.9 -----	1 528	1 506	992	435	70	9	22	16	--	--	6
4.0 or more -----	3 198	3 146	2 683	418	40	5	52	52	--	--	--
Not computed -----	138	132	83	39	10	--	6	6	--	--	--
HEATING EQUIPMENT											
Steam or hot water -----	820	809	445	321	43	--	11	5	6	--	--
Warm-air furnace -----	26 051	25 757	12 653	11 063	1 814	227	294	210	75	4	5
Built-in electric units -----	143	143	69	63	4	7	--	--	--	--	--
Floor, wall, or pipeless furnace -----	338	329	145	152	32	--	9	--	--	9	--
Other means -----	1 728	1 552	790	573	153	36	176	98	58	5	15
None -----	5	--	--	--	--	--	5	--	--	--	--
Renter occupied housing units -----	10 533	9 719	4 234	4 838	533	114	834	383	401	29	21
PERSONS											
1 person -----	2 911	2 308	2 065	243	--	--	603	343	260	--	--
2 persons -----	3 015	2 870	1 705	1 144	--	21	145	40	95	--	10
3 persons -----	1 873	1 830	327	1 482	21	--	43	--	39	4	--
4 persons -----	1 281	1 274	109	1 112	48	5	7	--	--	7	--
5 persons -----	727	722	28	519	158	17	5	--	--	--	5
6 persons or more -----	746	715	--	338	306	71	31	--	7	18	6
Median -----	2.3	2.4	1.5	3.2	5.8	6.8	1.2	1.1	1.3	...	...
Units with roomers, boarders, or lodgers -----	443	412	84	284	33	11	31	--	26	--	5
YEAR STRUCTURE BUILT											
1969 to March 1970 -----	222	214	71	116	27	--	8	--	8	--	--
1965 to 1968 -----	1 145	1 145	437	638	63	7	--	--	--	--	--
1960 to 1964 -----	528	521	216	253	44	8	7	--	7	--	--
1950 to 1959 -----	976	964	374	549	34	7	12	--	--	--	--
1940 to 1949 -----	1 013	969	379	513	62	15	44	15	22	7	--
1939 or earlier -----	6 669	5 913	2 872	2 622	320	99	756	368	345	27	16
INCOME IN 1969											
Less than \$2,000 -----	1 792	1 488	826	567	85	10	304	157	134	--	13
\$2,000 to \$2,999 -----	830	830	462	341	11	16	117	45	72	--	--
\$3,000 to \$3,999 -----	950	860	425	390	34	11	90	39	46	--	5
\$4,000 to \$4,999 -----	802	717	334	339	38	6	85	22	49	14	--
\$5,000 to \$5,999 -----	712	671	258	367	37	9	41	20	21	--	--
\$6,000 to \$6,999 -----	818	776	335	384	49	8	42	5	28	6	3
\$7,000 to \$9,999 -----	2 242	2 127	731	1 233	142	21	115	59	51	5	--
\$10,000 to \$14,999 -----	1 704	1 664	601	942	106	15	40	36	--	4	--
\$15,000 to \$24,999 -----	470	470	204	227	26	13	--	--	--	--	--
\$25,000 or more -----	116	116	58	48	5	5	--	--	--	--	--
Median -----	\$6 100	\$6 400	\$5 300	\$7 100	\$7 300	\$6 600	\$3 000	\$2 800	\$2 900	...	...
GROSS RENT AS PERCENTAGE OF INCOME											
Specified renter occupied ² -----	9 871	9 042	3 974	4 479	493	96	829	378	401	29	21
Less than 10 percent -----	696	596	220	314	50	12	100	44	52	4	--
10 to 14 percent -----	1 776	1 602	641	859	90	12	174	72	93	6	3
15 to 19 percent -----	1 565	1 461	545	792	103	21	104	45	43	16	--
20 to 24 percent -----	1 250	1 199	476	649	63	11	51	20	28	3	--
25 to 34 percent -----	1 402	1 297	541	695	58	3	105	39	61	--	5
35 percent or more -----	2 624	2 380	1 277	987	84	32	244	118	113	--	13
Not computed -----	558	507	274	183	45	5	51	40	11	--	--
HEATING EQUIPMENT											
Steam or hot water -----	1 515	1 293	768	470	35	20	222	75	147	--	--
Warm-air furnace -----	7 821	7 339	3 052	3 820	413	54	482	230	223	11	18
Built-in electric units -----	135	135	50	62	13	10	--	--	--	--	--
Floor, wall, or pipeless furnace -----	176	170	76	88	6	--	6	6	--	--	--
Other means -----	906	782	288	398	66	30	124	72	31	18	3
None -----	--	--	--	--	--	--	--	--	--	--	--

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table A-5. Rooms in Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA

	Total	1 room	2 rooms	3 rooms	4 rooms	5 rooms	6 rooms	7 rooms	8 rooms or more	Median
Owner occupied housing units	29 063	70	125	721	5 347	10 495	4 496	3 205	2 426	5.3
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	28 323	41	61	625	5 185	10 491	6 398	3 187	2 335	5.3
PERSONS	3 469	38	57	342	1 027	1 060	534	249	162	4.8
1 person	8 824	10	57	289	2 355	3 357	1 543	765	448	5.0
2 persons	4 634	10	..	51	954	1 680	1 128	502	309	5.3
3 persons	4 919	..	..	30	608	1 982	1 282	612	405	5.4
4 persons	3 390	6	6	5	227	1 458	893	401	394	5.5
5 persons	3 849	6	5	4	176	1 158	1 116	676	708	6.0
6 persons or more	3 0	..	1.6	1.6	2.2	3.1	3.5	3.6	4.2	...
Median .....	..	..	..	..	..	..	..	..	..	..
PLUMBING FACILITIES BY PERSONS PER ROOM	28 590	59	100	628	5 197	10 594	4 418	3 178	2 414	5.3
With all plumbing facilities	14 102	48	48	283	3 267	4 365	3 159	1 489	1 491	5.3
0.50 or less	12 172	27	41	311	1 547	5 084	2 741	1 573	848	5.3
0.51 to 1.00	2 046	..	..	30	320	1 032	484	107	73	5.2
1.01 to 1.50	270	32	11	4	63	113	34	9	4	4.7
1.51 or more	485	11	25	93	150	101	78	27	10	4.3
Lacking some or all plumbing facilities	318	..	9	59	115	52	46	27	10	4.4
0.50 or less	139	11	16	29	15	36	32	..	..	4.4
0.51 to 1.00	18	..	..	9	9	..	..	..	..	...
1.01 to 1.50	20	..	..	5	11	4	..	..	..	...
1.51 or more .....	..	..	..	..	..	..	..	..	..	...
BEDROOMS	1 465	80	191	572	437	147	21	..	17	3.3
None and 1	9 574	..	..	124	4 597	3 860	819	174	..	4.5
2	13 732	..	..	..	160	6 490	4 708	1 576	598	5.5
3 .....	..	..	..	..	..	115	909	1 348	1 942	7.3
4 or more .....	..	..	..	..	..	..	..	..	..	..
YEAR STRUCTURE BUILT	741	..	5	15	151	286	158	60	66	5.2
1949 to March 1970	5 530	22	50	66	991	2 456	1 085	490	370	5.2
1960 to 1968	8 083	15	14	125	1 691	3 831	1 509	598	300	5.1
1950 to 1959	14 731	33	56	515	2 514	4 122	3 744	2 057	1 690	5.5
1949 or earlier .....	..	..	..	..	..	..	..	..	..	..
COMPLETE BATHROOMS	25 332	42	61	612	5 112	9 895	5 650	2 549	1 411	5.2
1 and 1/2	3 004	6	..	13	79	596	748	638	924	6.6
2 or more	749	14	46	115	229	182	110	27	26	4.4
None or also used by another household .....	..	..	..	..	..	..	..	..	..	..
VALUE-INCOME RATIO	25 300	37	47	444	4 279	9 842	5 898	2 810	1 941	5.3
Specified owner occupied ¹	9 765	27	16	209	1 917	3 445	2 322	1 103	726	5.3
Less than 1.5	5 379	..	6	41	688	2 344	1 316	618	386	5.3
1.5 to 1.9	5 292	5	15	89	694	2 241	1 267	550	423	5.3
2.0 to 2.9	4 726	5	5	103	989	1 754	967	516	387	5.2
3.0 or more	138	..	3	4	11	58	26	15	19	5.3
Not computed .....	..	..	..	..	..	..	..	..	..	..
Renter occupied housing units	10 553	534	735	2 540	2 846	1 954	1 014	491	439	4.0
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	9 420	165	525	2 178	2 790	1 905	912	498	447	4.2
PERSONS	2 911	503	543	1 057	543	195	35	25	10	2.9
1 person	3 015	31	159	1 080	959	519	186	44	37	3.7
2 persons	1 873	..	25	315	674	532	191	69	67	4.4
3 persons	1 281	..	5	55	444	336	239	93	109	4.9
4 persons	727	..	..	22	158	215	163	65	104	5.4
5 persons	746	..	3	11	68	157	200	195	112	6.2
6 persons or more	2.3	1.0	1.2	1.7	2.4	3.0	3.9	4.7	4.5	...
Median .....	..	..	..	..	..	..	..	..	..	..
PLUMBING FACILITIES BY PERSONS PER ROOM	9 719	264	552	2 254	2 804	1 937	988	491	429	4.1
With all plumbing facilities	4 234	386	386	891	1 467	704	402	138	246	4.1
0.50 or less	4 838	243	140	1 287	1 111	1 083	505	292	177	4.2
0.51 to 1.00	533	..	21	48	212	126	64	56	6	4.4
1.01 to 1.50	114	21	5	28	14	24	17	3	..	3.7
1.51 or more	834	270	183	288	42	17	26	..	10	3.9
Lacking some or all plumbing facilities	383	..	157	166	35	..	7	..	5	2.7
0.50 or less	401	260	19	108	7	..	9	..	..	1.3
0.51 to 1.00	29	10	4	..	..	..	..	..	..	...
1.01 to 1.50	21	..	3	5	..	3	..	..	..	...
1.51 or more .....	..	..	..	..	..	..	..	..	..	...
BEDROOMS	822	578	169	75	..	..	..	..	..	1.2
None	3 497	..	576	2 209	633	79	..	..	..	3.0
1	3 923	..	..	305	2 069	1 298	226	25	345	4.3
2	2 311	..	..	..	45	506	933	482	..	6.1
3 or more .....	..	..	..	..	..	..	..	..	..	..
YEAR STRUCTURE BUILT	207	6	..	26	114	39	10	6	6	4.1
1949 to March 1970	1 685	47	63	571	626	276	55	30	17	3.8
1960 to 1968	950	..	31	139	388	282	66	16	28	4.3
1950 to 1959	7 711	481	641	1 804	1 718	1 357	883	439	388	4.0
1949 or earlier .....	..	..	..	..	..	..	..	..	..	..
COMPLETE BATHROOMS	9 342	228	540	2 232	2 777	1 858	892	440	375	4.1
1 and 1/2	233	..	..	8	13	47	20	..	80	6.9
2 or more	978	266	191	327	78	41	44	..	11	2.5
None or also used by another household .....	..	..	..	..	..	..	..	..	..	..
GROSS RENT AS PERCENTAGE OF INCOME	9 871	534	735	2 530	2 793	1 856	869	358	196	3.9
Specified renter occupied ²	496	80	61	149	229	95	41	14	27	3.8
Less than 10 percent	1 776	83	98	489	481	345	152	106	22	4.0
10 to 14 percent	1 565	44	113	363	454	305	210	49	27	4.1
15 to 19 percent	1 250	41	84	249	357	319	123	66	11	4.2
20 to 24 percent	1 402	84	79	329	478	289	105	23	15	3.9
25 to 34 percent	2 624	191	264	851	697	372	164	57	28	3.5
35 percent or more	558	11	36	100	97	131	74	43	66	4.8
Not computed .....	..	..	..	..	..	..	..	..	..	..

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table A-6. Units in Structure for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Owner occupied				Renter occupied							
	Total	1 unit	2 units or more	Mobile home or trailer	Total	1 unit	2 units	3 and 4 units	5 to 9 units	10 to 19 units	20 units or more	Mobile home or trailer
All occupied housing units	29 085	27 115	1 070	900	10 533	4 289	1 861	1 487	967	610	1 089	250
ROOMS												
1 room	70	37	33	--	534	11	33	17	130	93	250	--
2 rooms	125	47	51	27	735	32	34	185	214	43	227	--
3 rooms	721	471	158	92	2 540	372	555	603	396	170	294	150
4 rooms	5 347	4 412	344	591	2 846	976	763	442	165	176	249	75
5 rooms	10 695	10 236	285	174	1 954	1 205	325	197	31	113	58	25
6 rooms	6 496	6 355	125	16	1 014	811	123	33	21	15	11	--
7 rooms	3 205	3 172	33	--	491	443	28	10	10	--	--	--
8 rooms or more	2 426	2 385	41	--	439	439	--	--	--	--	--	--
Median	5.3	5.3	4.4	4.1	4.0	5.1	3.9	3.4	2.9	3.5	2.7	3.3
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	28 590	26 728	967	895	9 719	4 130	1 792	1 303	726	507	1 011	250
0.50 or less	14 102	12 967	682	453	4 234	1 521	793	703	371	220	546	80
0.51 to 1.00	12 172	11 500	258	414	4 838	2 245	881	551	319	254	444	144
1.01 to 1.50	2 046	1 994	27	25	533	298	96	43	21	33	16	26
1.51 or more	270	267	--	3	114	66	22	6	15	--	5	--
Lacking some or all plumbing facilities	495	387	103	5	834	159	69	184	241	103	78	--
0.50 or less	318	242	71	5	383	100	38	103	109	27	6	--
0.51 to 1.00	139	107	32	--	401	35	19	77	127	76	67	--
1.01 to 1.50	18	18	--	--	29	18	7	4	--	--	--	--
1.51 or more	20	20	--	--	21	6	5	--	5	--	5	--
BEDROOMS												
None	110	20	90	--	822	20	111	59	104	98	430	--
1	1 355	979	315	61	3 497	671	624	808	552	314	503	25
2	9 574	8 468	340	766	3 923	1 607	1 017	544	91	258	160	246
3	13 732	13 592	114	26	1 598	1 369	159	25	--	45	--	--
4 or more	4 314	4 248	66	--	713	653	41	19	--	--	--	--
YEAR STRUCTURE BUILT												
1969 to March 1970	741	538	6	197	207	44	29	20	16	84	--	14
1965 to 1968	2 331	1 881	131	319	1 126	109	116	53	162	175	426	85
1960 to 1964	3 199	2 879	55	265	559	202	102	94	16	20	16	109
1950 to 1959	8 083	7 895	83	105	950	548	191	60	19	52	44	36
1940 to 1949	3 648	3 622	26	--	1 011	703	207	65	20	--	10	6
1939 or earlier	11 083	10 300	769	14	6 700	2 683	1 216	1 195	734	279	593	--
INCOME IN 1969												
Less than \$2,000	2 272	1 943	232	97	1 792	435	266	301	217	150	401	22
\$2,000 to \$2,999	1 404	1 235	128	41	947	267	173	153	156	50	101	47
\$3,000 to \$3,999	1 290	1 158	89	43	950	276	214	167	126	73	69	25
\$4,000 to \$4,999	1 225	1 098	82	45	802	295	168	102	68	49	66	54
\$5,000 to \$5,999	1 020	858	82	80	712	289	135	123	58	26	65	16
\$6,000 to \$6,999	1 412	1 277	50	85	816	368	161	84	55	31	85	34
\$7,000 to \$9,999	6 047	5 673	186	188	2 242	1 077	410	326	145	115	135	34
\$10,000 to \$14,999	9 015	8 633	130	252	1 704	955	251	200	103	64	118	13
\$15,000 to \$24,999	4 274	4 142	81	51	470	257	67	31	20	47	43	5
\$25,000 or more	1 126	1 098	10	18	116	70	16	--	19	5	6	--
Median	\$9 900	\$10 200	\$5 000	\$7 900	\$6 100	\$7 600	\$5 800	\$5 200	\$3 900	\$4 700	\$3 600	\$4 600
YEAR MOVED INTO UNIT												
1969 to March 1970	2 899	2 440	112	347	5 227	1 855	992	720	565	345	555	195
1968	2 209	1 970	78	161	1 489	622	314	259	97	52	107	38
1967	2 104	1 928	77	99	1 641	315	117	54	63	40	40	12
1965 and 1966	3 250	3 009	144	97	693	404	146	127	79	36	101	--
1960 to 1964	5 452	5 136	164	152	997	436	128	176	104	46	107	--
1950 to 1959	7 876	7 613	230	33	739	338	93	99	90	52	67	--
1949 or earlier	5 295	4 988	294	13	567	322	37	73	37	16	82	--
GROSS RENT												
Specified renter occupied¹	9 871	3 607	1 861	1 487	967	610	1 089	250				
Less than \$50	592	48	125	53	420	82	80	74	85	16	68	15
\$50 to \$59	730	65	128	193	730	65	128	193	109	30	111	94
\$60 to \$69	600	111	138	146	600	111	138	146	90	34	51	30
\$70 to \$79	1 993	629	442	473	1 993	629	442	473	188	123	101	37
\$80 to \$99	1 725	867	373	230	1 725	867	373	230	101	68	61	25
\$100 to \$119	1 794	817	296	244	1 794	817	296	244	146	51	201	39
\$120 to \$149	1 427	637	230	46	1 427	637	230	46	64	173	277	--
\$150 to \$199	177	67	27	11	177	67	27	11	16	31	25	--
\$200 to \$299	8	3	--	--	8	3	--	--	--	--	5	--
\$300 or more	405	281	22	17	405	281	22	17	25	29	21	10
No cash rent	--	--	--	--	--	--	--	--	--	--	--	--
Median	\$105	\$117	\$100	\$91	\$83	\$110	\$111	\$74				
HEATING EQUIPMENT												
Steam or hot water	820	709	111	--	1 515	102	102	231	318	214	548	--
Warm-air furnace	26 051	24 373	886	792	7 821	3 501	1 553	1 164	602	345	447	209
Built-in electric units	143	139	--	4	135	19	9	6	10	23	68	--
Floor, wall, or pipeless furnace	338	255	16	67	176	97	--	--	--	17	26	36
Other means	1 728	1 634	57	37	906	570	197	86	37	11	--	5
None	5	5	--	--	--	--	--	--	--	--	--	--
AIR CONDITIONING												
Room unit(s)	7 614	7 018	267	329	1 996	678	364	261	217	77	372	27
Central system	4 484	4 291	135	58	933	172	117	21	149	237	237	--
None	16 987	15 775	697	515	7 624	3 442	1 346	1 226	669	273	450	218
AUTOMOBILES AVAILABLE												
1	13 217	12 079	637	501	5 822	2 414	1 130	833	531	279	449	186
2	11 390	10 860	201	329	2 268	1 202	349	231	150	140	141	55
3 or more	2 345	2 269	40	36	427	234	51	5	24	45	64	4
None	2 133	1 876	221	36	2 036	442	297	439	330	123	405	--

¹Excludes one-family homes on 10 acres or more.

Table A-7. Household Composition for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Two-or-more-person households										One-person households	
	Total	Male head, wife present, no nonrelatives					Other male head		Female head		Under 65 years	65 years and over
		Under 25 years	25 to 34 years	35 to 44 years	45 to 64 years	65 years and over	Under 65 years	65 years and over	Under 65 years	65 years and over		
Owner occupied housing units	29 043	799	4 479	5 034	9 491	3 106	625	220	1 355	507	1 418	2 051
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	28 590	785	4 459	5 004	9 361	3 016	621	211	1 312	493	1 364	1 954
0.50 or less	14 102	296	655	541	5 234	2 549	257	172	663	444	1 352	1 939
0.51 to 1.00	12 172	495	3 282	3 085	3 580	447	331	39	537	49	12	15
1.01 to 1.50	2 046	4	493	945	484	5	26	--	89	--	--	--
1.51 or more	270	--	29	133	63	15	7	--	23	--	--	--
Lacking some or all plumbing facilities	493	4	20	30	130	90	4	9	43	14	54	97
0.50 or less	318	--	5	5	64	60	4	9	17	14	43	97
0.51 to 1.00	139	--	9	16	61	20	--	--	22	--	11	--
1.01 to 1.50	18	4	--	--	5	5	--	--	4	--	--	--
1.51 or more	20	--	6	9	--	5	--	--	--	--	--	--
UNITS IN STRUCTURE												
1	27 115	569	4 212	4 914	9 117	2 830	582	205	1 265	477	1 179	1 765
2 or more	1 070	--	75	66	238	212	10	11	48	25	137	248
Mobile home or trailer	900	230	192	54	136	64	33	4	42	5	102	38
INCOME IN 1969												
Less than \$2,000	2 272	19	46	47	137	318	34	60	157	110	234	1 110
\$2,000 to \$2,999	1 404	18	19	21	125	531	24	24	114	85	100	343
\$3,000 to \$3,999	1 290	25	39	51	161	443	15	26	126	59	122	223
\$4,000 to \$4,999	1 225	35	48	26	191	445	37	15	159	20	133	116
\$5,000 to \$5,999	1 020	89	89	73	229	158	11	10	123	39	125	74
\$6,000 to \$6,999	1 412	84	218	146	401	214	34	14	123	21	142	36
\$7,000 to \$9,999	6 047	263	1 363	1 093	1 964	391	174	21	268	80	376	52
\$10,000 to \$14,999	9 015	209	2 191	2 266	3 404	304	166	30	210	50	142	43
\$15,000 to \$24,999	4 274	48	430	1 097	2 193	222	91	15	63	42	29	44
\$25,000 or more	1 126	9	36	214	686	80	39	5	12	22	13	10
Median	\$9 900	\$8 500	\$11 000	\$12 300	\$12 300	\$4 600	\$9 700	\$4 000	\$6 000	\$4 000	\$6 000	\$20 000
VALUE-INCOME RATIO												
Specified owner occupied ¹	25 300	560	4 096	4 658	8 320	2 530	525	191	1 209	462	1 091	1 658
Less than 1.5	9 765	200	1 282	2 219	4 452	1 530	224	39	304	126	314	75
1.5 to 1.9	5 379	136	1 294	1 223	1 882	288	68	30	200	41	166	51
2.0 to 2.4	3 422	111	878	680	928	321	66	10	157	38	127	106
2.5 to 2.9	1 870	53	366	268	468	332	62	10	119	20	76	96
3.0 to 3.9	1 528	33	179	133	274	379	50	26	121	38	136	159
4.0 or more	3 198	27	97	118	312	675	55	71	270	199	225	1 149
Not computed	138	--	--	17	4	5	--	5	38	17	47	22
Renter occupied housing units	10 553	1 642	1 838	734	971	482	547	22	1 291	115	1 707	1 204
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	9 719	1 594	1 817	719	926	472	513	22	1 233	115	1 346	962
0.50 or less	4 234	366	426	108	435	302	157	12	282	81	1 248	817
0.51 to 1.00	4 838	1 174	1 243	457	409	165	281	10	822	34	98	145
1.01 to 1.50	533	43	139	131	63	--	59	--	98	--	--	--
1.51 or more	114	11	9	23	19	5	16	--	31	--	--	--
Lacking some or all plumbing facilities	834	48	21	15	45	10	34	--	58	--	361	242
0.50 or less	383	10	--	5	15	--	--	--	10	--	198	145
0.51 to 1.00	401	33	6	7	24	6	24	--	41	--	163	97
1.01 to 1.50	29	--	12	--	6	4	--	--	7	--	--	--
1.51 or more	21	5	3	3	--	10	--	--	--	--	--	--
UNITS IN STRUCTURE												
1	4 289	598	1 092	550	624	216	169	17	545	43	256	179
2 to 4	3 348	693	525	127	172	144	157	--	459	51	591	429
5 to 19	1 577	184	150	31	101	57	104	5	197	15	488	245
20 or more	1 089	60	38	10	74	56	87	--	64	6	349	345
Mobile home or trailer	250	107	33	16	--	9	30	--	26	--	23	6
GROSS RENT												
Specified renter occupied ²	9 871	1 395	1 570	606	818	468	526	22	1 255	111	1 696	1 204
Less than \$50	592	79	25	6	19	--	15	--	--	--	249	199
\$50 to \$59	420	72	14	4	14	10	4	--	21	--	146	135
\$60 to \$69	730	113	60	14	24	21	33	--	54	5	270	136
\$70 to \$79	600	71	28	8	36	27	15	5	86	7	187	130
\$80 to \$99	1 993	381	228	95	126	142	116	--	328	25	314	238
\$100 to \$119	1 725	324	339	110	155	88	70	5	292	23	211	108
\$120 to \$149	1 794	380	375	139	180	65	94	6	235	29	142	149
\$150 to \$199	1 427	137	417	160	161	42	148	6	190	18	120	28
\$200 to \$299	177	11	37	34	18	32	7	--	20	--	11	5
\$300 or more	8	--	--	--	--	5	--	--	3	--	--	--
No cash rent	405	27	45	36	85	36	24	--	26	4	46	76
GROSS RENT AS PERCENTAGE OF INCOME BY INCOME												
Specified renter occupied ²	9 871	1 395	1 570	606	818	468	526	22	1 255	111	1 696	1 204
Less than \$5,000	4 365	556	157	74	96	273	273	16	843	63	932	1 082
Less than 20 percent	362	77	11	12	5	14	--	--	18	--	169	56
20 to 24 percent	317	86	9	15	7	5	11	--	23	--	127	34
25 to 34 percent	801	117	44	18	33	75	36	5	163	12	128	170
35 percent or more	2 550	267	93	20	27	153	207	11	564	47	409	752
Not computed	335	9	--	9	24	26	19	--	75	4	99	70
\$5,000 to \$9,999	3 505	796	815	238	342	130	170	6	319	37	565	87
Less than 20 percent	1 891	490	356	116	129	44	114	--	139	14	435	54
20 to 24 percent	811	157	286	53	82	71	24	--	53	5	68	12
25 to 34 percent	585	116	149	42	69	5	27	6	95	12	14	5
35 percent or more	74	11	5	5	5	5	5	--	18	6	--	--
Not computed	144	22	19	22	57	5	5	--	14	--	--	--
\$10,000 to \$14,999	1 531	207	513	202	270	54	49	--	54	6	146	30
Less than 20 percent	1 345	202	437	167	259	31	37	--	48	6	134	24
20 to 24 percent	122	5	45	25	11	12	12	--	6	--	6	--
25 percent or more	16	--	5	--	--	11	--	--	--	--	6	6
Not computed	48	--	26	10	--	--	--	--	39	5	53	5
\$15,000 or more	470	36	85	92	110	11	34	--	39	5	53	5
Less than 20 percent	439	36	85	88	93	6	29	--	39	5	--	--
20 to 24 percent	--	--	--	--	--	--	--	--	--	--	--	--
25 percent or more	--	--	--	--	--	--	--	--	--	--	--	--
Not computed	31	--	--	4	17	5	5	--	--	--	--	--

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table A-8. Persons in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

The SMSA	Total	1 person	2 persons	3 persons	4 persons	5 persons	6 persons	7 persons	8 persons or more	Median
Owner occupied housing units	29 085	3 469	8 824	4 634	4 919	3 390	2 012	1 155	682	3.0
BEDROOMS										
None and 1	1 465	800	461	97	89	--	--	--	18	1.4
2	9 574	1 739	4 447	1 562	1 040	489	159	52	86	2.2
3	13 732	741	3 023	2 529	3 339	2 247	1 100	525	228	3.7
4 or more	4 314	338	811	403	474	726	629	527	406	4.7
YEAR STRUCTURE BUILT										
1969 to March 1970	741	27	175	183	183	113	17	29	14	3.4
1965 to 1968	2 331	97	455	392	677	384	145	149	32	3.8
1960 to 1964	3 199	185	840	467	642	584	256	169	56	3.7
1950 to 1959	8 083	595	2 357	1 557	1 616	898	604	285	169	3.2
1940 to 1949	3 648	492	1 284	514	535	397	227	116	83	2.6
1939 or earlier	11 083	2 073	3 713	1 521	1 266	1 014	761	407	328	2.4
UNITS IN STRUCTURE										
1	27 115	2 944	8 021	4 305	4 773	3 291	1 947	1 155	679	3.1
2 or more	1 070	385	421	109	43	57	55	--	--	1.9
Mobile home or trailer	900	140	382	220	103	42	10	--	3	2.3
COMPLETE BATHROOMS										
1 and 1 1/2	25 332	3 024	7 949	4 121	4 205	2 935	1 685	911	502	2.9
2 and 2 1/2	2 772	167	538	420	612	368	301	219	147	3.9
3 or more	232	14	42	28	33	52	35	14	14	4.5
None or also used by another household	749	217	306	83	55	39	25	7	17	2.0
HOUSEHOLD COMPOSITION										
Two- or more-person households	25 616	...	8 824	4 634	4 919	3 390	2 012	1 155	682	3.4
Male head, wife present, no nonrelatives	22 909	...	7 505	4 085	4 531	3 181	1 907	1 079	621	3.5
Under 25 years	799	...	242	341	163	32	13	8	--	3.0
25 to 34 years	4 479	...	355	799	1 558	1 075	490	206	56	4.2
35 to 44 years	5 034	...	261	544	1 204	1 171	913	585	356	4.9
45 to 64 years	9 491	...	4 042	2 086	1 495	843	541	275	209	2.8
65 years and over	3 106	...	2 605	315	111	60	10	5	--	2.1
Other male head	845	...	384	213	109	65	25	38	11	2.7
Under 65 years	625	...	224	174	99	54	25	38	11	3.0
65 years and over	220	...	160	39	10	--	--	--	--	2.2
Female head	1 862	...	935	336	279	144	80	38	50	2.5
Under 65 years	1 355	...	557	258	248	133	71	38	50	3.0
65 years and over	507	...	378	78	31	11	9	--	--	2.2
One-person households	3 469	3 469	...	...	...	...	...	...	...	1.0
VALUE-INCOME RATIO										
Specified owner occupied¹	25 300	2 749	7 404	4 007	4 505	3 132	1 804	1 099	600	3.1
Less than 1.5	9 765	389	2 560	1 855	1 843	1 321	858	557	382	3.5
1.5 to 1.9	5 379	217	1 364	883	1 239	847	467	265	97	3.7
2.0 to 2.4	3 422	233	963	531	717	553	258	126	41	3.5
2.5 to 2.9	1 870	172	645	353	283	198	118	79	22	2.8
3.0 to 3.9	1 528	295	618	186	204	99	41	48	37	2.3
4.0 or more	3 198	1 374	1 234	199	204	90	57	24	16	1.7
Not computed	138	69	20	--	15	24	5	--	5	1.5
Renter occupied housing units	10 553	2 911	3 015	1 873	1 281	727	376	195	175	2.3
BEDROOMS										
None	822	698	124	--	--	--	--	--	--	1.1
1	3 497	1 556	1 529	287	42	26	57	--	--	1.6
2	3 923	500	1 216	1 229	791	147	22	--	18	2.7
3 or more	2 311	20	224	393	413	471	402	259	129	4.7
YEAR STRUCTURE BUILT										
1969 to March 1970	207	11	63	73	20	16	20	4	--	2.9
1965 to 1968	1 126	241	463	213	121	81	7	--	--	2.2
1960 to 1964	559	82	241	74	95	54	3	10	--	2.3
1950 to 1959	950	114	272	302	134	81	44	--	3	2.8
1940 to 1949	1 011	151	312	217	201	59	31	21	19	2.7
1939 or earlier	6 700	2 312	1 664	994	710	436	271	160	153	2.1
UNITS IN STRUCTURE										
1	4 289	435	967	891	838	511	315	174	158	3.3
2	1 861	376	732	401	184	123	21	13	11	2.3
3 and 4	1 487	644	399	235	151	29	19	4	6	1.7
5 to 9	967	487	357	101	10	12	--	--	--	1.5
10 to 19	610	246	174	112	35	27	12	4	--	1.8
20 or more	1 089	694	255	79	41	20	--	--	--	1.3
Mobile home or trailer	250	29	131	54	22	5	9	--	--	2.2
COMPLETE BATHROOMS										
1 and 1 1/2	9 342	2 270	2 805	1 746	1 199	669	316	170	167	2.4
2 or more	233	13	44	59	52	39	19	--	7	3.5
None or also used by another household	978	660	170	66	39	6	12	10	15	1.2
HOUSEHOLD COMPOSITION										
Two- or more-person households	7 642	...	3 015	1 873	1 281	727	376	195	175	2.9
Male head, wife present, no nonrelatives	5 667	...	2 162	1 406	969	553	294	131	152	3.0
Under 25 years	1 642	...	820	569	207	40	6	--	--	2.5
25 to 34 years	1 838	...	416	497	458	252	159	33	23	3.5
35 to 44 years	734	...	80	97	154	152	96	73	82	4.7
45 to 64 years	971	...	445	181	136	104	33	25	47	2.7
65 years and over	482	...	401	62	14	5	--	--	--	2.1
Other male head	569	...	301	100	79	54	23	6	6	2.4
Under 65 years	547	...	279	100	79	54	23	6	6	2.5
65 years and over	22	...	22	--	--	--	--	--	--	2.5
Female head	1 406	...	552	367	233	120	59	58	17	2.9
Under 65 years	1 291	...	458	356	223	120	59	58	17	3.0
65 years and over	115	...	94	11	10	--	--	--	--	2.1
One-person households	2 911	2 911	...	...	...	...	...	...	...	1.0
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied²	9 871	2 900	2 933	1 727	1 139	614	275	153	130	2.2
Less than 10 percent	696	196	217	132	64	52	15	14	6	2.2
10 to 14 percent	1 776	416	584	320	211	146	32	45	22	2.3
15 to 19 percent	1 565	318	455	284	255	139	57	19	38	2.5
20 to 24 percent	1 250	247	400	284	157	74	51	11	26	2.4
25 to 34 percent	1 402	362	453	320	147	50	45	19	6	2.2
35 percent or more	2 624	1 180	699	307	238	102	42	39	17	1.7
Not computed	558	181	125	80	67	51	33	6	15	2.3

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table A-9. Duration of Vacancy for Year-Round Vacant for Sale and Vacant for Rent Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

The SMSA	The SMSA				The SMSA	The SMSA			
	Total	Less than 2 months	2 up to 6 months	6 months or more		Total	Less than 2 months	2 up to 6 months	6 months or more
Vacant for sale	262	94	100	68	Vacant for rent	735	524	176	35
ROOMS					ROOMS				
1 to 3 rooms	18	5	--	13	1 room	53	29	24	--
4 rooms	56	12	25	19	2 rooms	74	57	12	5
5 rooms	84	36	34	14	3 rooms	241	165	48	28
6 rooms	56	17	35	4	4 rooms	229	168	56	5
7 rooms or more	48	24	6	18	5 rooms	69	48	12	9
					6 rooms	23	16	3	4
					7 rooms or more	66	41	21	4
PLUMBING FACILITIES					PLUMBING FACILITIES				
With all plumbing facilities	242	86	96	60	With all plumbing facilities	630	433	147	50
Lacking some or all plumbing facilities	20	8	4	8	Lacking some or all plumbing facilities	125	91	29	5
BEDROOMS					BEDROOMS				
None and 1	35	18	--	17	None	75	35	40	--
2	121	--	87	34	1	169	152	17	--
3	141	52	89	--	2	229	155	74	--
4 or more	52	18	17	17	3 or more	118	80	--	38
YEAR STRUCTURE BUILT					YEAR STRUCTURE BUILT				
1969 to March 1970	39	21	13	5	1969 to March 1970	85	58	27	--
1960 to 1968	36	8	14	14	1960 to 1968	95	85	10	--
1950 to 1959	43	14	13	16	1950 to 1959	52	30	14	8
1949 or earlier	144	51	60	33	1949 or earlier	523	351	125	47
UNITS IN STRUCTURE					UNITS IN STRUCTURE				
1	249	94	95	60	1	282	157	91	34
2 or more	13	--	5	8	2 to 4	219	178	34	7
					5 to 9	91	48	39	4
					10 to 19	74	65	4	5
					20 or more	89	76	8	5
HEATING EQUIPMENT					RENT ASKED				
Steam or hot water	--	--	--	--	Specified vacant for rent ²	707	498	158	51
Warm-air furnace	241	85	92	64	Less than \$50	71	34	32	5
Built-in electric units	--	--	--	--	\$50 to \$59	89	54	14	21
Floor, wall, or pipeless furnace	--	--	--	--	\$60 to \$79	196	135	56	5
Other means	17	5	8	4	\$80 to \$99	122	88	18	16
None	4	4	--	--	\$100 to \$119	101	72	29	--
					\$120 to \$149	57	44	9	4
					\$150 to \$199	67	67	--	--
					\$200 or more	4	4	--	--
SALES PRICE ASKED					Median rent asked	\$80	\$86	\$72	...
Specified vacant for sale ¹	234	90	95	49					
Less than \$5,000	16	4	4	8					
\$5,000 to \$9,999	49	28	21	--					
\$10,000 to \$14,999	70	4	20	32					
\$15,000 to \$19,999	32	8	28	--					
\$20,000 to \$24,999	19	14	5	--					
\$25,000 to \$34,999	39	17	17	5					
\$35,000 to \$49,999	5	5	--	--					
\$50,000 or more	4	--	--	4					
Median price asked	\$13 700	...	...	...		

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table A-10. Sales Price Asked and Rent Asked for Year-Round Vacant Housing Units: 1970

(Data based on sample, see text. For meaning of symbols, see text)

The SMSA	Sales price asked--Vacant for sale ¹							Rent asked--Vacant for rent ²						
	Total	Less than \$10,000	\$10,000 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 or more	Total	Less than \$60	\$60 to \$79	\$80 to \$99	\$100 to \$149	\$150 to \$199	\$200 or more
Total	234	65	70	32	19	39	9	707	160	196	122	158	67	4
PLUMBING FACILITIES														
With all plumbing facilities	296	106	69	35	35	34	17	515	37	146	134	127	71	--
Lacking some or all plumbing facilities	17	17	--	--	--	--	--	76	37	39	--	--	--	--
BEDROOMS														
None and 1	18	18	--	--	--	--	--	244	37	93	77	20	17	--
2	121	70	51	--	--	--	--	229	17	72	17	89	34	--
3	122	17	18	35	35	17	--	80	20	--	40	--	20	--
4 or more	52	18	--	--	--	17	17	38	--	20	--	18	--	--
YEAR STRUCTURE BUILT														
1969 to March 1970	39	--	--	4	4	31	--	78	20	--	--	22	32	4
1960 to 1968	25	4	4	5	4	4	4	80	--	--	5	51	24	--
1950 to 1959	43	4	25	5	--	4	5	52	14	18	9	11	--	--
1949 or earlier	127	57	41	18	11	--	--	497	126	178	108	74	11	--
UNITS IN STRUCTURE														
1 .....	...	...	...	...	...	...	...	234	41	94	37	52	10	--
2 to 4 .....	...	...	...	...	...	...	...	219	50	51	45	57	16	--
5 to 19 .....	...	...	...	...	...	...	...	165	56	18	26	39	22	4
20 or more .....	...	...	...	...	...	...	...	89	13	33	14	10	19	--
INCLUSION OF UTILITIES IN RENT														
All utilities included .....	...	...	...	...	...	...	...	213	72	74	31	32	4	--
Some or no utilities included .....	...	...	...	...	...	...	...	494	88	122	91	126	63	4

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table B-1. Value of Owner Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterloo	Total	Less than \$5,000	\$5,000 to \$7,499	\$7,500 to \$9,999	\$10,000 to \$12,499	\$12,500 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 to \$49,999	\$50,000 or more	Median (dollars)
Specified owner occupied¹	16 152	353	930	1 661	2 425	2 123	4 445	1 997	1 455	583	180	13 600
ROOMS												
1 and 2 rooms	58	10	6	16	5	11	10	-	-	-	-	...
3 rooms	313	75	78	82	43	24	5	-	-	-	-	...
4 rooms	2 738	127	250	452	707	804	2 569	980	363	82	13	7 600
5 rooms	6 470	68	310	498	793	673	448	53	18	10	29	11 900
6 rooms	3 747	51	172	392	544	398	907	562	546	146	29	16 600
7 rooms	1 782	11	92	153	240	152	343	306	307	148	30	18 300
8 rooms or more	1 044	11	22	68	103	61	163	90	221	197	108	25 200
Median	5.3	4.2	4.9	5.1	5.1	4.9	5.2	5.5	6.1	6.9	7.5+	...
PERSONS												
1 person	1 930	148	316	323	371	230	306	96	85	47	8	11 200
2 persons	4 971	98	323	552	953	728	1 190	503	369	171	84	14 400
3 persons	2 529	23	104	215	379	388	685	351	283	79	22	16 100
4 persons	2 726	37	57	237	237	312	977	392	323	124	30	17 100
5 persons	1 872	11	55	108	166	212	698	329	205	72	16	17 300
6 persons or more	2 124	36	75	226	319	253	589	326	190	90	20	16 100
Median	3.0	1.8	2.0	2.4	2.4	2.8	3.5	3.6	3.5	3.4	2.5	...
Units with roomers, boarders, or lodgers	417	32	24	74	109	43	66	33	31	-	5	11 800
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	15 928	251	871	1 641	2 403	2 118	4 434	1 992	1 455	583	180	15 700
0.50 or less	7 890	165	598	911	1 433	1 031	1 733	761	757	351	150	14 500
0.51 to 1.00	6 733	61	192	554	749	903	2 315	1 054	663	212	30	16 700
1.01 to 1.50	1 148	20	56	150	192	160	351	164	35	20	-	14 900
1.51 or more	157	5	25	26	29	24	35	13	-	-	-	11 900
Lacking some or all plumbing facilities	224	102	59	20	22	5	11	5	-	-	-	5 400
0.50 or less	164	72	49	10	12	5	11	5	-	-	-	5 500
0.51 to 1.00	60	30	10	10	10	-	-	-	-	-	-	...
1.01 to 1.50	-	-	-	-	-	-	-	-	-	-	-	...
1.51 or more	-	-	-	-	-	-	-	-	-	-	-	...
BEDROOMS												
None and 1	640	109	89	182	153	61	46	-	-	-	-	9 200
2	5 567	138	396	1 090	1 214	905	1 312	375	81	56	-	12 400
3	8 097	43	270	564	651	759	2 660	1 448	269	395	38	18 300
4 or more	1 987	19	158	131	342	169	450	140	382	134	62	16 600
YEAR STRUCTURE BUILT												
1969 to March 1970	292	-	-	-	-	5	129	52	68	33	5	21 200
1965 to 1968	1 151	-	-	5	5	45	267	345	371	71	42	23 700
1960 to 1964	1 521	5	-	14	65	120	603	367	251	69	27	19 600
1950 to 1959	4 380	13	75	175	318	676	1 665	712	483	209	54	17 600
1940 to 1949	2 407	59	135	168	572	395	661	237	89	76	15	14 200
1939 or earlier	6 401	276	720	1 299	1 465	882	1 120	284	193	125	37	11 500
COMPLETE BATHROOMS												
1 and 1 1/2	14 378	234	867	1 513	2 376	2 128	4 223	1 780	948	288	21	15 100
2 and 2 1/2	1 287	6	14	38	25	42	162	216	409	251	124	28 400
3 or more	141	-	6	-	-	6	20	17	26	60	43	900
None or also used by another household	356	130	62	25	48	14	50	19	-	8	-	6 900
HOUSEHOLD COMPOSITION												
Two-or-more-person households	14 222	205	614	1 338	2 054	1 893	4 139	1 901	1 370	536	172	16 100
Male head, wife present, no nonrelatives	12 514	143	491	1 087	1 678	1 683	3 775	1 765	1 248	499	145	16 400
Under 25 years	2 365	10	13	33	68	79	127	30	5	-	-	14 400
25 to 34 years	2 362	16	38	153	185	327	882	480	241	40	-	17 400
35 to 44 years	2 765	10	55	254	293	333	898	437	312	147	26	17 400
45 to 64 years	5 273	67	199	387	771	713	1 488	695	625	233	95	16 500
65 years and over	1 749	40	186	260	361	231	380	123	65	79	24	12 800
Other male head	458	19	33	42	98	63	92	40	39	21	11	14 000
Under 65 years	318	5	14	27	67	63	56	35	29	11	11	14 300
65 years and over	140	14	19	15	31	-	36	5	10	11	-	11 800
Female head	1 250	43	90	209	278	147	272	96	83	16	16	12 600
Under 65 years	908	38	44	156	177	120	214	75	61	16	5	13 300
65 years and over	342	5	44	53	101	27	58	21	22	-	11	11 700
One-person households	1 930	148	316	323	371	230	306	96	85	47	8	11 200
Under 65 years	717	37	109	156	136	83	106	47	28	11	4	11 000
65 years and over	1 213	111	207	167	235	147	200	49	57	36	4	11 300
INCOME IN 1969												
Less than \$2,000	1 186	137	214	222	208	129	192	27	18	39	-	10 200
\$2,000 to \$2,999	836	30	130	130	123	146	19	34	5	6	-	11 500
\$3,000 to \$3,999	774	43	90	151	146	114	126	56	39	9	-	11 800
\$4,000 to \$4,999	774	48	63	142	223	105	85	58	20	5	-	11 500
\$5,000 to \$5,999	484	11	30	35	111	112	134	37	9	5	-	13 700
\$6,000 to \$6,999	756	10	74	128	168	126	173	58	14	-	5	12 500
\$7,000 to \$9,999	3 443	41	168	466	623	544	1 102	336	134	25	4	14 400
\$10,000 to \$14,999	4 994	16	120	338	543	703	1 733	942	514	75	10	17 000
\$15,000 to \$24,999	2 296	11	41	35	178	152	640	426	519	244	50	21 100
\$25,000 or more	609	6	-	14	12	15	114	38	149	161	100	32 100
Median	\$9 800	\$3 200	\$4 500	\$7 100	\$7 700	\$8 900	\$10 800	\$12 200	\$14 400	\$19 700	\$28 600	...
YEAR MOVED INTO UNIT												
1969 to March 1970	1 501	33	30	85	162	166	527	253	177	49	19	17 300
1968	1 160	8	29	71	101	169	343	211	140	55	33	17 800
1967	1 174	-	29	100	165	148	246	281	137	62	6	18 000
1965 and 1966	1 732	33	38	131	274	214	489	237	230	46	40	16 500
1960 to 1964	3 081	58	104	289	427	426	900	445	276	123	33	16 200
1950 to 1959	4 601	63	277	384	602	756	1 498	451	334	184	52	15 700
1949 or earlier	2 913	175	442	516	718	311	438	157	80	54	22	11 100
HEATING EQUIPMENT												
Steam or hot water	474	6	10	60	32	47	96	48	94	71	10	19 300
Warm-air furnace	14 277	218	652	1 343	2 133	1 918	4 155	1 843	1 347	507	161	16 000
Build-in electric units	65	-	11	4	-	-	17	9	10	5	-	...
Floor, wall, or pipeless furnace	162	-	24	14	9	41	64	10	-	-	-	14 600
Other means	1 169	124	244	233	247	117	113	87	4	-	-	9 800
None	5	5	-	-	-	-	-	-	-	-	-	...
AIR CONDITIONING												
Room unit(s)	4 372	14	145	336	677	729	1 436	590	356	61	28	15 900
Central system	2 705	-	-	52	141	149	649	541	624	384	165	23 300
None	9 085	356	804	1 188	1 631	1 312	2 356	904	394	128	12	13 600

¹Limited to one-family homes on less than 10 acres and no business on property.

Table B-2. Gross Rent of Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterloo	Total	Less than \$50	\$50 to \$59	\$60 to \$69	\$70 to \$79	\$80 to \$99	\$100 to \$119	\$120 to \$149	\$150 to \$199	\$200 to \$299	\$300 or more	No cash rent	Median (dollars)
Specified renter occupied ¹	6 534	407	287	520	456	1 412	1 167	1 140	806	127	8	226	101
ROOMS													
1 room	449	222	60	36	—	71	13	37	5	—	—	5	50
2 rooms	576	99	114	149	65	42	31	39	16	9	—	12	65
3 rooms	1 647	43	64	213	250	515	254	169	83	17	—	39	88
4 rooms	1 699	33	44	86	91	424	336	329	291	54	3	8	110
5 rooms	1 263	5	—	20	45	243	325	337	194	5	5	84	117
6 rooms	534	—	—	11	5	95	153	119	119	4	—	28	119
7 rooms	252	—	5	—	—	22	44	65	79	27	—	10	143
8 rooms or more	136	5	—	5	—	—	11	45	19	11	—	40	—
Median	3.8	1.4	2.2	2.9	3.2	3.7	4.3	4.5	4.5	4.2	...	5.1	...
PERSONS													
1 person	2 267	377	232	356	260	440	220	185	100	11	—	86	75
2 persons	1 829	10	42	96	119	486	377	298	266	65	5	65	107
3 persons	1 039	7	13	36	34	250	232	287	123	13	3	41	114
4 persons	636	—	—	14	38	117	149	183	102	18	—	15	119
5 persons	384	13	—	12	—	68	106	64	98	14	—	9	118
6 persons or more	401	—	—	6	5	51	83	123	117	6	—	10	132
Median	2.1	1.0	1.1	1.2	1.4	2.0	2.5	2.8	2.8	2.3	...	1.9	...
Units with roomers, boarders, or lodgers	205	5	—	5	12	54	50	30	39	3	—	7	109
PLUMBING FACILITIES BY PERSONS PER ROOM													
With all plumbing facilities	5 947	201	222	385	423	1 313	1 133	1 130	806	127	8	199	104
0.50 or less	2 828	82	158	245	299	657	453	402	325	56	5	146	96
0.51 to 1.00	2 727	111	59	128	109	567	597	643	392	71	3	47	112
1.01 to 1.50	332	8	—	6	10	79	67	76	80	—	—	6	118
1.51 or more	60	—	—	—	5	10	16	9	9	—	—	—	—
Lacking some or all plumbing facilities	609	206	65	135	33	99	34	10	—	—	—	27	61
0.50 or less	283	73	39	93	16	15	20	5	—	—	—	22	62
0.51 to 1.00	299	133	26	32	10	79	14	—	—	—	—	5	55
1.01 to 1.50	17	—	—	10	—	—	—	—	—	—	—	—	—
1.51 or more	10	—	—	—	—	5	—	5	—	—	—	—	—
BEDROOMS													
None	689	333	86	116	20	69	26	19	—	—	—	20	50
1	2 456	128	234	408	289	631	345	277	123	—	—	21	85
2	2 260	—	19	43	75	332	604	788	261	63	25	50	121
3 or more	1 142	26	—	—	—	127	158	337	409	21	—	64	140
YEAR STRUCTURE BUILT													
1969 to March 1970	88	18	—	—	—	—	29	20	10	11	—	—	—
1965 to 1968	584	5	5	6	—	3	15	167	310	54	—	19	163
1960 to 1964	271	—	—	10	—	3	34	115	87	11	—	11	142
1950 to 1959	433	—	—	—	14	71	124	92	92	10	—	30	119
1940 to 1949	537	12	11	14	36	127	129	123	51	15	—	19	109
1939 or earlier	4 643	372	271	490	406	1 208	836	623	256	26	8	147	91
ELEVATOR IN STRUCTURE													
4 floors or more	302	66	45	60	19	19	60	19	14	—	—	—	—
With elevator	256	40	45	60	19	19	40	19	14	—	—	—	—
Walk-up	46	26	—	—	—	—	20	—	—	—	—	—	—
1 to 3 floors	6 245	421	294	507	365	1 140	1 073	1 402	779	84	25	155	106
COMPLETE BATHROOMS													
1 and 1 1/2	5 696	169	190	369	419	1 333	1 118	1 035	733	130	7	193	105
2 or more	134	—	—	—	8	23	7	9	44	17	—	26	—
None or also used by another household	719	210	85	146	47	150	37	14	—	—	—	30	63
INCOME IN 1969													
Less than \$2,000	1 238	160	128	144	134	253	151	160	47	5	—	56	82
\$2,000 to \$2,999	600	70	33	76	60	169	81	62	18	9	—	22	87
\$3,000 to \$3,999	661	51	35	61	75	163	139	48	49	6	—	34	90
\$4,000 to \$4,999	471	44	30	34	26	84	108	85	48	—	3	9	102
\$5,000 to \$5,999	441	16	20	29	29	121	86	86	31	9	—	14	100
\$6,000 to \$6,999	481	33	6	32	39	101	109	96	53	6	—	6	105
\$7,000 to \$9,999	1 363	28	25	113	67	332	240	281	208	10	—	59	107
\$10,000 to \$14,999	1 011	5	5	26	26	179	223	255	241	36	5	10	124
\$15,000 to \$24,999	253	—	—	5	—	5	24	61	106	36	—	16	161
\$25,000 or more	37	—	5	—	—	—	6	—	5	10	—	—	—
Median	\$5 700	\$2 600	\$2 500	\$3 700	\$3 500	\$5 300	\$6 200	\$7 400	\$9 300	\$12 600	...	\$4 100	...
YEAR MOVED INTO UNIT													
1969 to March 1970	3 117	168	90	155	147	712	551	609	542	96	7	40	110
1968	854	23	23	32	71	260	170	134	113	16	—	12	101
1967	387	13	13	42	35	85	73	54	26	12	—	14	91
1965 and 1966	611	19	43	67	61	123	138	89	32	16	—	23	97
1960 to 1964	719	60	63	91	73	135	125	96	31	7	—	38	90
1950 to 1959	481	52	19	84	61	90	85	39	19	—	—	32	81
1949 or earlier	380	44	24	44	6	101	20	37	14	—	—	90	85
GROSS RENT AS PERCENTAGE OF INCOME													
Less than 10 percent	462	94	36	83	31	112	40	50	11	5	—	...	76
10 to 14 percent	1 244	61	37	106	82	328	258	198	143	31	—	...	101
15 to 19 percent	1 027	56	42	55	60	241	193	207	158	15	—	...	106
20 to 24 percent	790	46	16	46	35	119	182	178	143	25	—	...	115
25 to 34 percent	918	55	28	64	81	179	149	183	168	6	5	...	107
35 percent or more	1 777	89	123	155	167	404	317	300	179	40	3	...	98
Not computed	338	6	5	11	—	29	28	24	4	5	—	226	104
AIR CONDITIONING													
Room unit(s)	1 418	30	38	102	87	318	281	305	157	37	7	56	108
Central system	441	12	14	—	—	12	23	71	228	57	—	24	167
None	4 690	337	223	413	387	1 176	858	682	392	53	—	169	95

¹Excludes one-family homes on 10 acres or more.

Table B—3. Income in 1969 of Families and Primary Individuals in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterloo	Total	Less than \$2,000	\$2,000 to \$2,999	\$3,000 to \$3,999	\$4,000 to \$4,999	\$5,000 to \$5,999	\$6,000 to \$6,999	\$7,000 to \$9,999	\$10,000 to \$14,999	\$15,000 to \$24,999	\$25,000 or more	Median (dollars)
Owner occupied housing units	17 531	1 406	966	887	843	590	847	3 684	5 273	2 403	632	9 600
ROOMS												
1 and 2 rooms	135	50	5	19	9	10	—	10	22	10	—	3 700
3 rooms	457	120	48	58	45	14	47	68	10	—	—	4 100
4 rooms	3 266	362	278	238	212	195	266	772	771	132	40	7 300
5 rooms	8 863	519	337	333	327	210	258	1 542	2 315	876	146	9 800
6 rooms	3 847	212	167	164	141	111	163	832	1 259	676	122	10 500
7 rooms or more	2 963	143	131	75	109	50	113	460	859	699	324	12 300
PERSONS												
1 person	2 307	894	326	267	162	118	118	264	115	34	9	2 800
2 persons	5 511	354	468	451	437	285	350	1 094	1 251	616	205	8 100
3 and 4 persons	5 559	100	142	97	163	155	279	1 384	2 036	980	223	11 100
5 persons	1 953	27	14	43	55	10	42	433	912	304	113	11 900
6 persons or more	2 201	31	16	29	26	22	58	509	959	469	82	12 100
Units with roomers, boarders, or lodgers	456	90	52	56	28	26	9	91	95	9	—	5 100
BEDROOMS												
Less than 3	7 259	969	592	475	604	351	478	1 404	1 769	534	83	7 300
3	8 266	365	199	199	226	122	186	1 926	2 980	1 747	316	11 500
4 or more	2 095	78	94	66	67	76	140	427	637	267	243	10 800
YEAR STRUCTURE BUILT												
1969 to March 1970	380	14	11	17	5	27	34	114	118	36	4	9 200
1960 to 1968	3 051	90	43	60	71	75	100	656	1 250	557	149	11 700
1950 to 1959	4 553	167	164	131	121	118	128	895	1 792	812	225	11 500
1949 or earlier	9 547	1 135	748	679	646	370	585	2 019	2 113	998	254	7 900
YEAR MOVED INTO UNIT												
1969 to March 1970	1 706	52	58	44	66	84	118	446	601	211	26	9 900
1968	1 303	58	17	48	44	53	68	368	425	175	47	10 000
1960 to 1967	6 393	298	235	221	239	203	292	1 502	2 214	979	210	10 500
1959 or earlier	8 125	984	682	615	493	270	395	1 371	2 004	973	338	8 400
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	12 534	560	291	348	593	350	461	2 622	4 449	2 307	553	11 200
Clothes dryer	10 901	356	260	175	386	286	375	2 457	3 913	2 181	512	11 500
Dishwasher	2 734	100	55	52	66	—	43	283	833	968	334	14 600
Home food freezer	6 652	204	272	151	208	151	348	1 546	2 243	1 142	387	11 000
Owned second home	726	—	—	—	63	22	41	58	210	202	111	13 800
With air conditioning	7 605	305	264	291	288	248	292	1 462	2 514	1 392	549	11 300
Room unit(s)	4 771	225	238	197	226	193	192	1 116	1 562	670	152	10 000
Central system	2 834	80	26	94	62	55	100	346	952	722	397	13 400
Automobiles available:												
1	8 025	494	555	620	579	397	559	2 139	2 052	522	108	8 100
2	6 621	107	135	100	103	134	247	1 366	2 691	1 379	359	12 100
3 or more	1 212	6	21	17	12	18	24	75	448	437	154	14 800
Renter occupied housing units	6 639	1 238	605	667	476	441	497	1 381	1 033	259	42	5 800
ROOMS												
1 room	449	190	73	62	29	22	43	25	5	—	—	2 500
2 rooms	566	177	87	91	63	26	24	87	16	—	—	3 300
3 rooms	1 647	398	163	189	114	122	120	288	218	29	6	4 600
4 rooms	1 710	243	145	123	134	133	100	460	252	94	26	6 800
5 rooms	1 288	143	84	141	93	66	153	251	289	58	10	6 800
6 rooms or more	969	87	53	61	43	72	57	270	253	73	—	8 200
PERSONS												
1 person	2 267	867	298	269	168	115	120	260	131	29	10	2 900
2 persons	1 844	167	165	211	130	177	160	367	354	87	26	6 500
3 and 4 persons	1 717	132	120	113	122	116	132	538	322	116	6	7 700
5 persons	396	26	5	41	22	8	37	112	135	10	—	8 600
6 persons or more	415	46	17	33	34	25	48	104	91	17	—	7 100
Units with roomers, boarders, or lodgers	205	62	23	48	15	15	—	22	20	—	—	3 400
BEDROOMS												
None	689	216	91	150	70	21	96	45	—	—	—	3 300
1	2 456	587	213	343	147	255	128	522	220	41	—	4 600
2	2 260	289	169	207	108	109	281	571	412	114	—	6 900
3 or more	1 215	79	18	32	99	75	163	368	338	43	—	8 200
YEAR STRUCTURE BUILT												
1969 to March 1970	88	9	—	12	14	3	6	24	15	5	—	—
1960 to 1968	866	89	42	54	38	50	72	198	218	79	26	8 300
1950 to 1959	438	49	17	—	33	45	16	110	109	53	6	8 600
1949 or earlier	5 247	1 091	546	601	391	343	403	1 049	691	122	10	5 000
YEAR MOVED INTO UNIT												
1969 to March 1970	3 159	511	240	345	217	254	218	678	509	166	21	6 100
1968	860	134	105	65	50	27	61	203	174	35	6	6 800
1960 to 1967	1 757	310	184	115	163	141	103	367	302	51	21	5 800
1959 or earlier	861	301	126	89	60	14	60	87	87	29	8	3 000
GROSS RENT AS PERCENTAGE OF INCOME												
Specified renter occupied ¹	6 556	1 238	600	661	471	441	481	1 363	1 011	253	37	5 700
Less than 15 percent	1 706	—	5	24	56	49	95	525	688	227	37	10 700
15 to 19 percent	1 027	—	29	56	64	104	131	410	223	10	—	7 900
20 to 24 percent	790	10	41	78	76	128	124	254	79	—	—	6 500
25 to 34 percent	918	55	109	242	161	116	105	11	—	—	—	4 300
35 percent or more	1 777	1 005	394	227	105	30	6	10	—	—	—	2000—
Not computed	338	168	22	34	9	14	6	59	10	16	—	2 000
SELECTED CHARACTERISTICS												
Automatic clothes washing machine	2 205	208	54	77	—	166	338	620	628	114	—	8 300
Clothes dryer	1 724	163	54	87	—	80	259	464	524	93	—	8 400
Dishwasher	134	—	—	—	—	21	20	25	46	22	—	—
Home food freezer	650	87	—	60	44	35	48	147	165	64	—	8 000
Owned second home	129	40	—	—	—	—	—	—	—	—	—	—
With air conditioning	1 886	299	90	137	143	118	118	391	426	123	41	7 300
Room unit(s)	1 426	264	78	104	111	111	94	294	282	74	14	6 500
Central system	460	35	12	33	32	7	24	97	144	49	27	9 700
Automobiles available:												
1	3 526	410	285	303	293	342	334	878	522	132	27	6 400
2	1 165	19	24	63	79	31	33	344	456	94	22	9 900
3 or more	208	22	14	17	15	10	—	34	56	40	—	9 300

¹Excludes one-family homes on 10 acres or more.

Table B—4. Plumbing Facilities by Persons Per Room for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterloo	With all plumbing facilities					Lacking some or all plumbing facilities					
	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	Total	0.50 or less	0.51 to 1.00	1.01 to 1.50	1.51 or more	
Owner occupied housing units	17 531	17 237	8 712	7 155	1 213	157	294	203	87	—	4
PERSONS											
1 person.....	2 307	2 210	2 190	20	—	—	97	86	11	—	—
2 persons.....	5 511	5 387	5 184	193	—	10	124	104	20	—	—
3 persons.....	2 722	2 675	1 092	1 583	—	—	47	13	34	—	—
4 persons.....	2 837	2 815	169	2 627	19	—	22	—	22	—	—
5 persons.....	1 953	1 953	77	1 734	130	—	—	—	—	—	—
6 persons or more.....	2 201	2 197	—	998	1 064	135	4	—	—	—	4
Median.....	2.8	2.9	1.9	4.2	6.5	7.5+	1.9	1.6	...	—	...
Units with roomers, boarders, or lodgers.....	456	433	226	179	28	—	23	23	—	—	—
YEAR STRUCTURE BUILT											
1969 to March 1970.....	375	368	113	228	27	—	7	7	—	—	—
1965 to 1968.....	1 384	1 384	376	884	124	—	—	—	—	—	—
1960 to 1964.....	1 714	1 714	423	860	198	33	—	—	—	—	—
1950 to 1959.....	4 587	4 554	1 994	2 189	326	45	33	27	6	—	—
1940 to 1949.....	2 464	2 390	1 306	873	178	33	74	48	26	—	—
1939 or earlier.....	7 003	6 812	4 172	2 264	332	44	191	146	40	—	5
INCOME IN 1969											
Less than \$2,000.....	1 406	1 313	1 130	152	31	—	93	82	11	—	—
\$2,000 to \$2,999.....	966	927	774	144	4	5	39	23	16	—	—
\$3,000 to \$3,999.....	887	865	688	147	24	6	22	17	5	—	—
\$4,000 to \$4,999.....	843	805	601	181	23	—	38	19	19	—	—
\$5,000 to \$5,999.....	590	580	423	134	14	9	10	10	—	—	—
\$6,000 to \$6,999.....	847	825	488	297	45	5	12	12	—	—	—
\$7,000 to \$9,999.....	3 684	3 639	1 495	1 788	294	52	55	31	20	—	4
\$10,000 to \$14,999.....	5 273	5 259	1 742	2 889	564	64	14	9	5	—	—
\$15,000 to \$24,999.....	2 403	2 398	1 004	1 187	191	16	5	—	3	—	—
\$25,000 or more.....	632	626	367	236	23	—	6	—	6	—	—
Median.....	\$9 600	\$9 700	\$7 500	\$11 300	\$11 500	\$10 100	\$3 700	\$2 800	...	—	...
VALUE-INCOME RATIO											
Specified owner occupied ¹	16 132	15 928	7 890	6 733	1 148	137	224	164	60	—	—
Less than 1.5.....	6 189	6 101	2 428	2 940	642	91	88	43	45	—	—
1.5 to 1.9.....	3 357	3 347	1 325	1 708	266	48	10	5	5	—	—
2.0 to 2.4.....	2 214	2 185	935	1 119	122	9	29	24	5	—	—
2.5 to 2.9.....	1 220	1 179	706	418	51	4	41	36	5	—	—
3.0 to 3.9.....	941	925	635	260	30	—	16	16	—	—	—
4.0 or more.....	2 133	2 093	1 793	268	27	5	40	40	—	—	—
Not computed.....	98	98	68	20	10	—	—	—	—	—	—
HEATING EQUIPMENT											
Steam or hot water.....	528	523	303	195	25	—	5	5	—	—	—
Warm-air furnace.....	15 415	15 242	7 698	6 392	1 034	118	173	133	40	—	—
Built-in electric units.....	69	69	34	28	—	7	—	—	—	—	—
Floor, wall, or pipeless furnace.....	211	211	80	104	27	—	—	—	—	—	—
Other means.....	1 303	1 192	597	436	127	32	111	60	47	—	4
None.....	5	—	—	—	—	—	5	—	—	—	—
Renter occupied housing units	6 439	6 030	2 865	2 762	343	60	609	283	299	17	10
PERSONS											
1 person.....	2 267	1 792	1 565	227	—	—	475	263	212	—	—
2 persons.....	1 844	1 763	1 093	665	—	5	81	20	56	—	5
3 persons.....	1 066	1 038	178	844	16	—	28	—	24	4	—
4 persons.....	651	644	29	592	18	5	7	—	—	7	—
5 persons.....	396	391	—	292	93	6	5	—	—	—	5
6 persons or more.....	415	402	—	142	216	44	13	—	7	6	—
Median.....	2.1	2.2	1.4	3.1	6.0	...	1.1	1.0	1.2	...	...
Units with roomers, boarders, or lodgers.....	205	191	38	147	—	6	14	—	9	—	5
YEAR STRUCTURE BUILT											
1969 to March 1970.....	96	88	38	50	—	—	8	—	8	—	—
1965 to 1968.....	598	598	246	329	23	—	—	—	—	—	—
1960 to 1964.....	254	247	123	101	23	—	7	—	7	—	—
1950 to 1959.....	458	446	196	238	5	7	12	12	—	—	—
1940 to 1949.....	545	516	257	237	22	—	29	—	22	7	—
1939 or earlier.....	4 686	4 124	2 078	1 737	255	54	562	284	253	19	6
INCOME IN 1969											
Less than \$2,000.....	1 238	1 034	431	362	36	5	204	116	83	—	5
\$2,000 to \$2,999.....	605	517	306	184	11	16	88	35	53	—	—
\$3,000 to \$3,999.....	667	590	311	244	29	6	77	26	46	—	5
\$4,000 to \$4,999.....	476	403	204	172	27	—	73	22	40	11	—
\$5,000 to \$5,999.....	441	416	197	204	6	9	25	10	15	—	—
\$6,000 to \$6,999.....	497	464	199	211	49	5	33	5	22	6	—
\$7,000 to \$9,999.....	1 381	1 303	494	701	92	16	78	38	40	—	—
\$10,000 to \$14,999.....	1 033	1 002	372	546	81	3	31	31	—	—	—
\$15,000 to \$24,999.....	259	259	121	126	12	—	—	—	—	—	—
\$25,000 or more.....	42	42	30	12	—	—	—	—	—	—	—
Median.....	\$5 800	\$6 100	\$4 900	\$7 000	\$7 400	...	\$3 200	\$2 700	\$3 300	...	...
GROSS RENT AS PERCENTAGE OF INCOME											
Specified renter occupied ²	6 556	5 947	2 828	2 727	332	60	609	283	299	17	10
Less than 10 percent.....	462	393	171	192	24	6	69	34	35	—	—
10 to 14 percent.....	1 244	1 098	467	555	76	—	146	56	84	6	—
15 to 19 percent.....	1 027	948	351	513	66	18	79	37	31	11	—
20 to 24 percent.....	790	750	335	356	48	11	40	16	24	—	—
25 to 34 percent.....	918	832	388	398	43	3	86	24	57	—	5
35 percent or more.....	1 777	1 621	927	627	45	22	156	88	63	—	—
Not computed.....	338	305	189	86	30	—	33	28	5	—	—
HEATING EQUIPMENT											
Steam or hot water.....	1 267	1 069	663	371	25	10	198	71	127	—	—
Warm-air furnace.....	4 678	4 346	1 983	2 081	244	38	332	164	152	6	10
Built-in electric units.....	112	112	46	53	13	—	—	—	—	—	—
Floor, wall, or pipeless furnace.....	88	88	41	47	—	—	—	—	—	—	—
Other means.....	494	415	132	210	61	12	79	48	20	11	—
None.....	—	—	—	—	—	—	—	—	—	—	—

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table B-5. Rooms in Owner and Renter Occupied Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterloo	Total	1 room	2 rooms	3 rooms	4 rooms	5 rooms	6 rooms	7 rooms	8 rooms or more	Median
Owner occupied housing units	17 531	53	82	457	3 266	6 863	3 847	1 868	1 095	5.2
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	17 090	29	36	375	3 182	6 721	3 832	1 828	1 087	5.2
PERSONS										
1 person	2 307	31	43	228	663	792	368	131	51	4.7
2 persons	5 511	10	33	180	1 481	2 199	928	459	221	5.0
3 persons	2 722	--	--	30	54	1 022	648	320	137	5.2
4 persons	2 837	--	--	19	310	1 291	700	348	169	5.3
5 persons	1 953	6	6	--	130	887	513	235	176	5.4
6 persons or more	2 201	6	--	--	117	672	690	375	341	5.9
Median	2.8	...	...	1.5	2.2	2.9	3.5	3.6	4.3	...
PLUMBING FACILITIES BY PERSONS PER ROOM										
With all plumbing facilities										
0.50 or less	17 237	42	68	397	3 169	6 792	3 815	1 859	1 095	5.2
0.51 to 1.00	8 712	--	39	182	2 062	2 950	1 923	901	655	5.2
1.01 to 1.50	7 155	20	23	196	860	3 174	1 582	903	397	5.3
1.51 or more	1 213	--	--	19	203	602	296	50	43	5.1
Lacking some or all plumbing facilities	157	22	6	44	66	14	5	--	--	4.6
0.50 or less	294	11	14	60	97	71	32	9	--	4.1
0.51 to 1.00	203	--	4	46	82	41	21	9	--	4.1
1.01 to 1.50	87	11	10	14	15	26	11	--	--	...
1.51 or more	4	--	--	--	--	4	--	--	--	...
BEDROOMS										
None and 1	938	62	143	402	204	106	21	--	--	3.2
2	6 321	--	--	65	2 907	2 804	449	96	--	4.6
3	8 266	--	--	--	112	4 023	2 833	1 022	276	5.5
4 or more	2 095	--	--	--	--	40	490	762	803	7.2
YEAR STRUCTURE BUILT										
1969 to March 1970	380	--	--	5	48	217	66	15	29	5.1
1960 to 1968	3 051	15	37	29	509	1 414	570	297	180	5.2
1950 to 1959	4 553	5	4	59	951	2 277	767	354	136	5.1
1949 or earlier	9 547	33	41	364	1 758	2 955	2 444	1 202	750	5.4
COMPLETE BATHROOMS										
1 and 1 1/2	15 565	36	36	362	3 140	6 415	3 429	1 492	655	5.2
2 or more	1 532	--	--	13	42	306	403	336	432	6.5
None or also used by another household	430	14	26	79	141	124	34	6	6	4.2
VALUE-INCOME RATIO										
Specified owner occupied¹										
Less than 1.5	16 152	27	31	313	2 738	6 470	3 747	1 782	1 044	5.3
1.5 to 1.9	6 189	22	5	126	1 160	2 257	1 443	758	418	5.3
2.0 to 2.9	3 357	--	6	30	413	1 541	804	353	210	5.3
3.0 or more	3 434	5	15	74	500	1 427	818	366	229	5.3
Not computed	3 074	--	--	79	660	1 193	668	295	179	5.2
	98	--	5	4	5	52	14	10	8	...
Renter occupied housing units	6 639	449	576	1 647	1 710	1 288	539	273	137	3.9
Units with 1 or more bathrooms and complete kitchen facilities for exclusive use, and direct access	5 787	142	409	1 389	1 684	1 266	447	302	148	4.1
PERSONS										
1 person	2 267	439	458	806	367	147	21	19	10	2.8
2 persons	1 844	10	93	628	610	351	118	24	10	3.8
3 persons	1 066	--	20	166	369	333	96	44	38	4.4
4 persons	651	--	5	25	227	222	109	34	29	4.8
5 persons	396	--	--	11	93	133	94	42	23	5.2
6 persons or more	415	--	--	11	44	102	101	110	47	6.0
Median	2.1	1.0	1.1	1.5	2.3	2.9	3.8	4.9	4.2	...
PLUMBING FACILITIES BY PERSONS PER ROOM										
With all plumbing facilities										
0.50 or less	6 030	232	442	1 441	1 686	1 288	516	273	152	4.0
0.51 to 1.00	2 865	--	338	679	956	498	225	87	82	3.9
1.01 to 1.50	2 762	227	83	727	593	688	234	146	64	4.1
1.51 or more	343	--	16	18	123	89	51	40	6	4.7
Lacking some or all plumbing facilities	60	5	5	17	14	13	6	--	--	...
0.50 or less	609	217	134	206	24	--	23	--	5	2.2
0.51 to 1.00	283	--	120	127	21	--	10	--	5	2.7
1.01 to 1.50	299	212	10	67	3	--	7	--	5	1.2
1.51 or more	17	--	4	7	--	--	6	--	--	...
10	10	5	--	5	--	--	--	--	--	...
BEDROOMS										
None	689	544	125	20	--	--	--	--	--	1.1
1	2 456	--	471	1 473	433	79	--	--	--	3.0
2	2 260	--	--	111	1 060	906	158	25	--	4.5
3 or more	1 215	--	--	--	45	288	538	210	134	6.0
YEAR STRUCTURE BUILT										
1969 to March 1970	88	6	--	9	31	30	--	6	6	...
1960 to 1968	866	37	35	231	354	154	--	13	17	3.9
1950 to 1959	438	--	21	72	160	146	29	5	5	4.3
1949 or earlier	5 247	406	520	1 335	1 165	958	485	249	129	3.8
COMPLETE BATHROOMS										
1 and 1 1/2	5 770	189	424	1 435	1 671	1 243	447	251	110	4.0
2 or more	141	--	--	8	13	23	--	51	46	7.0
None or also used by another household	726	224	141	262	49	11	28	--	11	2.5
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied²										
Less than 10 percent	6 556	449	576	1 647	1 699	1 263	534	252	136	3.9
10 to 14 percent	462	64	42	102	149	64	15	10	16	3.7
15 to 19 percent	1 244	62	74	350	283	270	106	89	10	4.0
20 to 24 percent	1 027	38	105	246	256	212	123	31	16	4.0
25 to 34 percent	790	41	72	123	251	174	79	39	11	4.1
35 percent or more	918	80	47	234	284	181	54	23	15	3.8
Not computed	1 777	159	219	534	419	262	110	46	28	3.5
	338	5	17	58	57	100	47	14	40	4.8

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table B-6. Units in Structure for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterloo	Owner occupied				Renter occupied							
	Total	1 unit	2 units or more	Mobile home or trailer	Total	1 unit	2 units	3 and 4 units	5 to 9 units	10 to 19 units	20 units or more	Mobile home or trailer
All occupied housing units	17 531	16 457	686	388	6 639	2 443	1 147	1 103	653	376	894	23
ROOMS												
1 room	53	27	26	--	449	5	23	5	78	93	245	--
2 rooms	82	31	42	9	576	9	29	138	155	37	208	--
3 rooms	457	313	110	34	1 647	252	376	481	257	74	207	--
4 rooms	3 266	2 603	207	256	1 710	587	410	317	121	74	186	15
5 rooms	6 863	6 573	201	89	1 288	768	220	135	27	93	37	8
6 rooms	3 847	3 794	53	--	539	411	84	23	5	5	11	--
7 rooms	1 868	1 835	33	--	273	254	5	4	10	--	--	--
8 rooms or more	1 095	1 081	14	--	157	157	--	--	--	--	--	--
Median	5.2	5.3	4.3	4.1	3.9	5.0	3.9	3.3	2.9	3.3	2.5	--
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	17 237	16 223	626	388	6 030	2 358	1 082	972	500	279	816	23
0.50 or less	8 712	8 072	453	187	2 865	918	485	534	276	141	496	15
0.51 to 1.00	7 135	6 819	150	186	2 762	1 201	521	389	198	125	320	8
1.01 to 1.50	1 213	1 175	23	15	343	206	65	43	16	13	--	--
1.51 or more	157	157	--	--	60	33	11	6	10	--	--	--
Lacking some or all plumbing facilities	294	234	60	--	609	85	65	131	153	97	78	--
0.50 or less	203	164	39	--	283	55	34	75	92	21	6	--
0.51 to 1.00	87	66	21	--	299	24	19	52	61	76	67	--
1.01 to 1.50	--	--	--	--	17	6	7	4	--	--	--	--
1.51 or more	4	4	--	--	10	--	5	--	--	--	5	--
BEDROOMS												
None	62	20	42	--	689	20	--	59	104	98	408	--
1	876	620	211	45	2 456	412	457	654	362	171	400	--
2	6 321	5 706	287	328	2 260	1 099	495	331	70	119	110	36
3	8 266	8 182	58	26	919	760	114	--	--	45	--	--
4 or more	2 095	2 053	42	--	296	259	18	19	--	--	--	--
YEAR STRUCTURE BUILT												
1969 to March 1970	380	292	--	88	88	27	--	4	16	36	--	5
1965 to 1968	1 368	1 160	64	144	589	72	64	37	100	61	247	8
1960 to 1964	1 683	1 552	21	110	277	131	60	66	10	--	--	10
1950 to 1959	4 553	4 458	54	41	438	231	89	24	9	41	44	--
1940 to 1949	2 448	2 422	26	--	537	370	91	50	16	--	10	--
1939 or earlier	7 099	6 573	521	5	4 710	1 612	643	922	502	238	593	--
INCOME IN 1969												
Less than \$2,000	1 406	1 212	151	43	1 238	261	190	248	124	97	318	--
\$2,000 to \$2,999	966	867	94	5	605	143	114	118	119	34	77	--
\$3,000 to \$3,999	887	795	70	22	667	206	106	135	92	54	69	5
\$4,000 to \$4,999	843	783	50	10	476	177	96	60	54	24	60	5
\$5,000 to \$5,999	590	503	50	37	411	144	88	96	43	21	49	--
\$6,000 to \$6,999	847	765	40	42	497	213	91	74	27	25	67	--
\$7,000 to \$9,999	3 684	3 487	109	88	1 381	589	253	250	100	55	124	10
\$10,000 to \$14,999	5 273	5 070	76	127	1 033	561	160	106	68	44	91	3
\$15,000 to \$24,999	2 403	2 362	36	5	259	139	38	16	16	17	33	--
\$25,000 or more	632	613	10	9	42	10	11	--	10	5	6	--
Median	\$9 600	\$9 800	\$4 600	\$8 200	\$5 800	\$7 400	\$5 800	\$4 800	\$3 900	\$4 100	\$3 800	--
YEAR MOVED INTO UNIT												
1969 to March 1970	1 706	1 507	61	138	3 159	1 066	592	556	331	204	395	15
1968	1 303	1 171	34	98	860	327	201	161	63	20	88	--
1967	1 247	1 186	36	25	387	173	65	43	58	12	32	4
1965 and 1966	1 844	1 753	41	50	637	272	100	96	55	29	85	--
1960 to 1964	3 302	3 133	117	52	233	255	93	147	92	39	107	--
1950 to 1959	4 780	4 625	142	13	462	145	78	68	67	37	67	--
1949 or earlier	3 345	3 096	242	7	399	191	20	53	37	16	82	--
GROSS RENT												
Specified renter occupied ¹	...	...	...	...	6 556	2 360	1 147	1 103	653	376	894	23
Less than \$50	...	...	...	...	407	21	35	38	96	49	168	--
\$50 to \$59	...	...	...	...	287	26	35	57	80	16	68	5
\$60 to \$69	...	...	...	...	520	42	105	158	80	24	111	--
\$70 to \$79	...	...	...	...	456	70	114	116	71	34	51	--
\$80 to \$99	...	...	...	...	1 412	411	312	383	103	107	96	5
\$100 to \$119	...	...	...	...	1 167	592	243	151	68	47	61	5
\$120 to \$149	...	...	...	...	1 140	581	152	189	87	4	114	13
\$150 to \$199	...	...	...	...	806	407	130	5	42	43	179	--
\$200 to \$299	...	...	...	...	127	53	10	6	10	23	25	--
\$300 or more	...	...	...	...	8	3	--	--	--	--	5	--
No cash rent	...	...	...	...	226	154	11	--	16	29	16	--
Median	...	...	...	...	\$101	\$118	\$98	\$90	\$79	\$89	\$90	...
HEATING EQUIPMENT												
Steam or hot water	528	474	54	--	1 267	57	51	175	261	185	538	--
Warm-air furnace	15 415	14 502	580	333	4 678	2 007	1 020	854	369	146	262	20
Built-in electric units	69	65	--	4	112	10	--	6	5	23	68	--
Floor, wall, or pipeless furnace	211	173	5	33	88	42	--	--	--	17	26	3
Other means	1 303	1 238	47	18	494	327	76	68	18	5	--	--
None	5	5	--	--	--	--	--	--	--	--	--	--
AIR CONDITIONING												
Room unit(s)	4 771	4 464	148	159	1 426	426	213	204	175	72	336	--
Central system	2 834	2 744	62	28	460	104	44	--	108	68	136	--
None	9 922	9 263	463	196	4 751	1 899	892	920	420	217	384	19
AUTOMOBILES AVAILABLE												
1	8 025	7 422	375	228	3 526	1 370	685	628	326	157	353	7
2	6 621	6 391	105	125	1 165	585	188	121	90	88	85	8
3 or more	1 212	1 185	20	7	208	138	24	5	17	--	20	4
None	1 669	1 473	173	23	1 738	336	252	370	270	112	398	--

¹Excludes one-family homes on 10 acres or more.

Table B-7. Household Composition for Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterloo	Two-or-more-person households										One-person households	
	Total	Male head, wife present, no nonrelatives					Other male head		Female head		Under 65 years	65 years and over
		Under 25 years	25 to 34 years	35 to 44 years	45 to 64 years	65 years and over	Under 65 years	65 years and over	Under 65 years	65 years and over		
Owner occupied housing units	17 531	441	2 499	2 883	5 608	1 960	337	150	978	368	878	1 429
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	17 237	441	2 489	2 864	5 547	1 903	333	146	950	354	845	1 365
0.50 or less	8 712	122	311	285	3 179	1 587	135	112	476	315	840	1 350
0.51 to 1.00	7 155	319	1 891	1 897	2 085	301	174	34	395	39	5	15
1.01 to 1.50	1 213	--	266	603	252	5	17	--	70	--	--	--
1.51 or more	157	--	21	79	31	10	7	--	9	--	--	--
Lacking some or all plumbing facilities	294	--	10	19	61	57	4	4	28	14	33	64
0.50 or less	203	--	5	5	26	42	4	4	17	14	22	64
0.51 to 1.00	87	--	5	10	35	15	--	--	11	--	11	--
1.01 to 1.50	--	--	--	--	--	--	--	--	--	--	--	--
1.51 or more	4	--	--	4	--	--	--	--	--	--	--	--
UNITS IN STRUCTURE												
1	16 457	365	2 376	2 823	5 392	1 782	323	140	925	347	735	1 249
2 or more	686	--	33	45	140	144	5	6	36	21	92	164
Mobile home or trailer	388	76	90	15	76	34	9	4	17	--	51	16
INCOME IN 1969												
Less than \$2,000	1 406	14	21	24	79	121	15	50	104	84	127	767
\$2,000 to \$2,999	966	8	10	16	105	320	9	14	95	63	64	262
\$3,000 to \$3,999	887	5	29	21	70	314	15	16	106	44	94	173
\$4,000 to \$4,999	843	21	32	22	149	306	13	6	118	14	85	77
\$5,000 to \$5,999	590	28	45	43	149	95	--	--	97	15	72	46
\$6,000 to \$6,999	847	42	118	49	262	147	21	14	76	49	105	13
\$7,000 to \$9,999	3 684	198	805	676	1 167	258	75	10	171	60	231	33
\$10,000 to \$14,999	5 273	105	1 198	1 311	2 043	183	103	25	159	31	87	28
\$15,000 to \$24,999	2 403	15	231	596	1 215	161	66	10	40	35	9	25
\$25,000 or more	632	5	10	125	369	55	20	5	12	22	4	5
Median	\$9 600	\$8 600	\$10 800	\$12 300	\$12 000	\$4 700	\$11 000	\$3 700	\$5 700	\$3 800	\$6 000	\$2000-
VALUE-INCOME RATIO												
Specified owner occupied ¹	16 152	365	2 362	2 765	5 273	1 749	318	140	908	342	717	1 213
Less than 1.5	6 189	142	768	1 351	2 771	385	144	34	225	104	214	51
1.5 to 1.9	3 357	82	734	712	1 215	227	48	25	154	21	102	37
2.0 to 2.4	2 214	76	562	416	559	230	21	10	115	38	93	94
2.5 to 2.9	1 220	39	172	155	329	257	47	5	85	20	49	62
3.0 to 3.9	941	14	76	75	174	272	33	5	87	27	78	100
4.0 or more	2 133	12	50	46	221	378	25	56	216	132	145	852
Not computed	98	--	--	10	4	--	--	5	26	--	36	17
Renter occupied housing units	6 639	773	917	420	615	394	228	22	925	78	1 288	979
PLUMBING FACILITIES BY PERSONS PER ROOM												
With all plumbing facilities	6 030	749	911	408	576	384	213	22	897	78	1 013	779
0.50 or less	2 865	160	174	87	278	223	80	12	225	61	931	634
0.51 to 1.00	2 762	552	635	231	250	156	110	10	574	17	82	145
1.01 to 1.50	343	37	96	78	48	--	17	--	67	--	--	--
1.51 or more	60	--	6	12	--	5	6	--	31	--	--	--
Lacking some or all plumbing facilities	609	24	6	12	39	10	15	--	28	--	275	200
0.50 or less	283	--	--	5	15	--	--	--	--	--	160	103
0.51 to 1.00	299	19	6	7	18	6	10	--	21	--	115	97
1.01 to 1.50	17	--	--	--	6	4	--	--	7	--	--	--
1.51 or more	10	5	--	--	--	--	5	--	--	--	--	--
UNITS IN STRUCTURE												
1	2 443	283	560	324	322	162	71	17	363	34	177	130
2 to 4	2 250	356	266	69	148	123	106	--	387	30	457	308
5 to 19	1 029	89	70	22	76	53	30	5	127	8	345	204
20 or more	894	35	21	5	69	56	16	--	40	6	309	337
Mobile home or trailer	23	10	--	--	--	--	5	--	8	--	--	--
GROSS RENT												
Specified renter occupied ²	6 556	768	880	399	606	389	228	22	919	78	1 288	979
Less than \$50	407	4	8	--	13	--	5	--	--	--	201	176
\$50 to \$59	287	14	5	--	10	10	--	--	16	--	115	117
\$60 to \$69	520	39	17	5	20	17	23	--	43	--	236	120
\$70 to \$79	456	42	24	--	36	21	11	5	57	--	154	106
\$80 to \$99	1 412	211	123	72	114	121	72	--	243	16	257	183
\$100 to \$119	1 167	172	242	83	103	76	39	5	204	23	145	75
\$120 to \$149	1 140	204	222	107	139	38	24	6	191	24	66	119
\$150 to \$199	806	65	223	92	103	42	48	6	116	11	72	28
\$200 to \$299	127	6	16	25	14	32	3	--	20	--	6	5
\$300 or more	8	--	--	--	--	5	--	--	3	--	--	--
No cash rent	226	11	--	15	54	27	3	--	26	4	36	50
GROSS RENT AS PERCENTAGE OF INCOME BY INCOME												
Specified renter occupied ²	6 556	768	880	399	606	389	228	22	919	78	1 288	979
Less than \$5,000	2 970	162	87	46	80	222	82	16	621	52	706	896
Less than 20 percent	234	--	--	--	5	14	--	--	18	--	141	56
20 to 24 percent	205	30	--	10	7	5	7	--	15	--	101	30
25 to 34 percent	567	54	34	12	23	64	21	5	123	5	86	140
35 percent or more	1 731	74	53	20	27	122	51	11	401	43	309	620
Not computed	233	4	--	4	18	17	3	--	64	4	69	50
\$5,000 to \$9,999	2 285	492	440	158	258	102	93	6	221	20	432	63
Less than 20 percent	1 314	322	217	88	94	28	79	--	87	4	360	35
20 to 24 percent	506	91	150	28	73	59	14	--	49	5	30	7
25 to 34 percent	340	62	73	31	48	5	--	6	62	5	32	16
35 percent or more	46	6	--	--	5	5	--	--	9	6	10	5
Not computed	79	11	--	11	38	5	--	--	14	--	--	--
\$10,000 to \$14,999	1 011	98	301	153	191	54	33	--	44	6	116	15
Less than 20 percent	911	93	285	129	185	31	25	--	38	6	104	15
20 to 24 percent	79	5	16	20	6	12	8	--	6	--	6	--
25 percent or more	11	--	--	--	--	11	--	--	--	--	--	--
Not computed	10	--	--	4	--	--	--	--	--	--	6	--
\$15,000 or more	290	16	52	42	77	11	20	--	33	--	34	5
Less than 20 percent	274	16	52	42	66	6	20	--	33	--	34	5
20 to 24 percent	--	--	--	--	--	--	--	--	--	--	--	--
25 percent or more	--	--	--	--	--	--	--	--	--	--	--	--
Not computed	16	--	--	--	11	5	--	--	--	--	--	--

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B-8. Persons in Owner and Renter Occupied Housing Units: 1970

[Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text]

Waterloo	Total	1 person	2 persons	3 persons	4 persons	5 persons	6 persons	7 persons	8 persons or more	Median
Owner occupied housing units	17 531	2 307	5 511	2 722	2 837	1 953	1 133	694	374	2.8
BEDROOMS										
None and 1	938	576	234	55	73	—	—	—	—	1.3
2	6 321	1 192	3 002	971	635	359	93	17	52	2.2
3	8 266	457	2 002	1 528	1 845	1 321	677	279	157	3.6
4 or more	2 095	143	394	305	163	311	209	319	251	4.6
YEAR STRUCTURE BUILT										
1969 to March 1970	380	18	57	82	97	91	13	22	—	3.8
1965 to 1968	1 368	57	232	217	419	243	83	94	23	3.9
1960 to 1964	1 683	96	471	197	354	307	143	88	27	3.7
1950 to 1959	4 553	314	1 409	935	863	499	324	138	71	3.1
1940 to 1949	2 448	376	877	343	335	231	148	80	58	2.5
1939 or earlier	7 099	1 446	2 465	948	769	582	422	272	195	2.4
UNITS IN STRUCTURE										
1	16 457	1 984	5 072	2 564	2 780	1 907	1 082	694	374	3.0
2 or more	686	256	288	67	9	25	41	—	—	1.8
Mobile home or trailer	388	67	151	91	48	21	10	—	—	2.3
COMPLETE BATHROOMS										
1 and 1 1/2	15 565	2 049	4 927	2 450	2 541	1 773	996	559	270	2.8
2 and 2 1/2	1 369	85	327	169	253	175	161	128	71	3.9
3 or more	163	14	42	22	13	36	24	6	6	3.8
None or also used by another household	430	146	193	50	29	—	—	7	5	1.9
HOUSEHOLD COMPOSITION										
Two-or-more-person households	15 224	...	5 511	2 722	2 837	1 953	1 133	694	374	3.3
Male head, wife present, no nonrelatives	13 391	...	4 623	2 371	2 562	1 798	1 061	650	326	3.4
Under 25 years	441	...	94	215	106	22	4	—	—	3.1
25 to 34 years	2 499	...	182	423	882	616	245	129	22	4.2
35 to 44 years	2 883	...	142	290	706	645	518	362	220	5.0
45 to 64 years	5 608	...	2 545	1 246	809	481	293	150	84	2.7
65 years and over	1 960	...	1 660	197	59	34	5	—	—	2.1
Other male head	487	...	216	118	58	51	14	19	11	3.2
Under 65 years	337	...	110	90	48	45	14	—	—	3.2
65 years and over	150	...	106	28	10	6	—	—	—	2.5
Female head	1 346	...	672	233	217	104	58	25	37	2.2
Under 65 years	978	...	391	182	195	99	49	25	37	3.0
65 years and over	368	...	281	51	22	5	9	—	—	2.2
One-person households	2 307	2 307	...	...	...	...	...	...	...	1.0
VALUE-INCOME RATIO										
Specified owner occupied ¹	16 152	1 930	4 971	2 529	2 726	1 872	1 072	688	364	3.0
Less than 1.5	6 189	265	1 721	1 167	1 076	825	527	373	235	3.4
1.5 to 1.9	3 357	139	928	533	791	460	274	178	75	3.6
2.0 to 2.4	2 214	187	645	340	440	352	152	78	20	3.3
2.5 to 2.9	1 220	111	475	248	157	106	66	53	4	2.6
3.0 to 3.9	941	178	427	116	111	56	22	22	4	2.2
4.0 or more	2 133	997	760	125	136	68	26	5	16	1.6
Not computed	98	53	15	—	15	5	5	—	5	...
Renter occupied housing units	6 639	2 267	1 844	1 066	651	396	182	131	102	2.1
BEDROOMS										
None	689	630	59	—	—	—	—	—	—	1.0
1	2 456	1 186	1 015	149	42	26	38	—	—	1.5
2	2 260	364	701	602	457	118	—	—	18	2.6
3 or more	1 215	20	95	184	182	276	241	162	55	5.0
YEAR STRUCTURE BUILT										
1969 to March 1970	88	11	19	37	4	11	6	—	—	...
1965 to 1968	589	152	248	99	38	45	7	—	—	2.1
1960 to 1964	277	33	122	41	35	33	10	—	—	2.4
1950 to 1959	438	68	138	139	51	26	13	—	3	2.6
1940 to 1949	537	127	169	101	88	25	9	—	6	2.3
1939 or earlier	4 710	1 876	1 148	649	435	256	144	109	93	1.9
UNITS IN STRUCTURE										
1	2 443	307	608	512	393	284	140	114	85	3.1
2	1 147	265	443	216	111	72	16	13	11	2.2
3 and 4	1 103	500	261	177	113	23	19	4	6	1.7
5 to 9	653	363	214	60	10	6	—	—	—	1.4
10 to 19	376	186	100	59	13	11	7	—	—	1.5
20 or more	894	646	203	39	6	—	—	—	—	1.2
Mobile home or trailer	23	—	15	3	5	—	—	—	—	...
COMPLETE BATHROOMS										
1 and 1 1/2	5 770	1 753	1 703	1 045	591	333	127	118	100	2.2
2 or more	141	13	44	30	18	19	10	—	7	3.0
None or also used by another household	726	519	113	41	27	6	7	6	7	1.2
HOUSEHOLD COMPOSITION										
Two-or-more-person households	4 372	...	1 844	1 066	651	396	182	131	102	2.8
Male head, wife present, no nonrelatives	3 119	...	1 277	765	490	289	148	71	79	2.9
Under 25 years	773	...	362	270	112	23	6	—	—	2.6
25 to 34 years	917	...	196	293	201	123	76	16	12	3.4
35 to 44 years	420	...	71	50	66	95	49	40	49	4.7
45 to 64 years	615	...	326	99	97	43	17	15	18	2.4
65 years and over	394	...	322	53	14	5	—	—	—	2.1
Other male head	250	...	175	17	21	—	—	—	—	2.2
Under 65 years	228	...	153	17	21	—	—	—	—	...
65 years and over	22	...	22	—	—	—	—	—	—	2.2
Female head	1 003	...	392	284	140	82	34	54	17	2.9
Under 65 years	925	...	330	273	135	82	34	54	17	3.0
65 years and over	78	...	62	11	5	—	—	—	—	...
One-person households	2 267	2 267	...	...	...	...	...	...	...	1.0
GROSS RENT AS PERCENTAGE OF INCOME										
Specified renter occupied ²	6 556	2 267	1 829	1 039	636	384	173	126	102	2.1
Less than 10 percent	462	170	144	73	35	30	5	5	—	1.9
10 to 14 percent	1 244	335	384	223	114	102	27	40	19	2.2
15 to 19 percent	1 027	245	280	163	163	105	33	11	27	2.5
20 to 24 percent	790	174	257	157	106	39	27	11	23	2.4
25 to 34 percent	918	274	302	167	81	34	35	19	6	2.1
35 percent or more	1 777	944	378	201	117	58	28	34	17	1.4
Not computed	338	125	84	59	20	16	18	6	10	2.0

¹Limited to one-family homes on less than 10 acres and no business on property.

²Excludes one-family homes on 10 acres or more.

Table B-9. Duration of Vacancy for Year-Round Vacant for Sale and Vacant for Rent Housing Units: 1970

(Data based on sample, see text. For minimum base for derived figures (percent, median, etc.) and meaning of symbols, see text)

Waterloo					Waterloo				
	Total	Less than 2 months	2 up to 6 months	6 months or more		Total	Less than 2 months	2 up to 6 months	6 months or more
Vacant for sale -----					Vacant for rent -----				
	184	77	66	41		560	402	107	51
ROOMS					ROOMS				
1 to 3 rooms -----	9	5	--	4	1 room -----	33	24	9	--
4 rooms -----	36	8	17	11	2 rooms -----	74	57	12	5
5 rooms -----	60	31	25	4	3 rooms -----	207	143	40	24
6 rooms -----	35	13	18	4	4 rooms -----	138	104	29	5
7 rooms or more -----	44	20	6	18	5 rooms -----	49	40	--	9
					6 rooms -----	19	12	3	4
					7 rooms or more -----	40	22	14	4
PLUMBING FACILITIES					PLUMBING FACILITIES				
With all plumbing facilities -----	176	73	62	41	With all plumbing facilities -----	458	315	97	46
Lacking some or all plumbing facilities -----	8	4	4	--	Lacking some or all plumbing facilities -----	102	87	10	5
BEDROOMS					BEDROOMS				
None and 1 -----	35	18	--	17	None -----	57	17	40	--
2 -----	69	--	52	17	1 -----	152	135	17	--
3 -----	86	52	34	--	2 -----	140	103	37	--
4 or more -----	52	18	17	17	3 or more -----	118	80	--	38
YEAR STRUCTURE BUILT					YEAR STRUCTURE BUILT				
1969 to March 1970 -----	34	21	8	5	1969 to March 1970 -----	42	37	5	--
1960 to 1968 -----	25	8	9	8	1960 to 1968 -----	32	32	--	--
1950 to 1959 -----	22	5	13	4	1950 to 1959 -----	38	16	14	8
1949 or earlier -----	103	43	36	24	1949 or earlier -----	448	317	88	43
UNITS IN STRUCTURE					UNITS IN STRUCTURE				
1 -----	176	77	66	33	1 -----	175	94	47	34
2 or more -----	8	--	--	8	2 to 4 -----	175	148	24	3
					5 to 9 -----	76	48	24	4
					10 to 19 -----	45	36	4	5
					20 or more -----	89	76	8	5
HEATING EQUIPMENT					RENT ASKED				
Steam or hot water -----	--	--	--	--	Specified vacant for rent²				
Warm-air furnace -----	167	72	58	37	Less than \$50 -----	51	29	17	5
Built-in electric units -----	--	--	--	--	\$50 to \$59 -----	80	49	10	21
Floor, wall, or pipeless furnace -----	--	--	--	--	\$60 to \$79 -----	168	119	44	5
Other means -----	17	5	8	4	\$80 to \$99 -----	109	79	18	12
None -----	--	--	--	--	\$100 to \$119 -----	63	53	10	--
					\$120 to \$149 -----	26	22	--	4
					\$150 to \$199 -----	47	47	--	--
					\$200 or more -----	4	4	--	--
					Median rent asked -----	\$77	\$81	...	...
SALES PRICE ASKED									
Specified vacant for sale¹									
Less than \$5,000 -----	176	77	66	33					
\$5,000 to \$9,999 -----	4	4	--	--					
\$10,000 to \$14,999 -----	41	28	13	--					
\$15,000 to \$19,999 -----	54	10	20	24					
\$20,000 to \$24,999 -----	25	4	21	--					
\$25,000 to \$29,999 -----	14	14	--	--					
\$30,000 to \$34,999 -----	34	17	12	5					
\$35,000 to \$49,999 -----	4	--	--	--					
\$50,000 or more -----	4	--	--	4					
Median price asked -----	\$14 000	...	...	...		

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Table B-10. Sales Price Asked and Rent Asked for Year-Round Vacant Housing Units: 1970

(Data based on sample, see text. For meaning of symbols, see text)

Waterloo	Sales price asked - Vacant for sale ¹							Rent asked - Vacant for rent ²						
	Total	Less than \$10,000	\$10,000 to \$14,999	\$15,000 to \$19,999	\$20,000 to \$24,999	\$25,000 to \$34,999	\$35,000 or more	Total	Less than \$60	\$60 to \$79	\$80 to \$99	\$100 to \$149	\$150 to \$199	\$200 or more
Total -----	176	45	54	25	14	34	4	548	131	168	109	89	47	4
PLUMBING FACILITIES														
With all plumbing facilities -----	225	71	69	17	17	34	17	391	20	112	116	72	71	--
Lacking some or all plumbing facilities -----	--	--	--	--	--	--	--	76	37	39	--	--	--	--
BEDROOMS														
None and 1 -----	18	18	--	--	--	--	--	209	37	76	59	20	17	--
2 -----	69	18	51	--	--	--	--	140	--	55	17	34	34	--
3 -----	86	17	18	17	17	17	17	80	20	--	40	--	20	--
4 or more -----	52	18	--	--	--	17	17	38	--	20	--	18	--	--
YEAR STRUCTURE BUILT														
1969 to March 1970 -----	34	--	--	4	4	26	--	42	5	--	--	17	16	4
1960 to 1968 -----	25	4	4	5	4	4	4	32	--	--	--	12	20	--
1950 to 1959 -----	22	--	13	5	--	4	--	38	4	14	9	11	--	--
1949 or earlier -----	95	41	37	11	6	--	--	436	122	154	100	49	11	--
UNITS IN STRUCTURE														
1 -----	...	...	...	...	...	...	...	163	27	66	33	27	10	--
2 to 4 -----	...	...	...	...	...	...	...	175	50	51	41	33	--	--
5 to 19 -----	...	...	...	...	...	...	...	121	41	18	21	19	18	4
20 or more -----	...	...	...	...	...	...	...	89	13	33	14	10	19	--
INCLUSION OF UTILITIES IN RENT														
All utilities included -----	...	...	...	...	...	...	...	209	72	74	31	32	--	--
Some or no utilities included -----	...	...	...	...	...	...	...	339	59	94	78	57	47	4

¹Limited to one-family homes on less than 10 acres and no business on property. ²Excludes one-family homes on 10 acres or more.

Appendix A.—AREA CLASSIFICATIONS

USUAL PLACE OF RESIDENCE ..	App-1
COUNTIES	App-1
PLACES	App-1
STANDARD METROPOLITAN STATISTICAL AREAS	App-1

USUAL PLACE OF RESIDENCE

In accordance with census practice dating back to 1790, each person enumerated in the 1970 census was counted as an inhabitant of his usual place of residence, which is generally construed to mean the place where he lives and sleeps most of the time. This place is not necessarily the same as his legal residence, voting residence, or domicile. In the vast majority of cases, however, the use of these different bases of classification would produce substantially the same statistics although there may be appreciable differences for a few areas.

The implementation of this practice has resulted in the establishing of residence rules for certain categories of persons whose usual place of residence is not immediately clear. Furthermore, this practice means that persons were not always counted as residents of the place where they happened to be found by the census enumerators. Persons without a usual place of residence were, however, counted where they were enumerated. Detailed information on residence rules is given in the 1970 Population Census PC(1)-A reports.

COUNTIES

The primary divisions of the States are, in general, termed counties, but in Louisiana these divisions are known as parishes. There are no counties in Alaska; in this State, statistical areas called census divisions were developed

for general statistical purposes through the cooperation of the State and the Census Bureau and are treated as county equivalents. In four States (Maryland, Missouri, Nevada, and Virginia), there are one or more cities which are independent of any county organization and thus constitute primary divisions of their States.

PLACES

Two types of places are recognized in the census reports, incorporated places and unincorporated places. Incorporated places are political units incorporated as cities, boroughs, towns, and villages except for (a) boroughs in Alaska and (b) towns in the New England States, New York, and Wisconsin. Unincorporated places are closely settled population centers without corporate limits for which the Census Bureau has delineated boundaries. Each place so delineated possesses a definite nucleus of residences and has its boundaries drawn to include, if feasible, all the surrounding closely settled area. Unincorporated places are identified with the letter "U."

STANDARD METROPOLITAN STATISTICAL AREAS

The Bureau of the Census recognizes 243 standard metropolitan statistical areas (SMSA's) in the United States and 4 in Puerto Rico, making a total of 247 in the 1970 census. These include the 231 SMSA's as defined and named in the Bureau of the Budget publication, **Standard Metropolitan Statistical Areas: 1967**, U.S. Government Printing Office, Washington, D.C. 20402. Since 1967, 16 SMSA's have been added, of which two were defined in January 1968 and an additional 14 were defined in February

1971 on the basis of the results of the 1970 census. Changes in SMSA boundaries or titles made after February 1971 are not recognized in this series of reports. SMSA's are defined by the Office of Management and Budget (formerly Bureau of the Budget).

Except in the New England States, a standard metropolitan statistical area is a county or group of contiguous counties which contains at least one city of 50,000 inhabitants or more, or "twin cities" with a combined population of at least 50,000. In addition to the county or counties containing such a city or cities, contiguous counties are included in an SMSA if, according to certain criteria, they are socially and economically integrated with the central city. In the New England States, SMSA's consist of towns and cities instead of counties. Each SMSA must include at least one central city, and the complete title of an SMSA identifies the central city or cities. For a detailed description of the criteria used in defining SMSA's, see the Bureau of the Budget publication cited above.

The figures for central cities shown in this report may differ from those shown in the Housing Census HC(1)-A and HC(1)-B reports. In those reports, if a central city of an SMSA is an extended city (so designated because it has extended its boundaries to include territory essentially rural in character), the figures shown for the central city were restricted to the urban portion of the city. In addition, parts of central cities outside the SMSA boundaries were excluded from the central city tabulations. In this report, however, figures for central cities refer to the entire population and housing within the legal city boundaries, including any rural parts of the city or parts outside the SMSA

Appendix B.—DEFINITIONS AND EXPLANATIONS OF SUBJECT CHARACTERISTICS

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GENERAL

Self-enumeration and census questionnaire.—As stated in the introductory text of this report, the 1970 census was conducted primarily through self-enumeration. Furthermore, census takers were instructed to read the questions directly from the questionnaire in their telephone and personal visit interviews. The questionnaire pages containing the housing questions asked on a 100-percent basis and the additional questions asked on a sample basis, as well as the page of the respondent instruction sheet which relates to these questions, are reproduced on pages App-10 to App-13. The definitions and explanations given below for each subject are, to a considerable extent, drawn from various technical and procedural materials used in the collection of the data. This material helped the enumerative personnel to understand more fully the intent of each question and thus to resolve problem or unusual cases. Also included is certain explanatory information to assist the user in the proper utilization of the statistics.

Comparability with 1960 data.—

Although the 1970 data are generally comparable with the data collected in 1960, certain changes have been introduced. The 1960 inquiry regarding owner occupancy has been subdivided to show a separate category for cooperatives and condominiums in 1970. The 1960 question on cooking equipment was broadened in 1970 to cover "complete kitchen facilities"; i.e., an installed sink with piped water, a range or cookstove, and a mechanical refrigerator. On the other hand, the 1960 question on condition of housing unit (i.e., sound, deteriorating, or dilapidated) was eliminated because of serious problems with response reliability.

Items which were added to the 1970 questionnaire are dishwasher and owned second home. The 1960 inquiry on television has been subdivided to provide separate information on television sets which can receive UHF broadcasts. The 1970 inquiry on radios is limited to battery-operated sets including car radios, whereas the 1960 inquiry covered radio sets of all kinds located in the unit. Data on television sets and radios are not given in this report; statistics on these appliances, however, are presented in the 1970 Housing Census, HC(1)-B reports.

There have also been changes in the scope of some of the tabulations. The tabulations on value and contract rent refer to slightly different sets of housing units in 1970 than in 1960. Summarized generally, the difference is that the 1970 data exclude units on places of 10 acres or more whereas the 1960 data exclude units on farms; more specific information can be obtained by comparing the value and rent definitions in the present report with those in 1960 Housing Census Volume I.

Data on elevator in structure were collected for all geographic areas in 1970. In 1960, statistics on elevator in structure were collected only for large places; that is, places which had a population of 50,000 or more in 1950 or in an interim census.

Separate data on a number of subjects are presented for occupied units with Negro head of household. In 1960, this type of tabulation related to the total of all household heads other than white; Negro household heads constituted 95 percent of this total in 1960 for the Nation as a whole, but this proportion varied widely among areas.

Separate data are also shown in this report for housing units occupied by heads of Spanish heritage, that is, household heads of Spanish language or Spanish surname in five Southwestern States (Arizona, California, Colorado, New Mexico, and Texas), heads of Puerto Rican birth or parentage in New York, New Jersey, and Pennsylvania, and heads of Spanish language in all other States. In 1960, household heads of Spanish surname were identified in the five Southwestern States and Puerto Rican heads of households were identified in all other States. More information on the 1970 definition is given in this report and in the 1970 Population Census Series PC(1)-C reports; the 1960 definition is more fully explained in the 1960 Census of Housing Volume I reports.

LIVING QUARTERS

Living quarters are classified in the census as either housing units or group quarters. Usually, living quarters are in structures intended for residential use (e.g., a one-family home, apartment house, hotel or motel, boarding house,

mobile home or trailer, etc.). Living quarters may also be in structures intended for nonresidential use (e.g., the rooms in a warehouse where a watchman lives), as well as in tents, caves, old railroad cars, etc.

Housing units.—A housing unit is a house, an apartment, a group of rooms, or a single room occupied or intended for occupancy as separate living quarters. Separate living quarters are those in which the occupants do not live and eat with any other persons in the structure and which have either (1) direct access from the outside of the building or through a common hall or (2) complete kitchen facilities for the exclusive use of the occupants. The occupants may be a single family, one person living alone, two or more families living together, or any other group of related or unrelated persons who share living arrangements (except as described in the section on group quarters). For vacant units, the criteria of separateness, direct access, and complete kitchen facilities for exclusive use are applied to the intended occupants, whenever possible. If the information cannot be obtained, the criteria are applied to the previous occupants. Both occupied and vacant housing units are included in the housing inventory, except that mobile homes, trailers, tents, caves, boats, railroad cars, and the like, are included only if they are occupied.

Group quarters.—Group quarters are living arrangements for institutional inmates or for other groups containing five or more persons not related to the person in charge. Group quarters are located most frequently in institutions, boarding houses, military barracks, college dormitories, fraternity and sorority houses, hospitals, mona-

steries, convents, and ships. A house or apartment is considered group quarters if it is shared by the person in charge and five or more persons unrelated to him, or if there is no person in charge, by six or more unrelated persons. Information on the housing characteristics of group quarters was not collected in the census.

Rules for mobile homes, hotels, rooming houses, etc.—Mobile homes or trailers, tents, boats, or railroad cars are not enumerated if vacant, used only for business, or used only for vacations.

Occupied rooms or suites of rooms in hotels, motels, and similar places are classified as housing units only when occupied by permanent residents; i.e., persons who consider the hotel as their usual place of residence or have no usual place of residence elsewhere. Vacant rooms or suites of rooms are classified as housing units only in those hotels, motels, and similar places in which 75 percent or more of the accommodations are occupied by permanent residents.

If any of the occupants in a rooming or boarding house live and eat separately from everyone else in the building and have either direct access or complete kitchen facilities for exclusive use, their quarters are classified as separate housing units. The remaining quarters are combined. If the combined quarters contain four or fewer roomers unrelated to the head, they are classified as one housing unit; if the combined quarters contain five or more roomers unrelated to the head or person in charge, they are classified as group quarters. In a dormitory, residence hall, or similar place, living quarters of the supervisory staff and other employees are separate housing units if they satisfy the housing unit

criteria; other living quarters are considered group quarters.

Institutions.—Living quarters of staff personnel are separate housing units if they satisfy the housing unit criteria. Other living quarters are considered group quarters.

OCCUPANCY AND VACANCY CHARACTERISTICS

Occupied housing units.—A housing unit is classified as occupied if a person or group of persons is living in it at the time of enumeration or if the occupants are only temporarily absent—for example, on vacation. However, if the persons staying in the unit have their usual place of residence elsewhere, the unit is classified as vacant.

A household consists of all the persons who occupy a housing unit. By definition, therefore, the count of occupied housing units is the same as the count of households in the 1970 Census of Population reports. In some cases, however, there may be small differences in the counts resulting from processing procedures.

Race.—The classification by race shown here refers to the race of the head of the household occupying the housing unit. Detailed characteristics of units with Negro head of household are presented in separate tables for SMSA's, cities or places having a Negro population of 25,000 or more. The concept of race as used by the Census Bureau does not denote clear-cut scientific definitions of biological stock. The data represent essentially self-classification by people according to the race with which they identify themselves.

Spanish heritage.—The inquiries in the 1970 census permit the identification of housing units occupied by heads of Spanish heritage by various means: birthplace, birthplace of parents, language, and surname. The specific types of identification are given below. A more detailed explanation is given in the 1970 Population Census PC(1)-C reports.

Puerto Rican birth or parentage.—Household heads of Puerto Rican birth or parentage are identified in the three Middle Atlantic States: New York, New Jersey, and Pennsylvania.

Spanish language or Spanish surname.—In five Southwestern States—Arizona, California, Colorado, New Mexico, and Texas—household heads of Spanish language or Spanish surname are identified. (A household head is classified as of Spanish language if the head or his wife reported Spanish as his or her mother tongue, i.e., the language spoken at home when the person was a child.)

Spanish language.—In all other States and the District of Columbia, household heads of Spanish language (as defined above) are identified.

Detailed characteristics of units with heads of Spanish heritage are presented in separate tables for SMSA's, cities or places having a population of 25,000 or more for the particular Spanish-heritage group.

Tenure.—(See facsimiles of questionnaire item H9 and instructions on pages App-10 and App-13.) A housing unit is "owner occupied" if the owner or co-owner lives in the unit, even if it is mortgaged or not fully paid for. A

cooperative or condominium unit is "owner occupied" only if the owner or co-owner lives in it. All other occupied units are classified as "renter occupied," including units rented for cash rent and those occupied without payment of cash rent.

Year moved into unit.—Data on year moved into unit are based on the information reported for the head of the household. The question refers to the year of latest move. Thus, if the head moved back into a unit he had previously occupied, the year of his latest move was to be reported; if he moved from one apartment to another in the same building, the year he moved into his present unit was to be reported. The intent is to establish the year the present occupancy by the head began. The year the head moves is not necessarily the same year other members of the household move, although in the great majority of cases the entire household moves at the same time.

Vacant housing units.—A housing unit is vacant if no one is living in it at the time of enumeration, unless its occupants are only temporarily absent. In addition, a vacant unit may be one which is occupied entirely by persons who have a usual residence elsewhere.

New units not yet occupied are classified as vacant housing units if construction has reached a point where all exterior windows and doors are installed and final usable floors are in place. Vacant units are excluded if unfit for human habitation; that is, if the roof, walls, windows, or doors no longer protect the interior from the elements, or if there is positive evidence (such as a sign on the house or in the block) that the unit is to be demolished or is condemned. Also

excluded are quarters being used entirely for nonresidential purposes, such as a store or an office, or quarters used for the storage of business supplies or inventory, machinery, or agricultural products.

Vacancy status.—(See facsimile of questionnaire item C on page App-10.) Vacant housing units are classified as either "seasonal and migratory" or "year-round." "Seasonal" units are intended for occupancy during only certain seasons of the year. Included are units intended for recreational use, such as beach cottages and hunting cabins, and vacant units held for herders and loggers. "Migratory" units are vacant units held for occupancy by migratory labor employed in farm work during the crop season. "Year-round" vacant housing units are available or intended for occupancy at any time of the year. A unit in a resort area which is usually occupied on a year-round basis is considered year-round. A unit used only occasionally throughout the year is also considered year-round.

This report presents statistics for "year-round" vacant units on the market for sale or for rent. Excluded are "seasonal and migratory" vacant units, as well as "year-round" vacant units sold or rented but not yet occupied by the new owner or renter, units held for the occasional use of the owner, and units held off the market for other reasons.

Vacant for sale.—Vacant year-round units "for sale" also include vacant units in a cooperative or condominium building if the individual units are offered for sale only.

Vacant for rent.—Vacant year-round units "for rent" also include vacant units offered either for rent or for sale.

Duration of vacancy.—(See facsimile of questionnaire item D on page App-10.) The statistics on duration of vacancy refer to the length of time (in months) from the date the last occupants moved from the unit to the date of enumeration. The data, therefore, do not provide a direct measure of the total length of time units remain vacant. For newly constructed units which have never been occupied, the duration of vacancy is counted from the date construction was completed. For recently converted or merged units, the time is reported from the date conversion or merger was completed.

UTILIZATION CHARACTERISTICS

Persons.—All persons occupying the housing unit are counted. These persons include not only occupants related to the head of the household but also any lodgers, roomers, boarders, partners, wards, foster children, and resident employees who share the living quarters of the household head. The data on "persons" show the number of housing units occupied by the specified number of persons.

Units with one or more roomers, boarders, or lodgers are shown as a separate category. Not included as "roomers, boarders, or lodgers" are servants who live in, companions, partners, etc.

Rooms.—(See facsimiles of questionnaire item H4 and instructions on pages App-10 and App-13.) The statistics on "rooms" are in terms of the number of housing units with specified number of rooms. The intent of this question was to count the number of whole rooms used for living purposes. As stated on the questionnaire and instruction sheet, bathrooms, foyers,

utility rooms, unfinished attics or basements, etc., are not included in the count of rooms.

Persons per room.—"Persons per room" is computed for each occupied unit by dividing the number of persons in the unit by the number of rooms in the unit. The figures shown refer, therefore, to the number of housing units having the specified ratio of persons per room.

Bedrooms.—(See facsimile of questionnaire item H26 on page App-12.) The number of bedrooms in the unit is the count of rooms used mainly for sleeping, even if also used for other purposes. Rooms reserved for sleeping such as guest rooms, even though used infrequently, are counted as bedrooms. On the other hand, rooms used mainly for other purposes, even though used also for sleeping, such as a living room with a hideaway bed, are not considered bedrooms. A housing unit consisting of only one room, such as one-room efficiency apartment, is classified, by definition, as having no bedroom.

STRUCTURAL AND PLUMBING CHARACTERISTICS

Direct access.—(See facsimiles of questionnaire item H2 and instructions on pages App-10 and App-13.) A housing unit is regarded as having direct access if there is (1) a direct entrance from the outdoors, or (2) an entrance from a hall, lobby, or vestibule which is usually used by the occupants of more than one unit or by the general public.

Complete kitchen facilities.—(See facsimiles of questionnaire item H3 and instructions on pages App-10 and App-13.) A unit has complete kitchen facilities when it has all three of the

following: (1) an installed sink with piped water, (2) a range or cookstove, and (3) a mechanical refrigerator.

All kitchen facilities must be located in the structure. They need not be in the same room. Quarters with only portable cooking equipment are not considered as having a range or cookstove. An icebox is not included as a mechanical refrigerator.

The kitchen facilities are for the exclusive use of the occupants (shown on the questionnaire as "for this household only") when they are used only by the occupants of one housing unit, including lodgers or other unrelated persons living in the unit. When a structure consists of only one housing unit, all equipment located inside the structure is classified, by definition, for exclusive use.

Year structure built.—(See facsimile of questionnaire item H15 on page App-11.) Year structure built refers to when the building was first constructed, not when it was remodeled, added to, or converted. The figures relate to the number of units in structures built during the specified periods and in existence at the time of enumeration.

Units in structure.—(See facsimiles of questionnaire item H16 and instructions on pages App-11 and App-13.) In the determination of the number of units in a structure, all housing units, both occupied and vacant, were counted. The statistics are presented in terms of the number of housing units in structures of specified type and size, not in terms of the number of residential structures.

A structure is a separate building that either has open space on all sides or is separated from other structures by dividing walls that extend from ground to roof. Structures containing

only one housing unit are further classified as detached or attached (as explained on the questionnaire and instruction sheet).

Mobile homes and trailers are shown as a separate category. When one or more rooms have been added to a mobile home or trailer it is classified as a one-family house. If, however, only a porch or shed has been added, it is still counted as a mobile home or trailer.

The data on units in structure shown in this report may differ from the comparable figures in the HC(1)-A report. The answers to item H16 on the sample questionnaire made it possible in the HC(2) tabulations to correctly classify as mobile homes or trailers those which were incorrectly classified as one-family houses or as housing units in multiunit structures in the HC(1)-A tabulations.

Elevator in structure.—(See facsimiles of questionnaire item H24 and instructions on pages App-12 and App-13.) Statistics on elevator in structure are presented in terms of the number of housing units in structures with four stories or more which have a passenger elevator. Units are in a "walk-up" structure of four stories or more if the structure has no passenger elevator or if the only elevator service is for freight.

Plumbing facilities.—(See facsimiles of questionnaire items H5, H6, and H7 and instructions on pages App-10 and App-13.) The category "with all plumbing facilities" consists of units which have hot and cold piped water inside the structure as well as a flush toilet and a bathtub or shower inside the structure for the exclusive use of the occupants of the unit. "Lacking some or all plumbing facilities" means that the unit does not have all three

specified plumbing facilities (hot and cold piped water, as well as flush toilet and bathtub or shower inside the structure), or that the toilet or bathing facilities are also for the use of the occupants of other housing units.

Complete bathrooms.—(See facsimile of questionnaire item H21 on page App-11.) A housing unit is classified as having a complete bathroom if it has a room with a flush toilet and bathtub or shower for the exclusive use of the occupants of the unit and a wash basin, as well as piped hot water in the structure. (Although the instructions on the questionnaire do not specify that a complete bathroom must have hot water, this requirement was applied during the processing of the data in an edit combining the items on complete bathrooms and piped water in structure.) A half bathroom has either a flush toilet or a bathtub or shower for exclusive use, but does not have all the facilities for a complete bathroom.

The category "none or also used by another household" consists of units with no bathroom facilities, units with only a half bathroom, and units with bathroom facilities which are also for the use of the occupants of other housing units.

EQUIPMENT, FUELS, AND APPLIANCES

Heating equipment.—(See facsimiles of questionnaire item H14 and instructions on pages App-11 and App-13.) "Steam or hot water" refers to a central heating system in which heat from steam or hot water is delivered through radiators or other outlets. "Warm-air furnace" refers to a central system which provides warm air through ducts leading to various rooms; central heat pumps are

included in this category. "Built-in electric units" are permanently installed in floors, walls, or ceilings. A "floor, wall, or pipeless furnace" delivers warm air to the room right above the furnace or to the room(s) on one or both sides of the wall in which the furnace is installed. "Other means" includes room heaters with or without flue, fireplaces, stoves, and portable heaters of all types.

For vacant units from which the heating equipment had been removed, the equipment used by the last occupants was to be reported.

Air conditioning.—(See facsimiles of questionnaire item H22 and instructions on pages App-11 and App-13.) Air conditioning is defined as the cooling of air by a refrigeration unit; excluded are evaporative coolers, fans, or blowers which are not connected to a refrigeration unit. A central system is a central installation which air-conditions the entire housing unit. In an apartment building, a central system may cool all apartments in the building, each apartment may have its own central system, or there may be several systems, each providing central air conditioning for a group of apartments. A central installation with individual room controls is a central air-conditioning system. A room unit is an individual air conditioner which is installed in a window or an outside wall and is generally intended to cool one room, although it may sometimes be used to cool more than one room.

Automobiles available.—(See facsimiles of questionnaire item H23 and instructions on pages App-11 and App-13.) Statistics on automobiles available represent the number of passenger automobiles, including station wagons, which are owned or regularly used by any member of the household and

which are ordinarily kept at home. Taxicabs, pickups, or larger trucks were not to be counted. The figures include leased automobiles and company-owned automobiles kept at home. The statistics, therefore, do not reflect the number of automobiles privately owned or the number of households owning automobiles.

Appliances.—(See facsimiles of questionnaire items H27 and instructions on pages App-12 and App-13.)

Automatic clothes washing machine.—This category describes a machine that washes, rinses, and damp dries in the same tub; washer-dryer combinations are included in this group.

Clothes dryer.—A clothes dryer is a mechanical appliance in which clothes are dried by heated air. A unit with a washer-dryer combination is classified as having a clothes dryer (as well as an automatic clothes washing machine.)

Dishwasher.—This category includes both built-in and portable dishwashers.

Home food freezer.—A home food freezer is an appliance, separate from the refrigerator, designed for freezing food and for storing frozen food.

Owned second home.—(See facsimiles of questionnaire item H30 and instructions on pages App-12 and App-13.) A second home may be a single-family house, vacation cottage, hunting cabin, ski lodge, etc., which is owned and held for use sometime during the year by the owner or members of his household. Second homes may also be owned in partnership with members of a different household. The figures include second homes which are some-

times rented or leased on a short-term basis to other persons but are principally held for the owner's occasional use during the year.

The statistics refer to the number of households that own (one or more) second homes. The data, therefore, do not reflect the number of owned second homes.

FINANCIAL CHARACTERISTICS

Value.—(See facsimiles of questionnaire item H11 and instructions on pages App-10 and App-13.) Value is the respondent's estimate of how much the property (house and lot) would sell for if it were for sale. The statistics on value are shown only for one-family houses on less than 10 acres without a commercial establishment or medical office on the property. The value tabulations also exclude mobile homes and trailers and units in cooperatives and condominiums.

As stated in the section on "units in structure," certain mobile homes and trailers were incorrectly classified as one-family houses in the HC(1)-A tabulations. In the HC(2) reports, the number of specified owner-occupied (one-family) units and the value tabulations correctly exclude the misclassified mobile homes and trailers; these tend to be at the lower end of the value distribution. As a result, the data on value shown in this report may differ from the comparable statistics in the HC(1)-A report.

Sales price asked.—For vacant units, the sales price is the amount asked for the property at the time of enumeration. The statistics on sales price are shown only for vacant for sale one-family houses on less than 10 acres without a commercial establishment or medical office on the property.

Gross rent.—(See facsimiles of questionnaire items H12 and H13 and instructions on pages App-10, 11, and 13.) The computed rent termed "gross rent" is the contract rent plus the estimated average monthly cost of utilities (electricity, gas, water) and fuels (oil, coal, kerosene, wood, etc.), if these items are paid for by the renter (or paid for him by someone else, such as a relative, welfare agency, or friend) in addition to rent. Contract rent is the monthly rent agreed to, or contracted for, regardless of any furnishings, utilities, or services that may be included. Thus, gross rent is intended to eliminate differentials which result from varying practices with respect to the inclusion of utilities and fuel as part of the rental payment. The estimated costs of water and fuels are reported on a yearly basis but they are converted to monthly figures in the computation process.

The statistics on rent exclude one-family houses on ten acres or more. Renter units occupied without payment of cash rent are shown separately as "no cash rent" in the rent tabulations.

Rent asked.—For vacant units, the rent is the amount asked for the unit at the time of enumeration. The data are for vacant year-round units for rent, excluding one-family houses on ten acres or more. In table 10, data are provided for two kinds of vacant-for-rent units—those for which the rent includes payment for all utilities and fuel, and those for which the rent includes only some or none of the utilities and fuel. See section on "Gross rent" above for discussion of utilities and fuel.

Value-income ratio.—The value-income ratio is computed by dividing the value

of the housing unit by the total income in 1969 of the family or primary individual. The ratio is presented for the same owner-occupied units for which value was tabulated; thus, the statistics on value-income ratio reflect the exclusion of certain owner-occupied units. The ratio was computed separately for each unit and was rounded to the nearest tenth. In reporting value, respondents were asked to select an appropriate class interval. The midpoints of the value intervals were used in the computation of the value-income ratio, except that a mean of \$3,500 was assigned for values less than \$5,000 and a mean of \$60,000 was assigned for values of \$50,000 or more. For income, the dollar amounts were used. Units occupied by families or primary individuals who reported no income or a net loss comprise the category "not computed."

Gross rent as percentage of income.—The yearly gross rent (monthly gross rent multiplied by 12) is expressed as a percentage of the total income in 1969 of the family or primary individual. The percentage is presented for the same renter-occupied units for which gross rent was tabulated; thus, the statistics on gross rent as percentage of income reflect the exclusion of certain renter-occupied units. The percentage was computed separately for each unit and was rounded to the nearest whole number. For gross rent, the dollar amounts were used in the computation except that \$999 was assigned for monthly rentals of \$1,000 or more. For income, the dollar amounts were used. Units for which no cash rent is paid and units occupied by families or primary individuals who reported no income or a net loss comprise the category "not computed."

HOUSEHOLD CHARACTERISTICS

Head of household.—One person in each household is designated as the "head," that is, the person who is regarded as the head by the members of the household. However, if a married woman living with her husband is reported as the head, her husband was considered the head for the purpose of simplifying the tabulations.

Household composition.—Statistics by age of head are presented separately for two-or-more person households and for one-person households. Households having two or more persons are further subdivided as follows:

Male head, wife present, no non-relatives.—Each household in this group consists of the head and his wife, and other persons, if any, all of whom are related to him.

Other male head.—This category includes households with male head, wife present, with non-relatives living with them; male heads who are married, but with wife absent because of separation or other reason where husband and wife maintain separate residences; and male heads who are widowed, divorced, or single.

Female head.—This group comprises households with female heads regardless of their marital status. Included are female heads with no spouse and female heads whose husbands are living away from their families, as for example, husbands in the Armed Forces living on military installations.

Households consisting of only one person are shown separately as "one-person households" and are not included in the subcategories "other male head" and "female head."

Nonrelative.—A nonrelative of the head is any person in the household who is not related to the head by blood, marriage, or adoption. Roomers, boarders, lodgers, partners, resident employees, wards, and foster children are included in this category.

Family or primary individual.—Housing units are occupied by either "families" or "primary individuals." The term "family" refers to the head of a household and all (one or more) other persons living in the same household who are related to the head by blood, marriage, or adoption. If the head lives alone or with nonrelatives only, then the head is considered a "primary individual."

Married couples related to the head of a family are included in the family and are not considered as separate families. A lodger, servant, or other person unrelated to the head is considered a member of the household but not of the family.

In the statistics on household composition, families are always included in one of the three major groups of two-or-more person households. Primary individuals with nonrelatives living with them are tabulated as "other male head" or "female head." Primary individuals living alone are always tabulated as "one-person households."

Income in 1969.—Income is the sum of the amounts reported for wage and salary income, net self-employment income, Social Security or railroad retirement income, public assistance or welfare income, and all other income. The figures represent the amount of income received before deductions for personal income taxes, Social Security, bond purchases, union dues, health insurance premiums, Medicare deductions, etc.

In this report, the statistics relate to the income of the family or primary individual occupying the housing unit; that is, the sum of the income of the head of the family and all other members of the family 14 years old and over or the income of the primary individual. Incomes of persons living in the unit but not related to the head of the household are not included in this sum. Although the income statistics cover the calendar year 1969, the characteristics of the household refer to the time of enumeration (April 1970). Thus, the income of the family does not include amounts received by persons who were members of the family during all or part of the calendar year 1969 if these persons no longer resided with the family at the time of the census. On the other hand, family income includes amounts reported by related persons who did not reside with the family during 1969 but who were members of the family at the time of enumeration. For most families, however, the income reported was received by persons who were members of the family throughout 1969.

Wage or salary income is defined as the total money earnings received for work performed as an employee at any time during the calendar year 1969. It includes wages, salary, pay from Armed Forces, commissions, tips, piece rate payments, and cash bonuses earned. Net self-employment income is defined as net money income (gross receipts minus operating expenses) received from a business, farm, professional enterprise, or partnership in which the person was engaged on his own account.

Social Security or railroad retirement income includes cash receipts of Social Security pensions, survivors' benefits, permanent disability insurance payments, and special benefit payments made by the Social Security Administration. Cash receipt of retire-

ment, disability, and survivors' benefit payments made by the U.S. Government under the Railroad Retirement Act are also included. Public assistance income includes cash receipts of payments made under the following public assistance programs: Aid to families with dependent children, old age assistance, general assistance, aid to the blind, and aid to the permanently and totally disabled. Separate payments received for hospital or other medical care are not included.

Income from all other sources includes money income received from sources such as interest; dividends; net income (or loss) from property rentals; net receipts from roomers or boarders; veteran's payments; public or private pensions; periodic receipts from insurance policies or annuities; unemployment insurance benefits; workmen's compensation cash benefits; net royalties; periodic payments from estates and trust funds; alimony or child support from persons who are not members of the household; net gambling gains; nonservice scholarships and fellowships; and money received for transportation and/or subsistence by persons participating in special governmental training programs, e.g., under the Manpower Development and Training Act.

Receipts from the following sources were not included as income: Money received from the sale of property (unless the recipient was engaged in the business of selling such property); the value of income "in kind" such as food produced and consumed in the home or free living quarters; withdrawal of bank deposits; money borrowed; tax refunds; exchange of money between relatives living in the same household; gifts and lump-sum inheritances, insurance payments, and other types of lump-sum receipts. (A more detailed discussion of income is given in the 1970 Population Census, PC(1)-C reports.)

FACSIMILES OF THE HOUSING PAGES IN THE 1970 CENSUS QUESTIONNAIRES
(Questions on this page appeared on both the 15-percent and 5-percent questionnaires)

<p>A. How many living quarters, occupied and vacant, are at this address?</p> <p><input type="radio"/> One</p> <p><input type="radio"/> 2 apartments or living quarters</p> <p><input type="radio"/> 3 apartments or living quarters</p> <p><input type="radio"/> 4 apartments or living quarters</p> <p><input type="radio"/> 5 apartments or living quarters</p> <p><input type="radio"/> 6 apartments or living quarters</p> <p><input type="radio"/> 7 apartments or living quarters</p> <p><input type="radio"/> 8 apartments or living quarters</p> <p><input type="radio"/> 9 apartments or living quarters</p> <p><input type="radio"/> 10 or more apartments or living quarters</p> <p><input type="radio"/> This is a mobile home or trailer</p> <p>• ■ • ■</p> <p><i>Answer these questions for your living quarters</i></p> <p>H1. Is there a telephone on which people in your living quarters can be called?</p> <p><input type="radio"/> Yes — What is the number? _____</p> <p style="text-align: right;"><i>Phone number</i></p> <p><input type="radio"/> No</p> <p>H2. Do you enter your living quarters—</p> <p><input type="radio"/> Directly from the outside or through a common or public hall?</p> <p><input type="radio"/> Through someone else's living quarters?</p> <p>H3. Do you have complete kitchen facilities? <i>Complete kitchen facilities are a sink with piped water, a range or cook stove, and a refrigerator.</i></p> <p><input type="radio"/> Yes, for this household only</p> <p><input type="radio"/> Yes, but also used by another household</p> <p><input type="radio"/> No complete kitchen facilities for this household</p> <p>H4. How many rooms do you have in your living quarters? <i>Do not count bathrooms, porches, balconies, foyers, halls, or half-rooms.</i></p> <p><input type="radio"/> 1 room <input type="radio"/> 6 rooms</p> <p><input type="radio"/> 2 rooms <input type="radio"/> 7 rooms</p> <p><input type="radio"/> 3 rooms <input type="radio"/> 8 rooms</p> <p><input type="radio"/> 4 rooms <input type="radio"/> 9 rooms or more</p> <p><input type="radio"/> 5 rooms</p> <p>H5. Is there hot and cold piped water in this building?</p> <p><input type="radio"/> Yes, hot and cold piped water in this building</p> <p><input type="radio"/> No, only cold piped water in this building</p> <p><input type="radio"/> No piped water in this building</p> <p>H6. Do you have a flush toilet?</p> <p><input type="radio"/> Yes, for this household only</p> <p><input type="radio"/> Yes, but also used by another household</p> <p><input type="radio"/> No flush toilet</p> <p>■</p> <p>H7. Do you have a bathtub or shower?</p> <p><input type="radio"/> Yes, for this household only</p> <p><input type="radio"/> Yes, but also used by another household</p> <p><input type="radio"/> No bathtub or shower</p> <p>H8. Is there a basement in this building?</p> <p><input type="radio"/> Yes</p> <p><input type="radio"/> No, built on a concrete slab</p> <p><input type="radio"/> No, built in another way (include mobile homes and trailers)</p>	<p>H9. Are your living quarters—</p> <p><input type="radio"/> Owned or being bought by you or by someone else in this household? <i>Do not include cooperatives and condominiums here.</i></p> <p><input type="radio"/> A cooperative or condominium which is owned or being bought by you or by someone else in this household?</p> <p><input type="radio"/> Rented for cash rent?</p> <p><input type="radio"/> Occupied without payment of cash rent?</p> <p>H10a. Is this building a one-family house?</p> <p><input type="radio"/> Yes, a one-family house</p> <p><input type="radio"/> No, a building for 2 or more families or a mobile home or trailer</p> <p>b. If "Yes"—Is this house on a place of 10 acres or more, or is any part of this property used as a commercial establishment or medical office?</p> <p><input type="radio"/> Yes, 10 acres or more</p> <p><input type="radio"/> Yes, commercial establishment or medical office</p> <p><input type="radio"/> No, none of the above</p> <p>H11. If you live in a one-family house which you own or are buying— What is the value of this property; that is, how much do you think this property (house and lot) would sell for if it were for sale?</p> <p><input type="radio"/> Less than \$5,000</p> <p><input type="radio"/> \$5,000 to \$7,499</p> <p><input type="radio"/> \$7,500 to \$9,999</p> <p><input type="radio"/> \$10,000 to \$12,499</p> <p><input type="radio"/> \$12,500 to \$14,999</p> <p><input type="radio"/> \$15,000 to \$17,499</p> <p><input type="radio"/> \$17,500 to \$19,999</p> <p><input type="radio"/> \$20,000 to \$24,999</p> <p><input type="radio"/> \$25,000 to \$34,999</p> <p><input type="radio"/> \$35,000 to \$49,999</p> <p><input type="radio"/> \$50,000 or more</p> <p style="font-size: small; border: 1px solid black; padding: 2px;"><i>If this house is on a place of 10 acres or more, or if any part of this property is used as a commercial establishment or medical office, do not answer this question.</i></p> <p>H12. Answer this question if you pay rent for your living quarters.</p> <p>a. If rent is paid by the month— What is the monthly rent?</p> <p>Write amount here → \$ _____ .00 (Nearest dollar)</p> <p><i>and</i></p> <p>Fill one circle</p> <p><input type="radio"/> Less than \$30</p> <p><input type="radio"/> \$30 to \$39</p> <p><input type="radio"/> \$40 to \$49</p> <p><input type="radio"/> \$50 to \$59</p> <p><input type="radio"/> \$60 to \$69</p> <p><input type="radio"/> \$70 to \$79</p> <p><input type="radio"/> \$80 to \$89</p> <p><input type="radio"/> \$90 to \$99</p> <p><input type="radio"/> \$100 to \$119</p> <p><input type="radio"/> \$120 to \$149</p> <p><input type="radio"/> \$150 to \$199</p> <p><input type="radio"/> \$200 to \$249</p> <p><input type="radio"/> \$250 to \$299</p> <p><input type="radio"/> \$300 or more</p> <p>b. If rent is not paid by the month— What is the rent, and what period of time does it cover?</p> <p>\$ _____ .00 per _____</p> <p style="text-align: center;"><i>(Nearest dollar) (Week, half-month, year, etc.)</i></p>	<p>FOR CENSUS ENUMERATOR'S USE ONLY</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:50%;">a4. Block number</th> <th style="width:50%;">a5. Serial number</th> </tr> </thead> <tbody> <tr><td>0</td><td>0</td></tr> <tr><td>1</td><td>1</td></tr> <tr><td>2</td><td>2</td></tr> <tr><td>3</td><td>3</td></tr> <tr><td>4</td><td>4</td></tr> <tr><td>5</td><td>5</td></tr> <tr><td>6</td><td>6</td></tr> <tr><td>7</td><td>7</td></tr> <tr><td>8</td><td>8</td></tr> <tr><td>9</td><td>9</td></tr> </tbody> </table> <p>B. Type of unit or quarters</p> <p>Occupied</p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p>Vacant</p> <p><input type="radio"/> Regular</p> <p><input type="radio"/> Usual residence elsewhere</p> <p>Group quarters</p> <p><input type="radio"/> First form</p> <p><input type="radio"/> Continuation</p> <p><i>For a vacant unit, also fill C, D, A, H2 to H8, and H10 to H12</i></p> <p>C. Vacancy status</p> <p>Year round—</p> <p><input type="radio"/> For rent</p> <p><input type="radio"/> For sale only</p> <p><input type="radio"/> Rented or sold, not occupied</p> <p><input type="radio"/> Held for occasional use</p> <p><input type="radio"/> Other vacant</p> <p><input type="radio"/> Seasonal</p> <p><input type="radio"/> Migratory</p> <p>■</p> <p>D. Months vacant</p> <p><input type="radio"/> Less than 1 month</p> <p><input type="radio"/> 1 up to 2 months</p> <p><input type="radio"/> 2 up to 6 months</p> <p><input type="radio"/> 6 up to 12 months</p> <p><input type="radio"/> 1 year up to 2 years</p> <p><input type="radio"/> 2 years or more</p> <p>C/O <input type="radio"/> <input type="radio"/></p>	a4. Block number	a5. Serial number	0	0	1	1	2	2	3	3	4	4	5	5	6	6	7	7	8	8	9	9
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APPENDIX B—Continued

FACSIMILES OF THE HOUSING PAGES IN THE 1970 CENSUS QUESTIONNAIRES
(Percent indicates sample size)

<p>H13. Answer question H13 if you pay rent for your living quarters. In addition to the rent entered in H12, do you also pay for—</p> <p>a. Electricity? <input type="radio"/> Yes, average monthly cost is \$ _____ .00 Average monthly cost <input type="radio"/> No, included in rent <input type="radio"/> No, electricity not used</p> <p>b. Gas? <input type="radio"/> Yes, average monthly cost is \$ _____ .00 Average monthly cost <input type="radio"/> No, included in rent <input type="radio"/> No, gas not used</p> <p>c. Water? <input type="radio"/> Yes, yearly cost is \$ _____ .00 Yearly cost <input type="radio"/> No, included in rent or no charge</p> <p>d. Oil, coal, kerosene, wood, etc.? <input type="radio"/> Yes, yearly cost is \$ _____ .00 Yearly cost <input type="radio"/> No, included in rent <input type="radio"/> No, these fuels not used</p>	<p>H19. Do you get water from—</p> <p><input type="radio"/> A public system (city water department, etc.) or private company? <input type="radio"/> An individual well? <input type="radio"/> Some other source (a spring, creek, river, cistern, etc.)?</p>
<p>H14. How are your living quarters heated? Fill one circle for the kind of heat you use most.</p> <p><input type="radio"/> Steam or hot water system <input type="radio"/> Central warm air furnace with ducts to the individual rooms, or central heat pump <input type="radio"/> Built-in electric units (permanently installed in wall, ceiling, or baseboard) <input type="radio"/> Floor, wall, or pipeless furnace <input type="radio"/> Room heaters with flue or vent, burning gas, oil, or kerosene <input type="radio"/> Room heaters without flue or vent, burning gas, oil, or kerosene (not portable) <input type="radio"/> Fireplaces, stoves, or portable room heaters of any kind In some other way—Describe _____ <input type="radio"/> None, unit has no heating equipment</p>	<p>H20. Is this building connected to a public sewer?</p> <p><input type="radio"/> Yes, connected to public sewer <input type="radio"/> No, connected to septic tank or cesspool <input type="radio"/> No, use other means</p>
<p>H15. About when was this building originally built? Mark when the building was first constructed, not when it was remodeled, added to, or converted.</p> <p><input type="radio"/> 1969 or 1970 <input type="radio"/> 1950 to 1959 <input type="radio"/> 1965 to 1968 <input type="radio"/> 1940 to 1949 <input type="radio"/> 1960 to 1964 <input type="radio"/> 1939 or earlier</p>	<p>H21. How many bathrooms do you have? A complete bathroom is a room with flush toilet, bathtub or shower, and wash basin with piped water. A half bathroom has at least a flush toilet or bathtub or shower, but does not have all the facilities for a complete bathroom.</p> <p><input type="radio"/> No bathroom, or only a half bathroom <input type="radio"/> 1 complete bathroom <input type="radio"/> 1 complete bathroom, plus half bath(s) <input type="radio"/> 2 complete bathrooms <input type="radio"/> 2 complete bathrooms, plus half bath(s) <input type="radio"/> 3 or more complete bathrooms</p>
<p>H16. Which best describes this building? Include all apartments, flats, etc., even if vacant.</p> <p><input type="radio"/> A one-family house detached from any other house <input type="radio"/> A one-family house attached to one or more houses <input type="radio"/> A building for 2 families <input type="radio"/> A building for 3 or 4 families <input type="radio"/> A building for 5 to 9 families <input checked="" type="radio"/> A building for 10 to 19 families <input type="radio"/> A building for 20 to 49 families <input type="radio"/> A building for 50 or more families <input type="radio"/> A mobile home or trailer Other— Describe _____</p>	<p>H22. Do you have air-conditioning?</p> <p><input type="radio"/> Yes, 1 individual room unit <input type="radio"/> Yes, 2 or more individual room units <input type="radio"/> Yes, a central air-conditioning system <input type="radio"/> No</p>
<p>H17. Is this building—</p> <p><input type="radio"/> On a city or suburban lot?— Skip to H19 <input type="radio"/> On a place of less than 10 acres? <input type="radio"/> On a place of 10 acres or more?</p>	<p>H23. How many passenger automobiles are owned or regularly used by members of your household? Count company cars kept at home.</p> <p><input type="radio"/> None <input type="radio"/> 1 automobile <input type="radio"/> 2 automobiles <input type="radio"/> 3 automobiles or more</p>
<p>H18. Last year, 1969, did sales of crops, livestock, and other farm products from this place amount to—</p> <p><input type="radio"/> Less than \$50 (or None) <input type="radio"/> \$2,500 to \$4,999 <input type="radio"/> \$50 to \$249 <input type="radio"/> \$5,000 to \$9,999 <input type="radio"/> \$250 to \$2,499 <input type="radio"/> \$10,000 or more</p>	

15 and 5 percent

15 percent

APPENDIX B—Continued

FACSIMILES OF THE HOUSING PAGES IN THE 1970 CENSUS QUESTIONNAIRES
(Percent indicates sample size)

<p>H13. Answer question H13 if you pay rent for your living quarters. In addition to the rent entered in H12, do you also pay for—</p> <p>a. Electricity? <input type="radio"/> Yes, average monthly cost is → \$ _____ .00 <i>Average monthly cost</i> <input type="radio"/> No, included in rent <input type="radio"/> No, electricity not used</p> <p>b. Gas? <input type="radio"/> Yes, average monthly cost is → \$ _____ .00 <i>Average monthly cost</i> <input type="radio"/> No, included in rent <input type="radio"/> No, gas not used</p> <p>c. Water? <input checked="" type="checkbox"/> <input type="radio"/> Yes, yearly cost is → \$ _____ .00 <i>Yearly cost</i> <input type="radio"/> No, included in rent or no charge</p> <p>d. Oil, coal, kerosene, wood, etc.? <input type="radio"/> Yes, yearly cost is → \$ _____ .00 <i>Yearly cost</i> <input type="radio"/> No, included in rent <input type="radio"/> No, these fuels not used</p> <p>H14. How are your living quarters heated? Fill <u>one</u> circle for the kind of heat you use most.</p> <p><input type="radio"/> Steam or hot water system <input type="radio"/> Central warm air furnace with ducts to the individual rooms, or central heat pump <input type="radio"/> Built-in electric units (permanently installed in wall, ceiling, or baseboard) <input checked="" type="checkbox"/> <input type="radio"/> Floor, wall, or pipeless furnace <input type="radio"/> Room heaters with flue or vent, burning gas, oil, or kerosene <input type="radio"/> Room heaters without flue or vent, burning gas, oil, or kerosene (not portable) <input type="radio"/> Fireplaces, stoves, or portable room heaters of any kind In some other way—Describe → _____ <input type="radio"/> None, unit has no heating equipment</p> <p>H15. About when was this building originally built? Mark when the building was first constructed, not when it was remodeled, added to, or converted.</p> <p><input type="radio"/> 1969 or 1970 <input type="radio"/> 1950 to 1959 <input type="radio"/> 1965 to 1968 <input checked="" type="radio"/> 1940 to 1949 <input type="radio"/> 1960 to 1964 <input type="radio"/> 1939 or earlier</p> <p>H16. Which best describes this building? Include all apartments, flats, etc., even if vacant.</p> <p><input type="radio"/> A one-family house detached from any other house <input type="radio"/> A one-family house attached to one or more houses <input type="radio"/> A building for 2 families <input type="radio"/> A building for 3 or 4 families <input type="radio"/> A building for 5 to 9 families <input checked="" type="radio"/> A building for 10 to 19 families <input checked="" type="checkbox"/> <input type="radio"/> A building for 20 to 49 families <input type="radio"/> A building for 50 or more families <input type="radio"/> A mobile home or trailer Other— Describe _____</p> <p>H17. Is this building—</p> <p><input type="radio"/> On a city or suburban lot?— Skip to H24 <input type="radio"/> On a place of less than 10 acres? <input type="radio"/> On a place of 10 acres or more?</p> <p>H18. Last year, 1969, did sales of crops, livestock, and other farm products from this place amount to—</p> <p><input type="radio"/> Less than \$50 (or None) <input checked="" type="checkbox"/> <input type="radio"/> \$2,500 to \$4,999 <input type="radio"/> \$50 to \$249 <input type="radio"/> \$5,000 to \$9,999 <input type="radio"/> \$250 to \$2,499 <input type="radio"/> \$10,000 or more</p>	<p>H24a. How many stories (floors) are in this building?</p> <p><input type="radio"/> 1 to 3 stories <input type="radio"/> 4 to 6 stories <input type="radio"/> 7 to 12 stories <input checked="" type="radio"/> 13 stories or more</p> <p>b. If 4 or more stories— Is there a passenger elevator in this building? <input type="radio"/> Yes <input type="radio"/> No</p> <p>H25a. Which fuel is used most for cooking? <input checked="" type="checkbox"/></p> <p>Gas { From underground pipes serving the neighborhood. <input type="radio"/> Coal or coke <input type="radio"/> Bottled, tank, or LP <input type="radio"/> Wood <input type="radio"/> Electricity <input type="radio"/> Other fuel .. <input type="radio"/> Fuel oil, kerosene, etc. <input type="radio"/> No fuel used <input type="radio"/></p> <p>b. Which fuel is used most for house heating? <input checked="" type="checkbox"/></p> <p>Gas { From underground pipes serving the neighborhood. <input type="radio"/> Coal or coke <input type="radio"/> Bottled, tank, or LP <input type="radio"/> Wood <input type="radio"/> Electricity <input type="radio"/> Other fuel .. <input type="radio"/> Fuel oil, kerosene, etc. <input type="radio"/> No fuel used <input type="radio"/></p> <p>c. Which fuel is used most for water heating? <input checked="" type="checkbox"/></p> <p>Gas { From underground pipes serving the neighborhood. <input type="radio"/> Coal or coke <input type="radio"/> Bottled, tank, or LP <input type="radio"/> Wood <input type="radio"/> Electricity <input type="radio"/> Other fuel .. <input type="radio"/> Fuel oil, kerosene, etc. <input type="radio"/> No fuel used <input type="radio"/></p> <p>H26. How many bedrooms do you have? Count rooms used mainly for sleeping even if used also for other purposes.</p> <p><input type="radio"/> No bedroom <input type="radio"/> 3 bedrooms <input type="radio"/> 1 bedroom <input checked="" type="radio"/> 4 bedrooms <input type="radio"/> 2 bedrooms <input type="radio"/> 5 bedrooms or more</p> <p>H27a. Do you have a clothes washing machine? <input type="radio"/> Yes, automatic or semi-automatic <input type="radio"/> Yes, wringer or separate spinner <input type="radio"/> No</p> <p>b. Do you have a clothes dryer? <input type="radio"/> Yes, electrically heated <input type="radio"/> Yes, gas heated <input checked="" type="radio"/> No</p> <p>c. Do you have a dishwasher (built-in or portable)? <input type="radio"/> Yes <input type="radio"/> No</p> <p>d. Do you have a home food freezer which is separate from your refrigerator? <input type="radio"/> Yes <input type="radio"/> No</p> <p>H28a. Do you have a television set? Count only sets in working order.</p> <p><input type="radio"/> Yes, one set <input type="radio"/> Yes, two or more sets <input type="radio"/> No</p> <p>b. If "Yes"— Is any set equipped to receive UHF broadcasts, that is, channels 14 to 83? <input type="radio"/> Yes <input checked="" type="radio"/> No</p> <p>H29. Do you have a battery-operated radio? Count car radios, transistors, and other battery-operated sets in working order or needing only a new battery for operation.</p> <p><input type="radio"/> Yes, one or more <input type="radio"/> No</p> <p>H30. Do you (or any member of your household) own a second home or other living quarters which you occupy sometime during the year? <input type="radio"/> Yes <input type="radio"/> No</p>
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15 and 5 percent

5 percent

FACSIMILE OF THE RESPONDENT INSTRUCTIONS FOR THE HOUSING QUESTIONS IN THE 1970 CENSUS

If you live in an apartment building and you do not know the answers to questions H14, H15, H16, and H25, ask the person who runs your building (for example, the manager, rental agent, superintendent, janitor, etc.).

- A.** Mark only one circle. This address means the house or building number where your living quarters are located.
- H1.** Mark **Yes** and enter telephone number, even if the telephone is in another apartment or building.
- H2.** Mark the second circle only if you must go through someone else's living quarters to get to your own.
- H3.** The kitchen sink, stove, and refrigerator do not have to be in the same room.
Also used by another household means that someone else who lives in the same building, but is not a member of your household, also uses the equipment. Mark this circle also if the occupants of living quarters now vacant would also use the equipment.
- H4.** Count only whole rooms used for living purposes, such as living rooms, dining rooms, kitchens, bedrooms, finished recreation rooms, family rooms, etc. Do not count kitchenettes, strip or pullman kitchens; utility rooms; or unfinished attics, basements, or other space used for storage.
- H5.** Mark hot water even if you have it only part of the time.
- H6, H7.** See instructions for H3 for meaning of **Also used by another household**.
- H8.** A house has a **basement** if there is enclosed space in which persons can walk upright under all or part of the building. A house on a **concrete slab** has no basement and no air or crawl space below it. A house built in another way is one directly on the ground or resting on a foundation or posts to provide crawl space.
- H9.** **Owned or being bought** means that the living quarters are owned outright or are mortgaged. Also mark **Owned or being bought** if the living quarters are owned but the land is rented.
 Mark **Rented for cash rent** if any money rent is paid. Rent may be paid by persons who are not members of your household.
Occupied without payment of cash rent includes, for example, a parsonage, a house or apartment provided free of rent by the owner, or a house or apartment occupied by a janitor or caretaker in exchange for services.
- H10.** A **commercial establishment** is easily recognized from the outside; for example, a grocery store or barber shop. A **medical office** is a doctor's or dentist's office regularly visited by patients. If your house is on a place of 10 acres or more and also contains a commercial establishment or medical office, mark **Yes, 10 acres or more**.
- H11.** Include the value of the house, the land it is on, and any other structures on the same property. If the house is owned but the land is rented, estimate the combined value of the house and the land.
- H12.** Report the rent agreed to or contracted for, even if the furnishings, utilities, or services are included.
 a. If you pay rent by the month, write in the amount of rent and fill one circle.
 b. If rent is not paid by the month, answer both parts of b. For example, \$20 per week, \$1,500 per year, etc.
- H13.** If exact costs are not known, estimate as closely as possible. Report amounts even if bills are unpaid or are paid by someone else. If the bills include utilities or fuel used also by another apartment or a business establishment, estimate the amounts for your own living quarters. If gas and electricity are billed together, enter the combined amount on the electricity line and bracket () the two utilities.

- H14.** This question refers to the type of heating equipment and not to the fuel used.
 A heat pump is sometimes known as a **reverse cycle** system.
 A floor, wall, or pipeless furnace delivers warm air to the room right above the furnace or to the room(s) on one or both sides of the wall in which the furnace is installed. These furnaces do not have ducts leading to other rooms.
 Any heater that you plug into an electric outlet should be counted as a **portable room heater**—not a built-in electric unit.
- H16.** Count all occupied and vacant living quarters in the house or building, but not stores or office space.
Detached means there is open space on all sides, or the house is joined only to a shed or garage. **Attached** means that the house is joined to another house or building by at least one wall which goes from ground to roof.
- H17.** A city or suburban lot is usually located in a city, a community, or any built-up area outside a city or community, and is not larger than the house and yard. All living quarters in apartment buildings, including garden-type apartments in the city or suburbs, are considered on a **city or suburban lot**.
 A **place** is a farm, ranch, or any other property, other than a city or suburban lot, on which this residence is located.
- H18.** Fill the circle for the total (gross) amount of money received from the sales of crops, livestock, and other farm products produced on this place during the calendar year 1969.
- H19.** If a well provides water for six or more houses or apartments, mark a **public system**. If a well provides water for five or fewer houses or apartments, mark an **individual well**.
- H20.** A **public sewer** is operated by a government body or a private organization. A **septic tank or cesspool** is an underground tank or pit used for disposal of sewage.
- H22.** Count only equipment with a refrigeration unit to cool the air. Mark an **individual room unit** for air conditioners which are installed in a window or in an outside wall and are used to cool one or more rooms. Mark a **central system** for a central installation which cools the entire house or apartment.
- H23.** Do not count cars permanently out of working order. Also do not count taxicabs, pickups, or larger trucks.
- H24a.** Do not count a basement as a story.
 b. Do not count elevators used only for freight.
- H25.** **Gas from underground pipes** is piped in from a central system such as a public utility company or a municipal government. **Bottled, tank, or LP gas** is stored in tanks which are refilled or exchanged when empty. **Other fuel** includes any fuel not separately listed, for example, purchased steam, fuel briquettes, waste material, etc.
- H27.** Mark the **Yes** circle whether you own the appliance or it is provided as part of the equipment in your living quarters. Do not count coin-operated equipment or appliances in storage.
- H28.** Count any set equipped to receive UHF (ultra high frequency) broadcasts, even if there are no such broadcasts in your area. Include sets that can be tuned directly to channels 14 to 83 and sets that receive UHF broadcasts by means of a converter. Also include sets that receive UHF broadcasts through a community antenna (CATV) or master antenna.
- H29.** A battery-operated radio is one that can be run on batteries and does not need to be plugged into an electric socket. Include battery-operated sets owned by any member of the household.
- H30.** Do not count vacation trailers, tents, or boats. Also do not count second homes used only for investment purposes.

Appendix C.—ACCURACY OF THE DATA

SOURCES OF ERROR.....	App-14
EDITING OF UNACCEPTABLE DATA	App-14
SAMPLE DESIGN	App-14
RATIO ESTIMATION	App-15
SAMPLING VARIABILITY	App-16

SOURCES OF ERROR

Human and mechanical errors occur in any mass statistical operation such as a decennial census. Errors during the data collection phase can include failure to obtain required information from respondents, obtaining incorrect or inconsistent information, and recording information in the wrong place or incorrectly. Errors can also occur during the field review of the enumerator's work, the clerical handling of the questionnaires, the manual editing and coding operations, and the various stages of the electronic processing of the material. Careful efforts are made in every census to keep the errors in each step at an acceptably low level. Quality control and check measures are utilized throughout the census operation. As was done for the 1950 and 1960 censuses, evaluative material on many aspects of the 1970 census will be published as soon as the appropriate data are accumulated and analyzed. A major concern in the evaluation work is to ascertain, insofar as possible, the degree of completeness of the count of both population and housing units.

EDITING OF UNACCEPTABLE DATA

The objective of the processing operation is to produce a set of statistics that describes the Nation's housing as accurately and clearly as possible. To meet this objective, certain unacceptable entries were edited.

Whenever information was missing, an allocation procedure was used to assign an entry, thereby eliminating the need for a "not reported" category in the tabulations. The assignment was based on related information reported for the housing unit or on information reported for a similar unit in the immediate neighborhood. For example, if tenure for an occupied unit was omitted but a rental amount was reported, the computer automatically edited tenure to "rented for cash rent." On the other hand, if the unit was reported as rented but the amount of rent was missing, the computer automatically assigned the rent that was reported for the preceding renter-occupied unit.

A similar procedure was used when the information reported for an item was inconsistent with other information reported for the unit. For example, if a housing unit was enumerated as having no piped water but having both a bathtub (or shower) and flush toilet for the exclusive use of the occupants of the unit, the computer edited water supply to "hot and cold water," a category considered to be consistent with the reported bathing and toilet facilities.

Specific tolerances were established for the number of computer allocations that would be permitted. If the number of corrections was beyond tolerance, the questionnaires in which the errors occurred were clerically reviewed. If it was found that the errors resulted from damaged questionnaires, from improper micro-filming, from faulty reading by FOSDIC of undamaged questionnaires, or from other types of machine failure, the questionnaires were reprocessed.

The extent of allocations for non-responses and inconsistencies is given

for SMSA's and places in the allocation tables in the 1970 Population Census PC(1)-B and PC(1)-C reports, and in the Housing Census HC(1)-A and HC(1)-B reports.

SAMPLE DESIGN

For sample data collected in the 1970 census, the housing unit, including all its occupants, was the sampling unit; for persons in group quarters identified in advance of the census, it was the person. In non-mail areas, the enumerator canvassed his assigned area and listed all housing units in an address register sequentially in the order in which he first visited the units, whether or not he completed the interview. Every fifth line of the address register was designated as a sample line, and the housing units listed on these lines were included in the sample. Each enumerator was given a random line on which he was to start listing and the order of canvassing was indicated in advance, although the instructions allowed some latitude in the order of visiting addresses. In mail areas, the list of housing units was prepared prior to Census Day either by employing commercial mailing lists corrected through the cooperation of the post office or by listing the units in a process similar to that used in non-mail areas. As in other areas, every fifth housing unit on these lists was designated to be in the sample. In group quarters, all persons were listed and every fifth person was selected for the sample; as indicated in Appendix B, information on the housing characteristics of group quarters was not collected in the census.

This 20-percent sample was subdivided into a 15-percent and a 5-percent sample by designating every fourth 20-percent sample unit as a

member of the 5-percent sample. The remaining sample units became the 15-percent sample. Two types of sample questionnaires were used, one for the 5-percent and one for the 15-percent sample units. Some questions were included on both the 5-percent and 15-percent sample forms and therefore appear for a sample of 20 percent of the units in the census. Other items appeared on either the 15-percent or the 5-percent questionnaires. The sample rates for the various items appearing in this report are shown in table A.

Although the sampling procedure did not automatically insure an exact 20-percent sample of persons or housing units in each locality, the sample design was unbiased if carried through according to instructions; generally for larger areas the deviation from 20 percent was found to be quite small. Biases may have arisen, however, when the enumerator failed to follow his listing and sampling instructions exactly. Quality control procedures were used throughout the census process, and where there was clear evidence that the sampling proce-

dures were not properly followed, some enumerators' assignments were returned to the field for resampling. Estimates for the United States as a whole indicate that 19.6 percent of the total population and 19.7 percent of the total housing units were enumerated on sample questionnaires. The computation of these proportions excluded several classes of the population and housing units for which no attempt at sampling was made. These were the relatively small numbers of persons and housing units (in most States, less than one percent) added to the enumeration from the post-census post office check, the various supplemental forms, and the special check of vacant units. However, the ratio estimation procedure described below adjusts the sample data to reflect these classes of population and housing units.

TABLE A. Sample Rate for Subjects Included in This Report

Subject	Sample rate (percent)	Subject	Sample rate (percent)
OCCUPANCY CHARACTERISTICS		EQUIPMENT AND APPLIANCES	
Occupied housing units	20	Heating equipment	20
Tenure	20	Air conditioning	15
Race	20	Automobiles available	15
Spanish heritage	15	Second home	5
Year moved into unit	15	Clothes washing machine	5
		Clothes dryer	5
		Dishwasher	5
		Home food freezer	5
VACANCY CHARACTERISTICS		FINANCIAL CHARACTERISTICS	
Vacant for sale	20	Value	20
Vacant for rent	20	Sales price asked	20
Duration of vacancy	20	Gross rent	20
		Rent asked	20
		Inclusion of utilities	
		in rent	20
		Value-income ratio	20
		Gross rent as percentage	
		of income	20
UTILIZATION CHARACTERISTICS		HOUSEHOLD CHARACTERISTICS	
Number of rooms	20	Household composition	20
Size of household (persons)	20	Income	20
Persons per room	20		
Bedrooms	5		
PLUMBING CHARACTERISTICS			
Plumbing facilities	20		
Complete bathrooms	15		
STRUCTURAL CHARACTERISTICS			
Complete kitchen			
facilities	20		
Access	20		
Units in structure	20		
Mobile home or trailer	20		
Year structure built	20		
Elevator in structure	5		

RATIO ESTIMATION

The statistics based on 1970 census sample data are estimates made through the use of ratio estimation procedures which were applied separately for the 5-, 15-, and 20-percent samples. The first step in carrying through the ratio estimates was to establish the areas within which separate ratios were to be prepared. These are referred to as "weighting areas." For the 15- and 20-percent samples the weighting areas contained a minimum population size of 2,500. The weighting areas used for the 5-percent ratio estimate were larger areas having a minimum population size of 25,000 and comprising combinations of the weighting areas used for the 15- and 20-percent samples. Weighting areas were established by a mechanical operation on the computer and were defined to conform, as nearly as possible, to areas for which tabulations are produced. Where these areas do

not agree (primarily for smaller areas), there may be some differences between complete counts and sample estimates.

The ratio estimation process operated in two stages for occupied housing units, and in one stage for vacant units. The first stage for occupied units employed 18 household-type groups (the first of which was empty by definition); the second stage for occupied units used four groups: owner- and renter-occupied units, by race. The single stage for vacant units employed three groups: year-round vacant for sale, year-round vacant for rent, and other vacant.

Group

Occupied housing units:

STAGE I

	<i>Male Head With Own Children Under 18</i>
1	1-person household
2	2-person household
3	3-person household
.	.
.	.
6	6-or-more-person household
	<i>Male Head Without Own Children Under 18</i>
7-12	1-person to 6-or-more-person households
	<i>Female Head</i>
13-18	1-person to 6-or-more-person households

STAGE II

	<i>Owner Occupied</i>
19	Negro
20	Not Negro
	<i>Renter Occupied</i>
21	Negro
22	Not Negro

Vacant housing units:

23	Year-round vacant for sale
24	Year-round vacant for rent
25	Other vacant

At each stage, for each of the occupied housing groups, the ratio of the complete count to the weighted sample count of the housing units in the group was computed and applied to the weight of each sample unit in the group. This operation was performed for each of the 18 groups in the first stage, then for the four groups in the second stage. As a rule, the weighted sample counts within each of the 4 groups in the second stage for occupied units should agree with the complete counts for the weighting areas (close, although not exact consistency can be expected for the 18 groups in the first stage). Similarly, the weighted sample counts within each of the 3 groups in the single stage for vacant housing units should agree with the complete counts for the weighting area.

There are some exceptions to this general rule, however. As indicated above, there may be differences between the complete counts and sample estimates when the tabulation area is not made up of whole weighting areas. Furthermore, in order to increase the reliability, a separate ratio was not computed in a group whenever certain criteria pertaining to the complete count of housing units and the magnitude of the weight were not met. For example, for the 20-percent sample the complete count of units in a group had to exceed 70 units and the ratio of the complete count to the unweighted sample count could not exceed 20. Where these criteria were not met, groups were combined in a specific order until the conditions were met. Where this occurred, con-

sistency between the weighted sample and the complete counts would apply as indicated above for the combined group but not necessarily for each of the groups in the combination.

Each sample housing unit was assigned an integral weight to avoid the complications involved in rounding in the final tables. If, for example, the final weight for a group was 5.2, one-fifth of the units in the group (selected at random) were assigned a weight of 6 and the remaining four-fifths a weight of 5.

The estimates realize some of the gains in sampling efficiency that would have resulted had the population been stratified into the groups before sampling. The net effect is a reduction in both the sampling error and possible bias of most statistics below what would be obtained by weighting the results of the sample by a uniform factor (e.g., by weighting the 20-percent sample results by a uniform factor of 5). The reduction in sampling error will be trivial for some items and substantial for others. A by-product of this estimation procedure is that estimates for this sample are, in general, consistent with the complete count for the housing unit groups used in the estimation procedure. A more complete discussion of the technical aspects of these ratio estimates will be presented in a separate report.

SAMPLING VARIABILITY

The estimates from the 20-, 15-, and 5-percent sample tabulations are subject to sampling variability. The standard errors of these estimates can be approximated by using the data in tables B through D. The chances are about 2 out of 3 that the difference (due to sampling variability) between the sample estimate and the figure that would have been obtained from a

complete count is less than the standard error. The chances are about 19 out of 20 that the difference is less than twice the standard error and about 99 out of 100 that it is less than $2\frac{1}{2}$ times the standard error. The amount by which the estimated standard error must be multiplied to obtain other odds deemed more appropriate can be found in most statistical textbooks. The sampling errors may be obtained by using the factors shown in table D in conjunction with table B for absolute numbers and in conjunction with table C for percentages. These tables reflect the effect of simple response variance, but not of bias arising in the collection, processing and estimation steps nor of the correlated errors enumerators introduce; estimates of the magnitude of some of these factors in the total error are being evaluated and will be published at a later date.

Table B shows approximate standard errors of estimated numbers for most statistics based on the 20-percent sample. In determining the figures for this table, some aspects of the sample design, the estimation process, and the size of the area over which the data have been compiled are ignored. Table C shows standard errors of most percentages based on the 20-percent sample. Linear interpolation in tables B and C will provide approximate results that are satisfactory for most purposes. Table D provides a factor by which the standard errors shown in tables B or C should be multiplied to adjust for the effect of the sample size (i.e., whether a 15-percent or 5-percent sample) and the effect of the estimation procedure.

To estimate the standard error for a given characteristic, locate the factor in table D for the appropriate characteristic and the sample size used to tabulate the data, and multiply this

factor by the standard error found in table B or C. Where data are shown as cross-classifications of two characteristics, locate and use the larger factor. Similarly, if an item, although collected on one sample basis, has been tabulated for a smaller sample, use the factor appropriate for the smaller sample.

The standard errors estimated from these tables are not directly applicable to differences between two sample estimates. In order to estimate the standard error of a difference, the tables are to be used somewhat differently in the three following situations:

1. For a difference between the sample figure and one based on a complete count (e.g., arising from comparisons between sample statistics for 1970 and complete-count statistics for 1960 or 1950), the standard error is identical with the standard error of the 1970 estimate alone.
2. For a difference between two sample figures (that is, one from 1970 and the other from 1960, or both from the same census year), the standard error is approximately the square root of the sum of the squares of the standard errors of each estimate considered separately. This formula will represent the actual standard error quite accurately for the difference between estimates of the same characteristics in two different areas, or for the difference between separate and uncorrelated characteristics in the same area. If, however, there is a high positive correlation between the two characteristics, the formula will overestimate the true standard error. The approximate standard error for the 1970 sample figure is derived directly from tables B

through D. The standard error of a 1960 sample figure may be obtained from the relevant 1960 census report.

3. For a difference between two sample estimates, one of which represents a subclass of the other, the tables can be used directly with the difference considered as the sample estimate.

The sampling variability of the medians presented in certain tables (median rooms, median value, median gross rent, etc.) depends on the size of the base and on the distribution on which the median is based. An approximate method for measuring the reliability of an estimated median is to determine an interval about the estimated median such that there is a stated degree of confidence the true median lies within the interval. As the first step in estimating the upper and lower limits of the interval (that is, the confidence limits) about the median, compute one-half the number on which the median is based (designated $N/2$). From table B, following the method outlined in other parts of this section, compute the standard error of an estimated number equal to $N/2$. Subtract this standard error from $N/2$. Cumulate the frequencies (in the table on which the median is based) until the total first exceeds the difference between $N/2$ and its standard error, and by linear interpolation obtain a value corresponding to this number. In a corresponding manner, add the standard error to $N/2$, cumulate the frequencies in the table, and obtain a value in the table on which the median is based corresponding to the sum of $N/2$ and its standard error.

The chances are about 2 out of 3 that the median would lie between these two values. The range for 19 chances out of 20 and for 99 in 100

can be computed in a similar manner by multiplying the standard error by the appropriate factors before sub-

tracting from and adding to one-half the number reporting the characteristics. Interpolation to obtain the

values corresponding to these numbers gives the confidence limits for the median.

TABLE B. Approximate Standard Error of Estimated Number Based on 20-Percent Sample

(Range of 2 chances out of 3; for factors to be applied see table D and text)

Estimated number ¹	Number of housing units in area ²						
	10,000	25,000	100,000	250,000	1,000,000	2,500,000	4,000,000
50	15	15	15	15	15	15	15
100	20	20	20	20	20	20	20
250	30	30	30	30	30	30	30
500	45	45	45	45	45	45	45
1,000	60	60	65	65	65	65	65
2,500	90	95	100	100	100	100	100
5,000	100	130	140	140	140	140	140
10,000 .....	...	150	190	200	200	200	200
15,000 .....	...	150	230	240	240	240	240
25,000 .....	...	...	270	300	310	310	320
50,000 .....	...	...	320	400	440	440	440
75,000 .....	...	...	270	450	520	540	540
100,000 .....	...	...	...	490	600	620	630

¹ For estimated numbers larger than 100,000, the relative errors are somewhat smaller than for 100,000.

² An area is the smallest complete geographic area to which the estimate under consideration pertains. Thus, the area may be the standard metropolitan statistical area or the place. Housing units with Negro heads of household or Spanish heritage heads of household do not represent complete areas.

TABLE C. Approximate Standard Error of Estimated Percentage Based on 20-Percent Sample

(Range of 2 chances out of 3; for factors to be applied see table D and text)

Estimated percentage	Base of percentage						
	500	1,000	2,500	10,000	25,000	100,000	250,000
2 or 98	1.3	0.9	0.6	0.3	0.2	0.1	0.1
5 or 95	2.0	1.4	0.9	0.4	0.3	0.1	0.1
10 or 90	2.7	1.9	1.2	0.6	0.4	0.2	0.1
25 or 75	3.9	2.7	1.7	0.9	0.5	0.3	0.2
50	4.5	3.2	2.0	1.0	0.6	0.3	0.2

TABLE D. Factor to be Applied to Standard Errors

Characteristic ¹	Factor if sample rate is—			Characteristic ¹	Factor if sample rate is—		
	20 percent	15 percent	5 percent		20 percent	15 percent	5 percent
OCCUPANCY AND VACANCY CHARACTERISTICS				EQUIPMENT, FUELS, AND APPLIANCES			
Year moved into unit .....	...	1.1	...	Heating equipment	0.8	0.9	...
Duration of vacancy	0.8	...	1.7	Air conditioning .....	...	1.1	...
				Automobiles available .....	...	1.0	...
UTILIZATION CHARACTERISTICS				Appliances .....	...	...	1.9
Rooms	1.0	1.1	2.1				
Size of household (persons)	0.5	0.6	1.2	FINANCIAL CHARACTERISTICS			
Persons per room	0.4	0.5	0.9	Value	1.0	1.1	2.1
Bedrooms .....	...	...	2.1	Value-income ratio	1.0	1.2	...
				Gross rent	0.9	1.1	2.1
PLUMBING CHARACTERISTICS				Gross rent as percentage of income	1.0	1.2	...
Complete bathrooms .....	...	1.1	...	Sales price asked	1.1	...	2.5
Plumbing facilities	1.0	...	...	Rent asked	1.1	...	2.5
STRUCTURAL CHARACTERISTICS				HOUSEHOLD CHARACTERISTICS			
Units in structure	0.8	0.9	1.7	Household composition	0.6	0.7	...
Year structure built	0.9	1.0	...	Income in 1969	1.0	1.2	2.3
				ALL OTHERS	1.0	1.2	2.2

¹Tabulations of housing data for households with heads of Spanish heritage are based on the 15-percent sample. For characteristics of households with heads of Spanish heritage (tables 19 to 26), use the factors given for the 15-percent sample.

NOTE: In this report an item collected for the 20-percent sample may be cross-tabulated with other items based on the 15-percent or 5-percent samples. In such cases, locate the factor for both items in Table D for the smaller sample size. Use the larger of the two factors. For example, in Table 9, duration of vacancy (a 20-percent item) is cross-tabulated by number of bedrooms (a 5-percent item). The factor for duration of vacancy based on a 5-percent sample is 1.7 and for bedrooms it is 2.1. The factor of 2.1 should be used to adjust the standard errors since it is the larger of the two factors based on the 5-percent sample.

Appendix D.—PUBLICATION AND COMPUTER SUMMARY TAPE PROGRAM

The results of the 1970 Census of Population and Housing are being issued in the form of printed reports, microfiche copies of the printed reports, computer summary tapes, computer printouts, and microfilm. Listed below are short descriptions of the final report series and computer tapes, as currently planned. More detailed information on this program can be obtained by writing to the Publications Distribution Section, Bureau of the Census, Washington, D.C. 20233.

Housing Census Reports

Volume I.

HOUSING CHARACTERISTICS FOR STATES, CITIES, AND COUNTIES

This volume will consist of 58 "parts"—number 1 for the United States, numbers 2 through 52 for the 50 States and the District of Columbia in alphabetical order, and numbers 53 through 58 for Puerto Rico, Guam, Virgin Islands, American Samoa, Canal Zone, and Trust Territory of the Pacific Islands, respectively. Each part, which will be a separate clothbound book, will contain two chapters designated as A and B. Each chapter (for each of the 58 areas) will first be issued as an individual paperbound report in two series designated as HC(1)-A and B, respectively.

■ Series HC(1)-A. GENERAL HOUSING CHARACTERISTICS

Statistics on tenure, kitchen facilities, plumbing facilities, number of rooms, persons per room, units in structure, mobile home, telephone, value, contract rent, and vacancy status are presented for some or all of the following areas: States (by urban and rural residence), standard metropolitan statistical areas (SMSA's), urbanized areas, places of 1,000 inhabitants or more, and counties.

■ Series HC(1)-B. DETAILED HOUSING CHARACTERISTICS

Statistics are presented on a more detailed basis for the subjects included in the Series HC(1)-A reports, as well as on such additional subjects as year moved into unit, year structure built, basement, heating equipment, fuels, air conditioning, water and sewage, appliances, gross rent, and ownership of second home. Each subject is shown for some or all of the following areas: States (by urban, rural-nonfarm, and rural-farm residence), SMSA's, urbanized areas, places of 2,500 inhabitants or more, and counties (by rural and rural-farm residence).

Volume II.

METROPOLITAN HOUSING CHARACTERISTICS

These reports, also designated as Series HC(2), cover most of the 1970 census housing subjects in considerable detail and cross-classification. There is one report for each SMSA, presenting data for the SMSA and its central cities and places of 50,000 inhabitants or more, as well as a national summary report.

Volume III.

BLOCK STATISTICS

One report, under the designation Series HC(3), is issued for each urbanized area showing data for individual blocks on selected housing and population subjects. The series also includes reports for the communities outside urbanized areas which have contracted with the Census Bureau to provide block statistics from the 1970 census.

Volume IV.

COMPONENTS OF INVENTORY CHANGE

This volume will contain data on the disposition of the 1960 inventory and the source of the 1970 inventory, such as new construction, conversions, mergers, demolitions, and other additions and losses. Cross-tabulations of 1970 and 1960 characteristics for units that have not changed and characteristics of the present and previous residence of recent movers will also be provided. Statistics will be shown for 15 selected SMSA's and for the United States and regions.

Volume V.

RESIDENTIAL FINANCE

This volume will present data regarding the financing of privately owned nonfarm residential properties. Statistics will be shown on amount of outstanding mortgage debt, manner of acquisition of property, homeowner expenses, and other owner, property, and mortgage characteristics for the United States and regions.

Volume VI.

ESTIMATES OF "SUBSTANDARD" HOUSING

This volume will present counts of "substandard" housing units for counties and cities, based on the number of units lacking plumbing facilities combined with estimates of units with all plumbing facilities but in "dilapidated" condition.

Volume VII.

SUBJECT REPORTS

Each report in this volume will concentrate on a particular subject. Detailed information and cross-classifications will generally be provided on a national level; in some reports, data for States or SMSA's may also be shown. Among the subjects to be covered are housing characteristics by household composition, housing of minority groups and senior citizens, and households in mobile homes.

Population Census Reports

Volume I.

CHARACTERISTICS OF THE POPULATION

This volume will consist of 58 "parts"—number 1 for the United States, numbers 2 through 52 for the 50 States and the District of Columbia in alphabetical order, and numbers 53 through 58 for Puerto Rico, Guam, Virgin Islands, American Samoa, Canal Zone, and Trust Territory of the Pacific Islands, respectively. Each part, which will be a separate clothbound book, will contain four chapters designated as A, B, C, and D. Each chapter (for each of the 58 areas) will first be issued as an individual paperbound report in four series designated as PC(1)-A, B, C, and D, respectively. The 58 PC(1)-A reports will be specially assembled and issued in a clothbound book, designated as Part A.

■ Series PC(1)-A. NUMBER OF INHABITANTS.

Final official population counts are presented for States, counties by urban and rural residence, SMSA's, urbanized areas, county subdivisions, all incorporated places, and unincorporated places of 1,000 inhabitants or more.

■ Series PC(1)-B. GENERAL POPULATION CHARACTERISTICS

Statistics on age, sex, race, marital status, and relationship to head of household are presented for States, counties by urban and rural residence, SMSA's, urbanized areas, county subdivisions, and places of 1,000 inhabitants or more.

■ Series PC(1)-C. GENERAL SOCIAL AND ECONOMIC CHARACTERISTICS

Statistics are presented on nativity and parentage, State or country of birth, Spanish origin, mother tongue, residence 5 years ago, year moved into present house, school enrollment (public or private), years of school completed, vocational training, number of children ever born, family composition, disability, veteran status, employment status, place of work, means of transportation to work, occupation group, industry group, class of worker, and income (by type) in 1969 of families and individuals. Each subject is shown for some or all of the following areas: States, counties (by urban, rural-nonfarm, and rural-farm residence), SMSA's urbanized areas, and places of 2,500 inhabitants or more.

■ Series PC(1) D.

DETAILED CHARACTERISTICS

These reports cover most of the subjects shown in Series PC(1)-C, above, presenting the data in considerable detail and cross-classified by age, race, and other characteristics. Each subject is shown for some or all of the following areas: States (by urban, rural-nonfarm, and rural farm residence), SMSA's, and large cities.

Volume II.

SUBJECT REPORTS

Each report in this volume, also designated as Series PC(2), will concentrate on a particular subject. Detailed information and cross-relationships will generally be provided on a national and regional level; in some reports, data for States or SMSA's will also be shown. Among the characteristics to be covered are national origin and race, fertility, families, marital status, migration, education, unemployment, occupation, industry, and income.

Joint Population-Housing Reports

Series PHC(1).

CENSUS TRACT REPORTS

This series contains one report for each SMSA, showing data for most of the population and housing subjects included in the 1970 census.

Series PHC(2).

GENERAL DEMOGRAPHIC TRENDS FOR METROPOLITAN AREAS, 1960 TO 1970

This series consists of one report for each State and the District of Columbia, as well as a national summary report, presenting statistics for the State and for SMSA's and their central cities and constituent counties. Comparative 1960 and 1970 data are shown on population counts by age and race and on such housing subjects as tenure, plumbing facilities, value, and contract rent.

Series PHC(3).

EMPLOYMENT PROFILES OF SELECTED LOW-INCOME AREAS

This series consists of approximately 70 reports, each presenting statistics on the social and economic characteristics of the residents of a particular low-income area. The data relate to low-income neighborhoods in 51 cities and seven rural poverty areas. Each report provides statistics on employment and unemployment, education, vocational training, availability for work,

job history, and income, as well as on value or rent and number of rooms in the housing unit.

Additional Reports

Series PHC(E).

EVALUATION REPORTS

This open series will present the results of the extensive evaluation program conducted as an integral part of the 1970 census program, and relating to such matters as completeness of enumeration and quality of the data on characteristics.

Series PHC(R).

PROCEDURAL REPORTS

This open series presents information on various administrative and methodological aspects of the 1970 census, and will include a comprehensive procedural history of the 1970 census. The first report issued focuses on the forms and procedures used in the data collection phase of the census.

Computer Summary Tapes

The major portion of the results of the 1970 census is produced in a set of six tabulation counts. To help meet the needs of census users, these counts are being designed to provide data with much greater subject and geographic detail than it is feasible or desirable to publish in printed reports. The data so tabulated are generally available—subject to suppression of certain detail where necessary to protect confidentiality—on magnetic computer tape, printouts, and microfilm, at the cost of preparing the copy.

First Count—source of the PC(1)-A reports; contains about 400 cells of data on the subjects covered in the PC(1)-B and HC(1)-A reports and tabulated for each of the approximately 250,000 enumeration districts in the United States.

Second Count—source of the PC(1)-B, HC(1)-A, and part of the PHC(1) reports; contains about 3,500 cells of data covering the subjects in these reports and tabulated for the approximately 35,000 tracts and 35,000 county subdivisions in the United States.

Third Count—source of the HC(3) reports; contains about 250 cells of data on the subjects covered in the PC(1)-B and HC(1)-A reports and tabulated for approximately 1,500,000 blocks in the United States.

Fourth Count—source of the PC(1)-C, HC(1)-B, and part of the PHC(1) reports; contains about 13,000 cells of data covering the subjects in these reports and tabulated for the approximately 35,000 tracts and 35,000 county subdivisions in the United States; also contains about 30,000 cells of data for each county.

Fifth Count—contains approximately 800 cells of population and housing data for 5-digit ZIP code areas in SMSA's and 3-digit ZIP code areas outside SMSA's; the ZIP code data are available only on tape.

Sixth Count—source of the PC(1)-D and HC(2) reports; contains about 260,000 cells of data covering the subjects in these reports and tabulated for States, SMSA's, and large cities.

The tapes are generally organized on a State basis. To use the First Count and Third Count tapes, it is necessary to purchase the appropriate enumeration district and block maps.

The term "cells" used herein to indicate the scope of subject content of the several counts refers to each figure or statistic in the tabulation for a specific geographic area. For example, in the Third Count, there are six cells for a cross-classification of race by sex: three categories of race (white, Negro, other race) by two categories of sex (male, female).

In addition to the above-mentioned summary tapes, the Census Bureau makes available for purchase certain sample tape files containing population and housing characteristics as shown on individual census records. These files contain no names or addresses, and the geographic identification is sufficiently broad to protect confidentiality. There are six files, each containing a 1-percent national sample of persons and housing units. Three of the files are drawn from the population covered by the census 15-percent sample and three from the population in the census 5-percent sample. Each of these three files provides a different type of geographic information: One identifies individual large SMSA's and, for the rest of the country, groups of counties; the second individual States and, where they are sufficiently large, provides urban-rural and metropolitan-nonmetropolitan detail; and the third State groups and size of place, with each individual record showing selected characteristics of the persons's neighborhood.

U.S. DEPARTMENT OF COMMERCE
Social and Economic Statistics Administration
BUREAU OF THE CENSUS
Washington, D.C. 20233

POSTAGE AND FEES PAID
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OFFICIAL BUSINESS

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